





5.8 Phase 8

5.8.1 Block R

Building Location

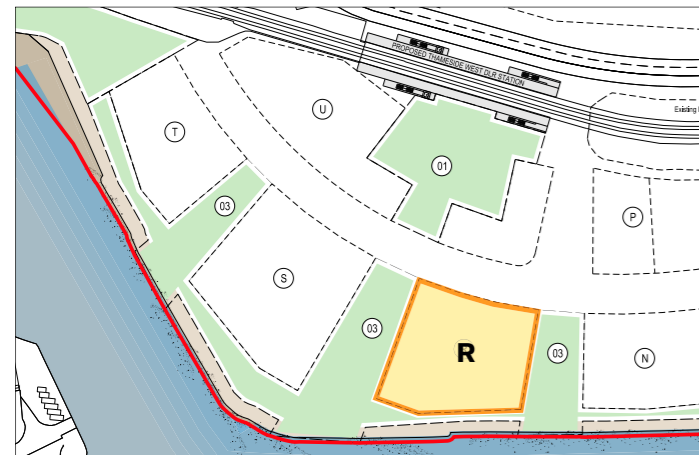
Block R is located within the Riverside Quarter Character Area of the illustrative masterplan.

The location of Block R can be found on Parameter Plan A-SL-011-XX-13 Project Phasing Plan.

Please refer to section 4.2.1 of the Architectural Guidelines for specific typology guidelines.



Location of the Riverside Quarter Character Area Plots



Building Block R located within the Riverside Quarter Character Area Typ 1

Building Uses and Composition

Block R comprises retail use classes A1-A4 and residential use classes C3. Refer to Parameter Plans A-SL-011-XX-09, A-SL-011-XX-10 and A-SL-011-XX-11.

Retail use classes should be located on the ground floor within the southern portion of the podium and wrap the south-east and south-west the corners.

Residential uses should form part of the podium at ground level and above, and occupy all upper levels contributing to the taller elements.

Vehicle parking, cycle storage, mechanical plant and ancillary service areas should be located within the podium and shared parking allocations below ground.

External residential amenities should be located above the podium. These areas should include child play space as defined in Landscape Design Guideline.

Residential units should have a primary orientation onto the River Thames.

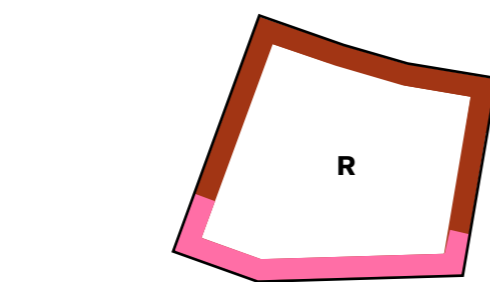
Building Entrances and Frontages

The main communal residential entrances should be located on the north, east and west facades facing onto Leaside Crescent, Dock Garden (DG2) and Thames Walk respectively.

Vehicular access to the lower ground parking is via the vehicle entrance on the north facade of Block U off of Dock Road.

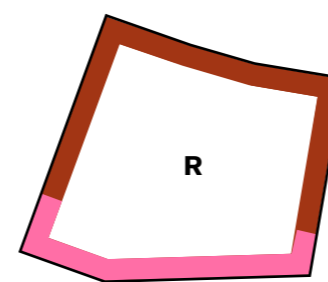
Designated cycle entrances should be located on the north, east and west facade directly accessible from Leaside Crescent, Dock Garden (DG2) and Thames Walk respectively.

Entrances to retail uses should be directly off the public realm.



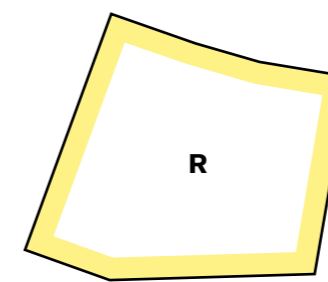
Class A1-A4 (Retail)
Class A1-A4 or C3 Mixed use (Retail and dwelling houses)

Primary Uses at Ground Floor Level



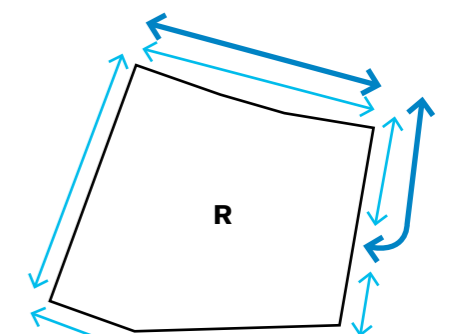
Class A1-A4 (Retail)
Class A1-A4 or C3 Mixed use (Retail and dwelling houses)

Primary Uses at First Floor Level



Class C3 (Dwelling houses)

Primary Uses at Typical Upper Floor Levels



↔ Vehicular
↔ Pedestrian

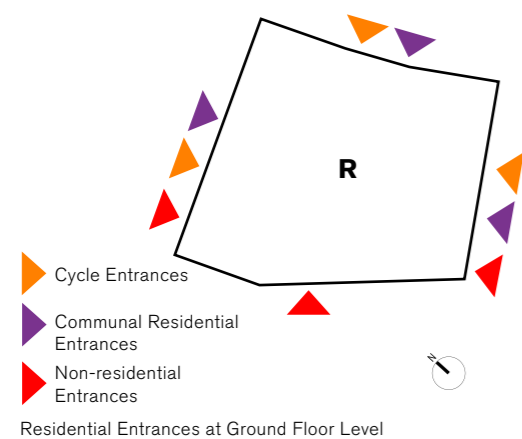
Primary Circulation at Ground Floor Level

All entrances should be clearly visible, providing a strong connection to the public realm and be of high quality materials and appearance.

All entrances are to be flush or recessed with the main building line.

Where possible, consideration should be given to maximise distances between residential entrances and retail entrances to improve privacy for residents.

Location of pedestrian, cycle and vehicle entrances should be separated, where possible, with consideration given to avoid traffic crossover.



Building Envelope Parameters

The building envelope sets out the maximum massing volume the building can occupy.

All elements associated with the building must be within this envelope, or the maximum permissible envelope defined by the parameter plans.

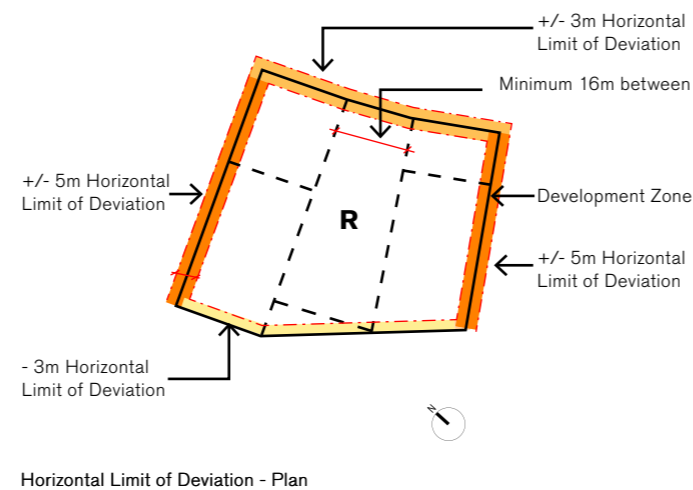
The maximum horizontal deviation of the building line on the north-west and south-east is +/-5m, and on the north-east is +/-3m and south-west is -3m.

Refer to parameter plan A-SL-011-XX-03 for permitted horizontal deviation.

Refer to parameter plan A-SL-011-XX-04 for permitted vertical deviation.

The maximum building heights take consideration of the complete Masterplan vision ensuring the overall benefits are achieved.

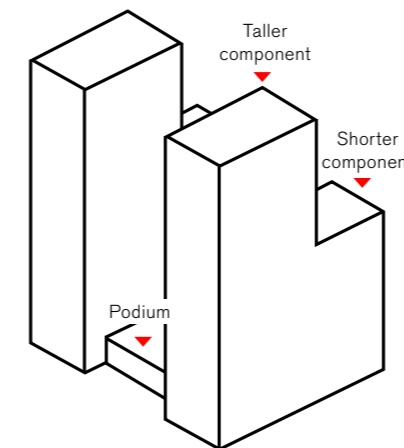
A minimum of 16m must be maintained between all building facades.



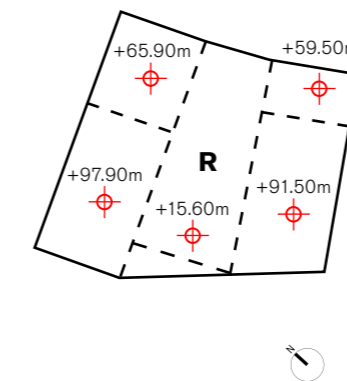
Facade articulation should be used to highlight and accentuate the building massing to define the two taller element joined at the base by the shorter component creating a podium.

Facade treatment should create a visual hierarchy of expressions that operate at an urban scale when viewed from afar and a residential scale when viewed up-close.

The residential units should have a primary orientation towards the River Thames.



Illustrative Building Form - 3D View



Maximum Height - Plan

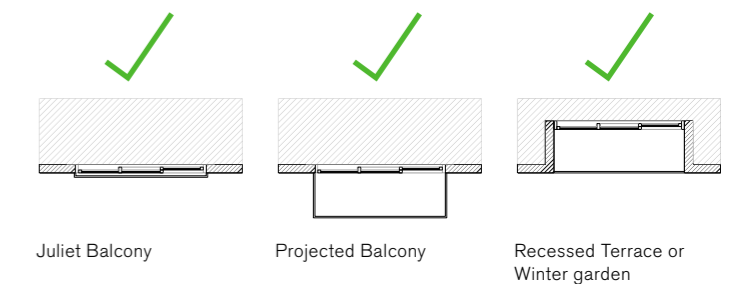
All residential units are to provide private amenity spaces in line with the Housing SPG.

Balustrade materiality is described in section 2.6 of the masterplan Guidelines.

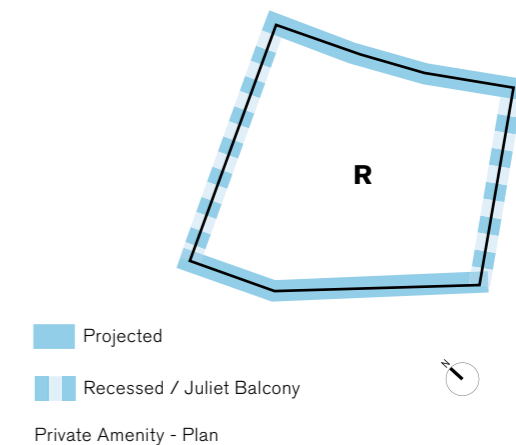
Private amenity spaces should be integrated within the buildings architectural expression and in line with the masterplan Guidelines set out in 2.8.

Private amenity spaces can be set back within the envelope (recessed terrace or winter garden) and/or flush with the building facade (Juliet balcony).

Where possible amenity spaces should be orientated towards the River Thames.



Illustrative Balcony and Amenity Types



5.9 Phase 9

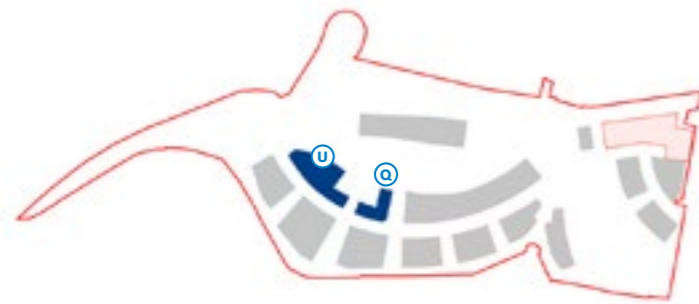
5.9.1 Block U

Building Location

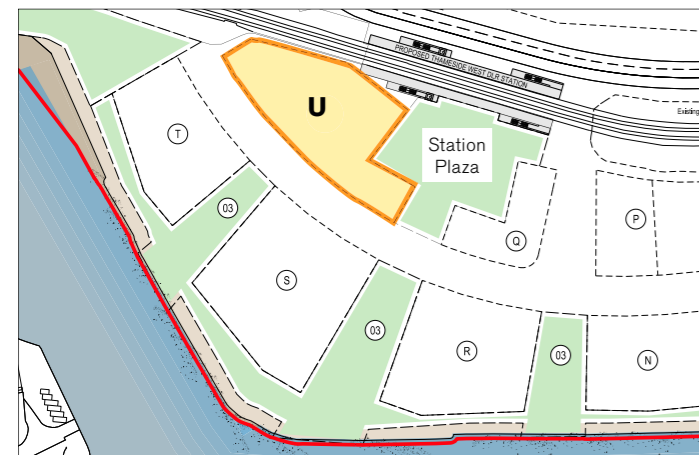
Block U is located within the Station Plaza Character Area of the illustrative masterplan.

The location of Block U can be found on Parameter Plan A-SL-011-XX-13 Project Phasing Plan.

Please refer to section 4.2.2 of the Architectural Guidelines for specific typology guidelines.



Location of the Station Plaza Character Area Plots



Building Block U located within the Riverside Quarter Character Area. Typ 2

Building Uses and Composition

Block U comprises retail use classes A1-A4, residential use class C3, and class D non-residential institutions. Refer to Parameter Plans A-SL-011-XX-09, A-SL-011-XX-10 and A-SL-011-XX-11.

Retail should be located on the ground and first floor within the podium on the south-west, south, south-east facades.

Non-residential institution use classes should be located within the western portion of Block U, forming the part of the lower massing with frontages facing Leaway Park and the Eastern Ecology Park and Station Plaza.

D1-D2 use classes should also accommodate all internal and open space areas as required by the Department of Education and as suggested in their Area Guidelines for Mainstream Schools for a 4-form entry primary school.

Residential uses should form part of south-east, south and south-west facades, and occupy all upper levels contributing to the taller elements.

Vehicle parking, cycle storage, mechanical plant and ancillary service areas should be located within the podium and shared parking allocations below ground.

The residential units should have a primary orientation onto Station Plaza and/or Leaside Crescent.

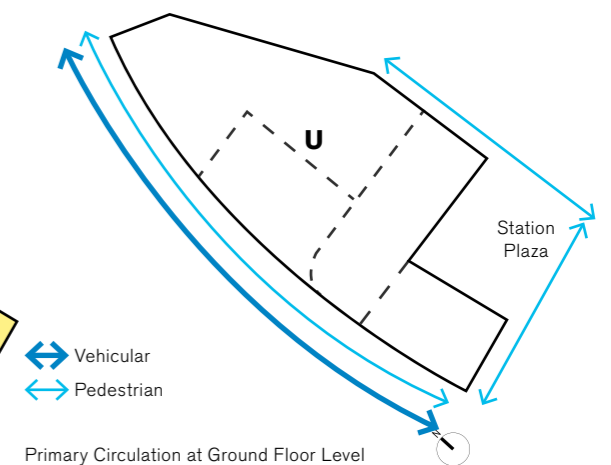
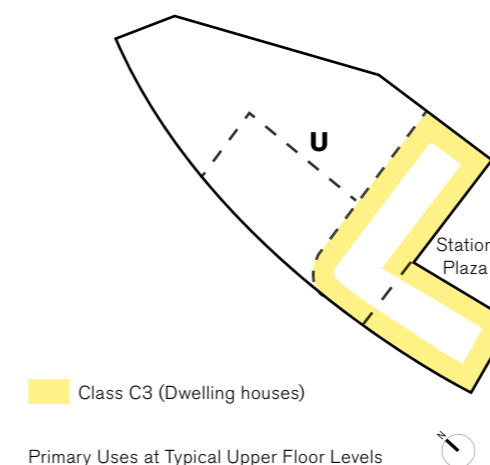
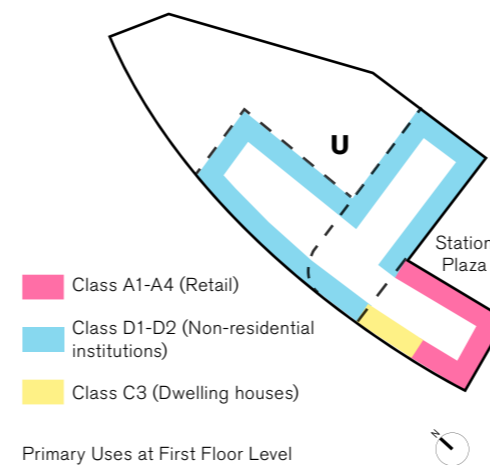
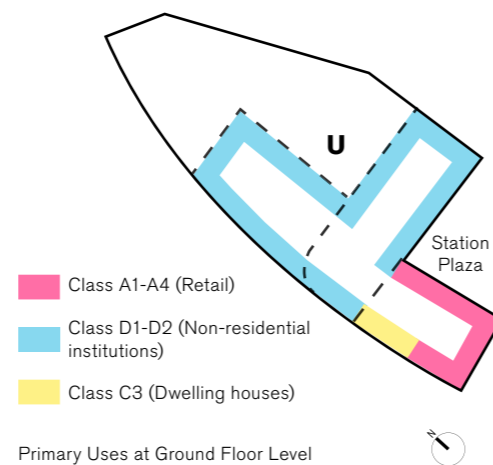
Building Entrances and Frontages

The main communal residential entrances should be located on the west facade facing onto Leaside Crescent.

Vehicular access to the lower ground parking is via the vehicle entrance on the north facade of Block U off of Dock Road. Designated parking bays reserved for use by the school must be located at ground level.

Designated cycle entrances should be located on the west facade directly accessible from Leaside Crescent.

Entrance to the non-residential institutions should be from the west facade facing onto Leaside Crescent with ancillary entrances on the north facade facing Leaway Park.



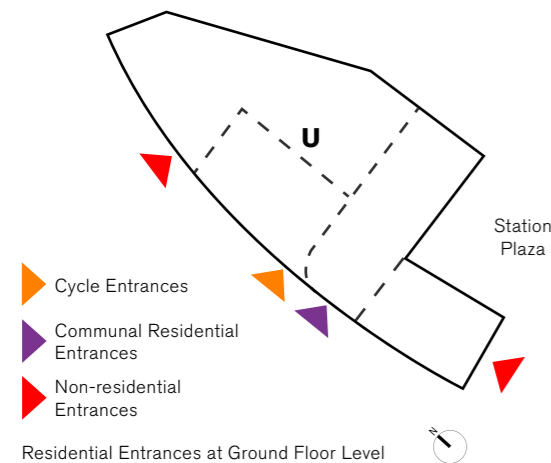
Entrances to retail uses should be directly off the public realm.

All entrances should be clearly visible, providing a strong connection to the public realm and be of high quality materials and appearance.

All entrances are to be flush or recessed with the main building line.

Where possible, consideration should be given to maximise distances between residential entrances and retail entrances to improve privacy for residents.

Location of pedestrian, cycle and vehicle entrances should be separated, where possible, with consideration given to avoid traffic crossover.



Building Envelope Parameters

The building envelope sets out the maximum massing volume the building can occupy.

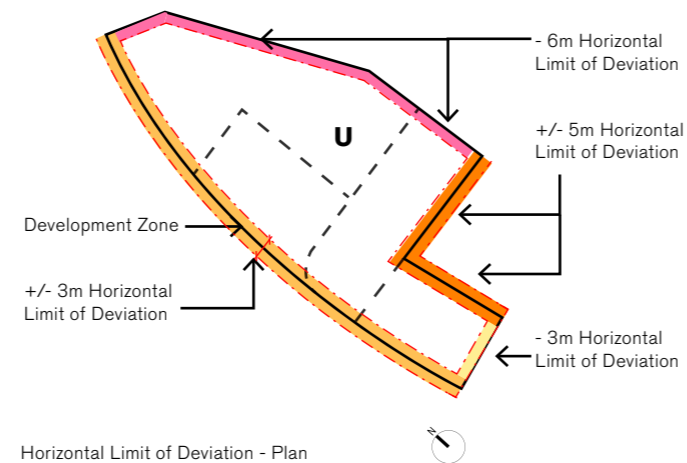
All elements associated with the building must be within this envelope, or the maximum permissible envelope defined by the parameter plans.

The maximum horizontal deviation of the building line is +/-3m around the south-west facade, as well as the south-east facade facing Block Q. The maximum horizontal deviation is +/-5m facing Station Plaza and -6m towards the north and north-east.

Refer to parameter plan A-SL-011-XX-03 for permitted horizontal deviation.

Refer to parameter plan A-SL-011-XX-04 for permitted vertical deviation.

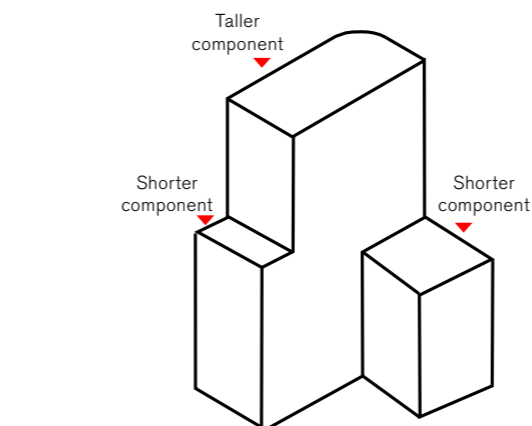
The maximum building heights take consideration of the complete masterplan vision ensuring the overall benefits are achieved.



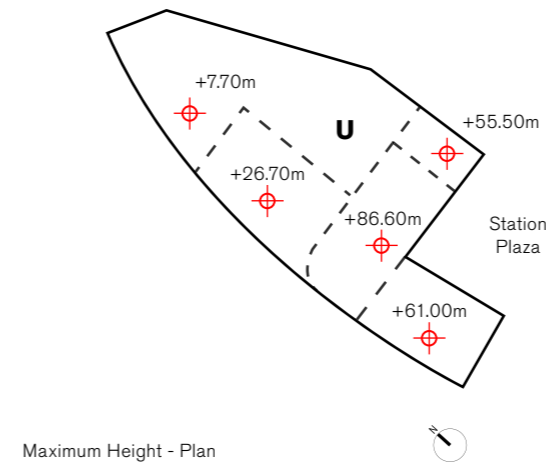
Facade articulation should be used to highlight and accentuate the building massing to define the two taller element joined at the base by the shorter component creating a podium.

Facade treatment should create a visual hierarchy of expressions that operate at an urban scale when viewed from afar and a residential scale when viewed up-close.

The residential units should have a primary orientation towards Station Plaza.



Illustrative Building Form - 3D View



Maximum Height - Plan

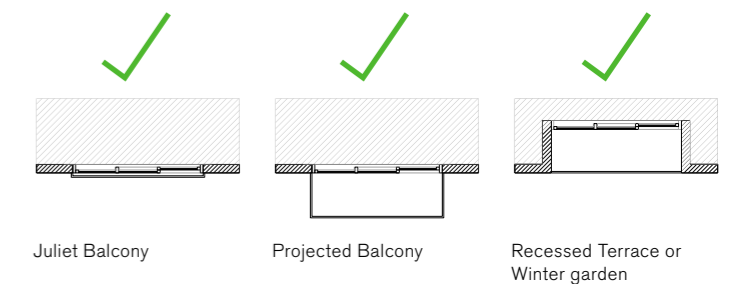
All residential units are to provide private amenity spaces in line with the Housing SPG.

Balustrade materiality is described in section 2.6 of the masterplan Guidelines.

Private amenity spaces should be integrated within the buildings architectural expression and in line with the masterplan Guidelines set out in 2.8.

Private amenity spaces can be set back within the envelope (recessed terrace or winter garden), flush with the building facade (Juliet balcony) and / or project beyond the facade (projected balcony).

Where possible amenity spaces should be orientated towards to park and open spaces.



Illustrative Balcony and Amenity Types



Private Amenity - Plan

ESPRESSO	1.50		
CAPUCCINO	2		
LATTE	2		
FLAT WHITE	2		
MOCHA	2		
MACCHIATO	2		
AMERICANO	2		
W/			
SYRUP	50p		
TEA			
VARIOUS	1		
HOT CHOCOLATE	2		
MILKSHAKE	2		
SOFT DRINKS			
BOTTLEGREEN	1.80		
ORANGINA	1.60		
RIBENA	1		
CANS	1		
SNACKS			
FLAPJACK	1.20		
SLICES	1.20		
CAKES	1.50		
CRISPS	1		
		★ COFFEE BAGS £3.50 ★	
		★ PIZZAS ★	
		MARGHERITA	£5
		PLUS 3 TOPPINGS	£7
★ CYCLE PS WORKSHOP PRICES			
KLS SEE BOARD OPPOSITE ★			





5.9 Phase 9

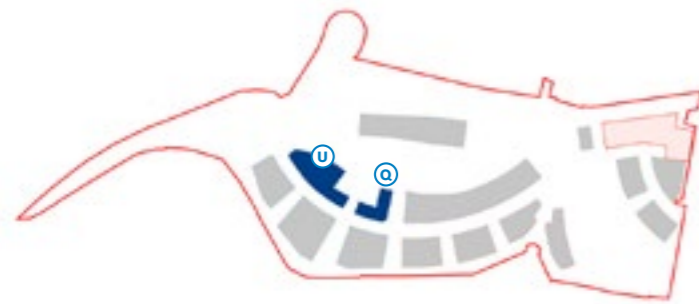
5.9.2 Block Q

Building Location

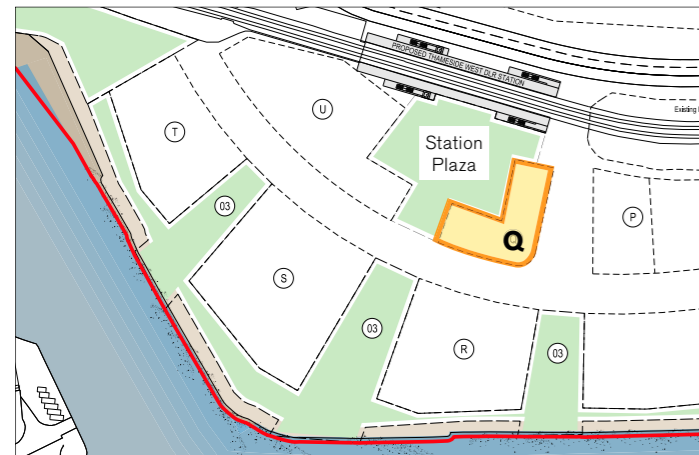
Block Q is located within the Station Plaza Character Area of the illustrative masterplan.

The location of Block Q can be found on Parameter Plan A-SL-011-XX-13 Project Phasing Plan.

Please refer to section 4.2.2 of the Architectural Guidelines for specific typology guidelines.



Location of the Station Plaza Character Area Plots



Building Block Q located within the Riverside Quarter Character Area. Typ 2

Building Uses and Composition

Block Q comprises retail use classes A1-A4, residential use class C3, and class D non-residential institutions. Refer to Parameter Plans A-SL-011-XX-09, A-SL-011-XX-10 and A-SL-011-XX-11.

Retail should be located on the ground floor within the podium on the south-west, west, and north-west facades. A community facility should be located within the eastern portion of Block Q, forming the part of the massing facing the Thames Way and Station Plaza.

Residential uses should form part of all the facades, and occupy all upper levels contributing to the taller elements.

Vehicle parking, cycle storage, mechanical plant and ancillary service areas should be located within the podium and shared parking allocations below ground. Vehicle parking, cycle storage, mechanical plant and ancillary service areas should be located within the podium and shared parking allocations below ground.

Residential units should have a primary orientation onto Station Plaza and Leaside Crescent.

Building Entrances and Frontages

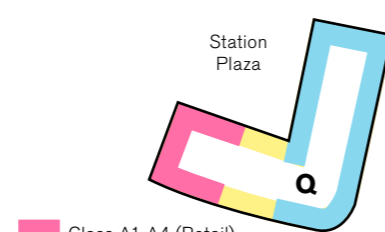
The main communal residential entrances should be located on the west facade facing onto Leaside Crescent.

Vehicular access to the lower ground parking is via the vehicle entrance on the north facade of Block U off of Dock Road.

Designated cycle entrances should be located on the north facade directly accessible from Station Plaza.

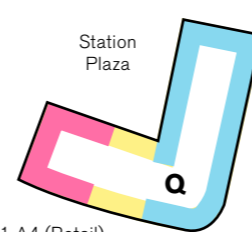
Entrance to the non-residential institutions should be from the east facade facing onto Leaside Crescent with ancillary entrances on the south-east facade facing Thames Way.

Entrances to retail uses should be directly off the public realm.



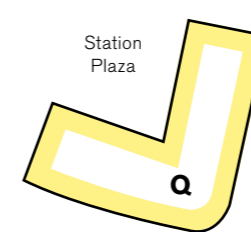
- Class A1-A4 (Retail)
- Class D1-D2 (Non-residential institutions)
- Class C3 (Dwelling houses)

Primary Uses at Ground Floor Level



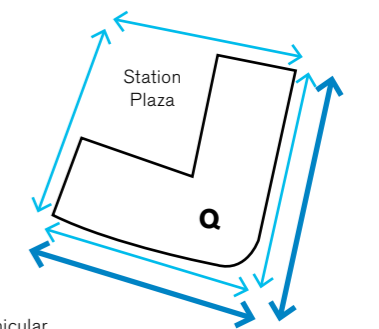
- Class A1-A4 (Retail)
- Class D1-D2 (Non-residential institutions)
- Class C3 (Dwelling houses)

Primary Uses at First Floor Level



- Class C3 (Dwelling houses)

Primary Uses at Typical Upper Floor Levels



- ↔ Vehicular
- ↔ Pedestrian

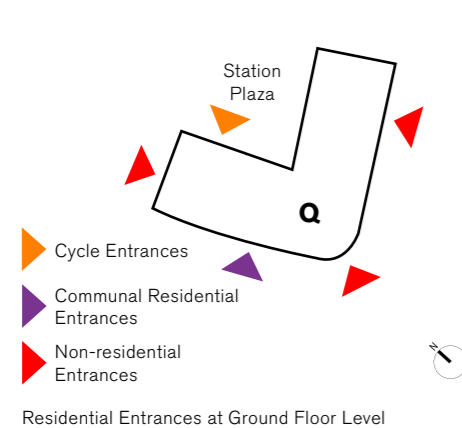
Primary Circulation at Ground Floor Level

All entrances should be clearly visible, providing a strong connection to the public realm and be of high quality materials and appearance.

All entrances are to be flush or recessed with the main building line.

Where possible, consideration should be given to maximise distances between residential entrances and retail entrances to improve privacy for residents.

Location of pedestrian, cycle and vehicle entrances should be separated, where possible, with consideration given to avoid traffic crossover.



Building Envelope Parameters

The building envelope sets out the maximum massing volume the building can occupy.

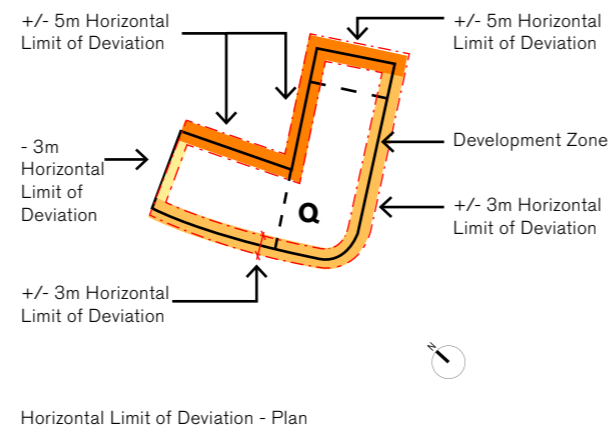
All elements associated with the building must be within this envelope, or the maximum permissible envelope defined by the parameter plans.

The maximum horizontal deviation of the building line is +/-3m around the south-east and south-west facades, as well as the north-east facade facing Block U. The maximum horizontal deviation is +/-5m facing Station Plaza towards the north-east. The maximum horizontal deviation is -3m on facades directly facing north, adjacent to Block U

Refer to parameter plan A-SL-011-XX-03 for permitted horizontal deviation.

Refer to parameter plan A-SL-011-XX-04 for permitted vertical deviation.

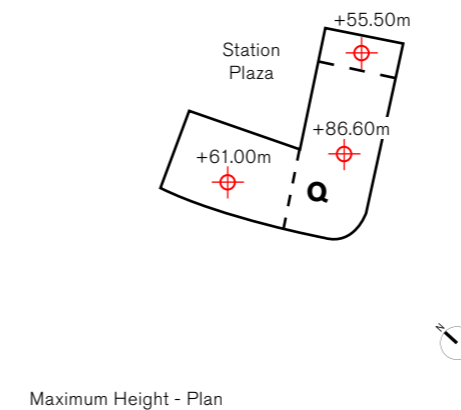
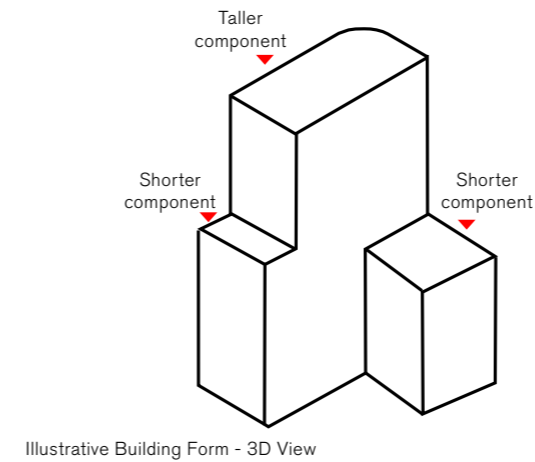
The maximum building heights take consideration of the complete masterplan vision ensuring the overall benefits are achieved.



Facade articulation should be used to highlight and accentuate the building massing to define the two taller element joined at the base by the shorter component creating a podium.

Facade treatment should create a visual hierarchy of expressions that operate at an urban scale when viewed from afar and a residential scale when viewed up-close.

The residential units should have a primary orientation towards Station Plaza.



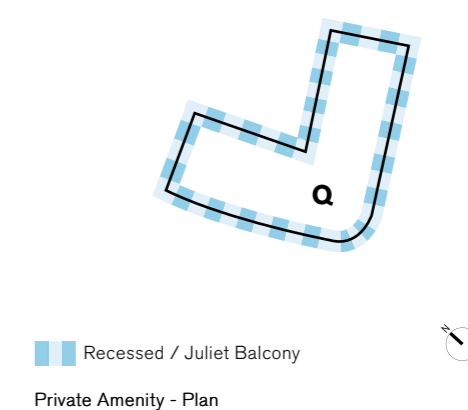
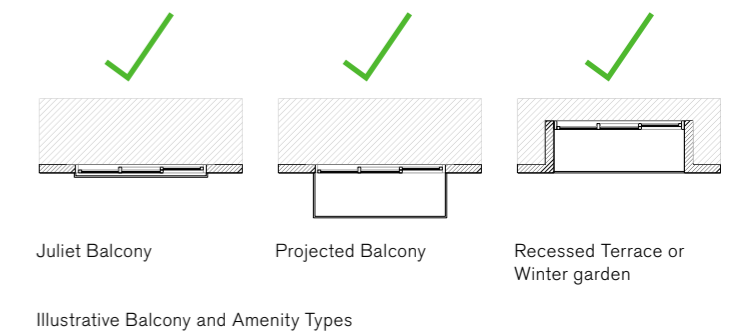
All residential units are to provide private amenity spaces in line with the Housing SPG.

Balustrade materiality is described in section 2.6 of the masterplan Guidelines.

Private amenity spaces should be integrated within the buildings architectural expression and in line with the masterplan Guidelines set out in 2.8.

Private amenity spaces can be set back within the envelope (recessed terrace or winter garden), flush with the building facade (Juliet balcony) and / or project beyond the facade (projected balcony).

Where possible amenity spaces should be orientated towards to park and open spaces.



5.9 Phase 9

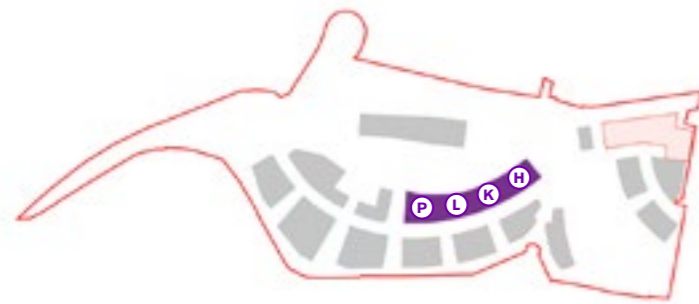
5.9.3 Block P

Building Location

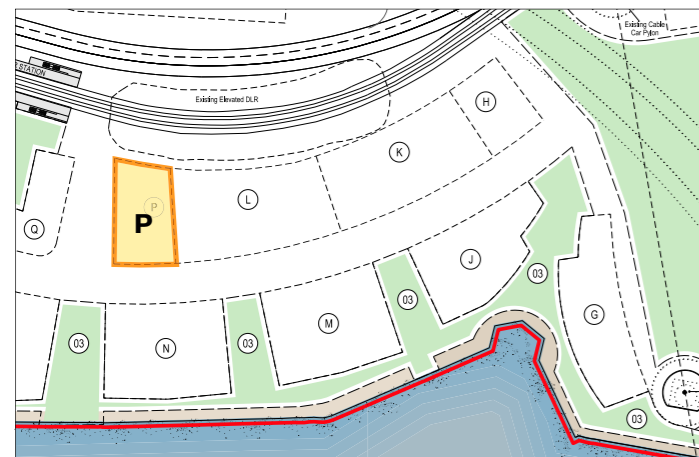
Block P is located within the Boulevard Character Area of the illustrative masterplan.

The location of Block P can be found on Parameter Plan A-SL-011-XX-13 Project Phasing Plan.

Please refer to section 4.2.5 of the Architectural Guidelines for specific typology guidelines.



Location of the Thameside Crescent Character Area Plots



Building Block P located within the Thameside Crescent Character Area

Building Uses and Composition

Block L comprises residential use class C3. Refer to Parameter Plans A-SL-011-XX-09, A-SL-011-XX-10 and A-SL-011-XX-11.

There is no provision for non-residential uses in Block H.

Duplex residential units should form part of the lower levels, with residential units to all upper levels contributing to the taller elements.

Ground and first floor in south-east facade comprises residential duplexes.

Vehicle parking, cycle storage, mechanical plant and ancillary service areas should be located within the podium and shared parking allocations below ground.

External residential amenities should be located above the podium. These areas should include child play space as defined in Landscape Design Guideline. These should be located on the northern edge of the building massing to create a greater setback between the DLR and residential units.

Residential units should have a primary orientation onto Thameside Crescent.

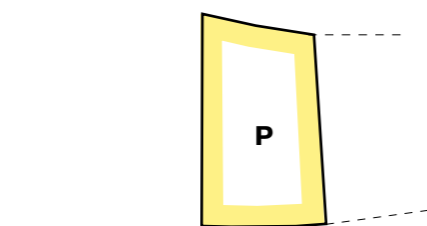
Building Entrances and Frontages

The main communal residential entrance should be located on the south facade facing onto Thameside Crescent.

All ground floor residential frontages should have a 2m privacy zone directly in front.

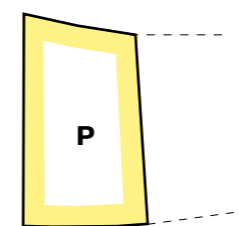
A designated cycle entrance should be located on the south facade facing onto Thameside Crescent.

Vehicular access to the ground level parking is via separate entrance located in Block H. The service entrance for vehicles to Blocks H, K, L and P is directly off of Thames Way.



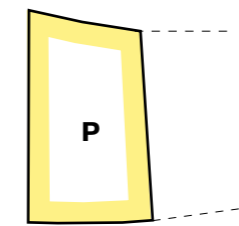
Class C3 (Dwellings)

Primary Uses at Ground Floor Level



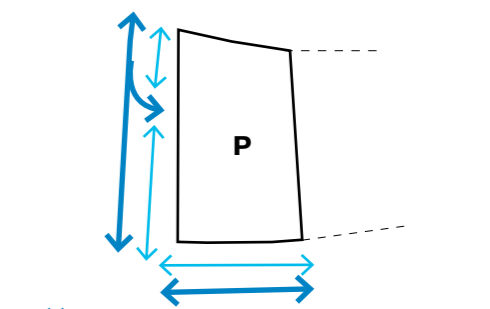
Class C3 (Dwellings)

Primary Uses at First Floor Level



Class C3 (Dwellings)

Primary Uses at Typical Upper Floor Levels



↔ Vehicular
↔ Pedestrian

Primary Circulation at Ground Floor Level

All entrances should be clearly visible, providing a strong connection to the public realm and be of high quality materials and appearance.

All entrances are to be flush or recessed with the main building line.

Location of pedestrian and cycle entrances should be separated, where possible, with consideration given to avoid traffic crossover.

Building Envelope Parameters

The building envelope sets out the maximum massing volume the building can occupy.

All elements associated with the building must be within this envelope, or the maximum permissible envelope defined by the parameter plans.

The maximum horizontal deviation of the building line is +/-3m on south facade, and +/-5m on north east facades and -3m on the north facades.

Refer to parameter plan A-SL-011-XX-03 for permitted horizontal deviation.

Refer to parameter plan A-SL-011-XX-04 for permitted vertical deviation.

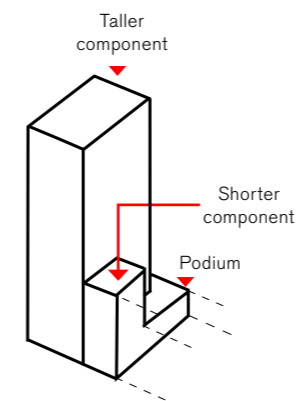
The maximum building heights take consideration of the complete masterplan vision ensuring the overall benefits are achieved.

A minimum of 16m must be maintained between all building facades.

Facade articulation should be used to highlight and accentuate the building massing to define the two taller element joined at the base by the shorter component creating a podium.

Facade treatment should create a visual hierarchy of expressions that operate at an urban scale when viewed from afar and a residential scale when viewed up-close.

The residential units should have a primary orientation towards Thameside Crescent.



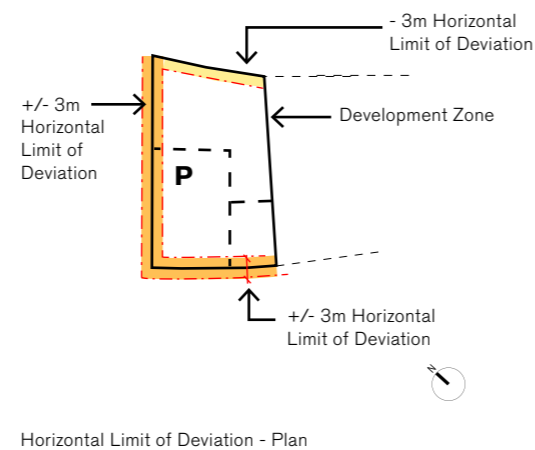
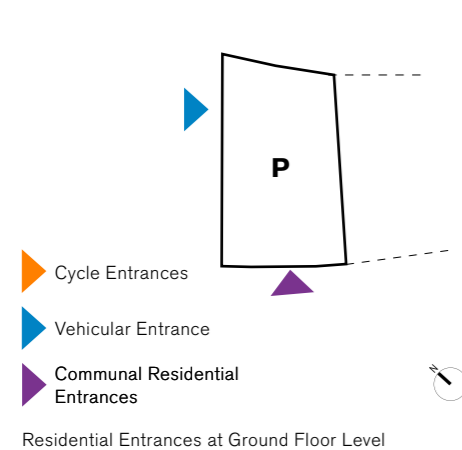
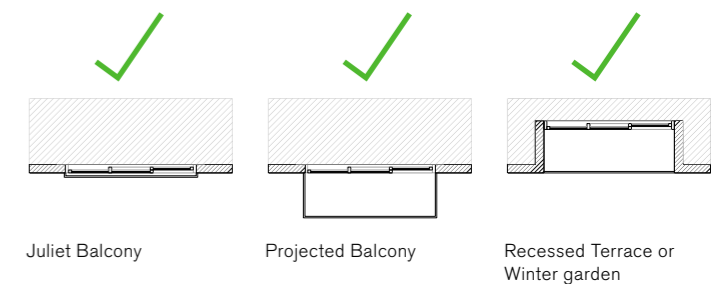
All residential units are to provide private amenity spaces in line with the Housing SPG.

Balustrade materiality is described in section 2.6 of the masterplan Guidelines.

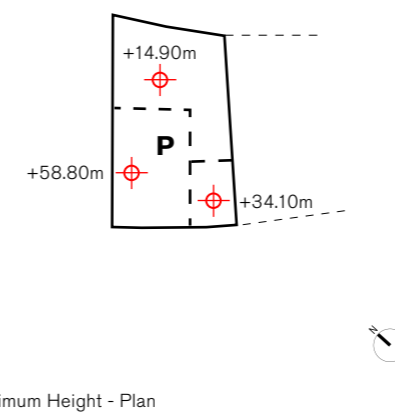
Private amenity spaces should be integrated within the buildings architectural expression and in line with the masterplan Guidelines set out in 2.8.

Private amenity spaces can be set back within the envelope (recessed terrace or winter garden), flush with the building facade (Juliet balcony) and / or project beyond the facade (projected balcony).

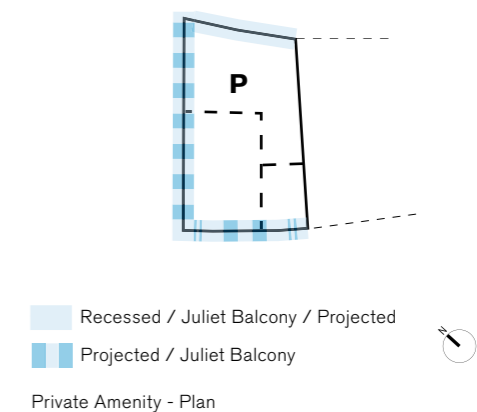
Projected balconies should be concentrated along Thameside Crescent and expressed as a feature.



Illustrative Building Form - 3D View



Illustrative Balcony and Amenity Types



5.10 Phase 10

5.10.1 Block S

Building Location

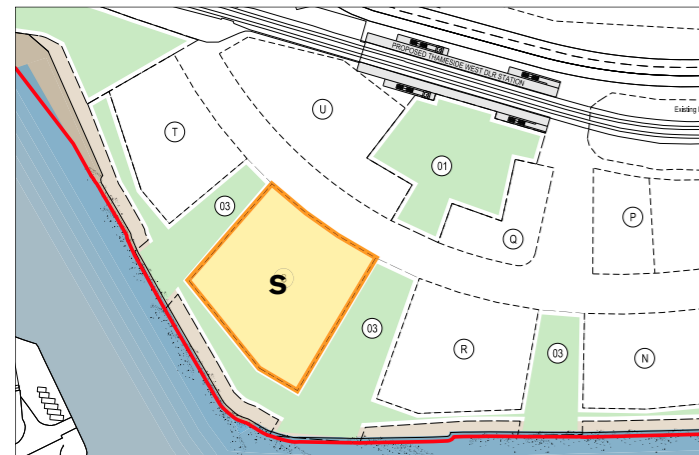
Block S is located within the Riverside Quarter Character Area of the illustrative masterplan.

The location of Block S can be found on Parameter Plan A-SL-011-XX-13 Project Phasing Plan.

Please refer to section 4.2.1 of the Architectural Guidelines for specific typology guidelines.



Location of the Riverside Quarter Character Area Plots



Building Block S located within the Riverside Quarter Character Area. Typ 1

Building Uses and Composition

Block S comprises retail use classes A1-A4 and residential use classes C3. Refer to Parameter Plans A-SL-011-XX-09, A-SL-011-XX-10 and A-SL-011-XX-11.

Non-residential use classes should be located on the ground and first floors within the podium on the western facade, wrapping the north-west and south-west corners and south east.

Residential uses should form part of the podium at ground level and above, and occupy all upper levels contributing to the taller elements.

Vehicle parking, cycle storage, mechanical plant and ancillary service areas should be located within the podium and shared parking allocations below ground.

External residential amenities should be located above the podium. These areas should include child play space as defined in Landscape Design Guideline.

Residential units should have a primary orientation onto the River Thames.

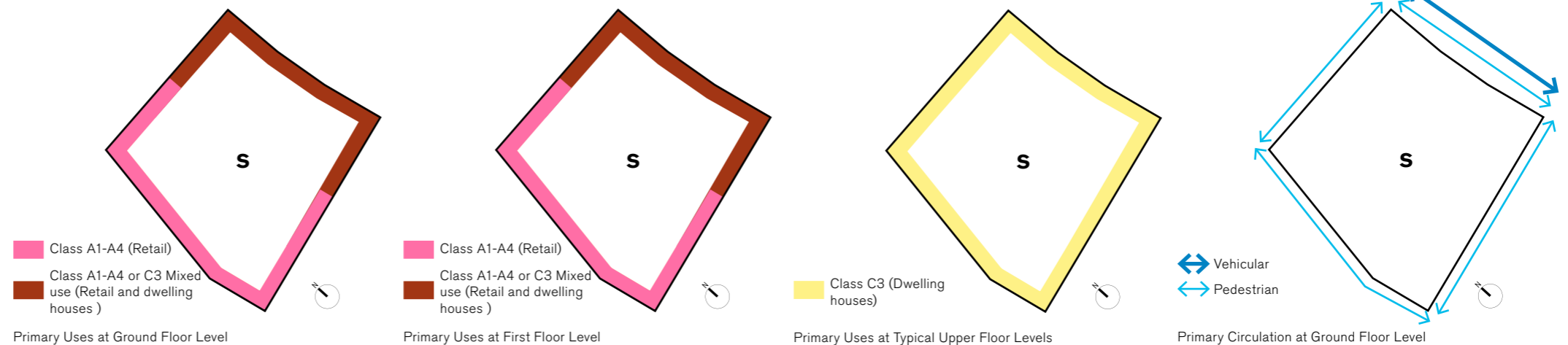
Building Entrances and Frontages

The main communal residential entrances should be located on the north, east and west facades facing onto Leaside Crescent, Thames Walk and Dock Garden (DG1) respectively.

Vehicular access to the lower ground parking is via the vehicle entrance on the north facade of Block U off of Dock Road.

Designated cycle entrances should be located on the north, east and west facade directly accessible from Leaside Crescent, Thames Walk and Dock Garden (DG1) respectively.

Entrances to retail uses should be directly off the public realm.

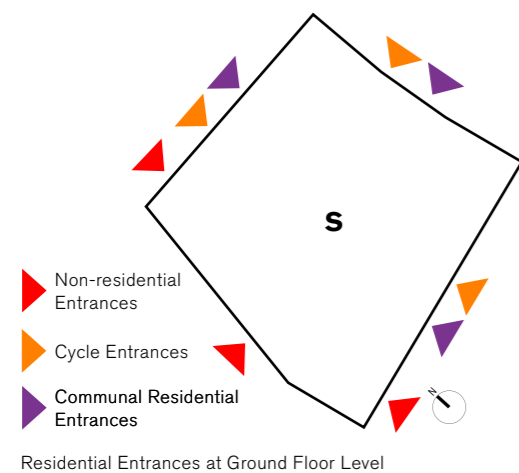


All entrances should be clearly visible, providing a strong connection to the public realm and be of high quality materials and appearance.

All entrances are to be flush or recessed with the main building line.

Where possible, consideration should be given to maximise distances between residential entrances and retail entrances to improve privacy for residents.

Location of pedestrian, cycle and vehicle entrances should be separated, where possible, with consideration given to avoid traffic crossover.



Building Envelope Parameters

The building envelope sets out the maximum massing volume the building can occupy.

All elements associated with the building must be within this envelope, or the maximum permissible envelope defined by the parameter plans.

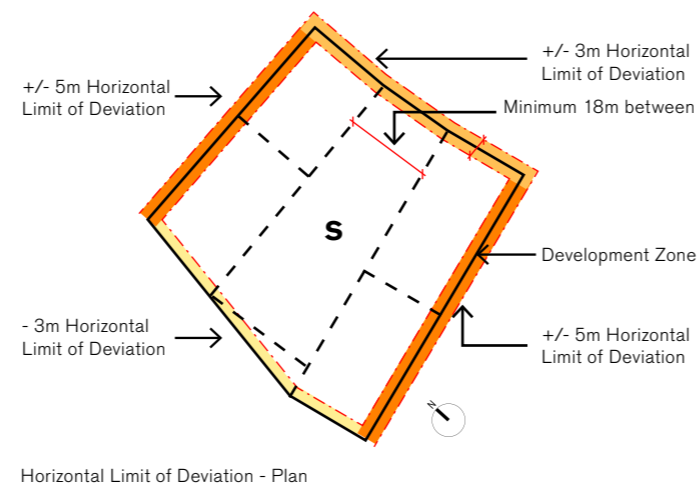
The maximum horizontal deviation of the building line on the north and south is +/-5m, on the east is +/-3m and to the west is -3m.

Refer to parameter plan A-SL-011-XX-03 for permitted horizontal deviation.

Refer to parameter plan A-SL-011-XX-04 for permitted vertical deviation.

The maximum building heights take consideration of the complete masterplan vision ensuring the overall benefits are achieved.

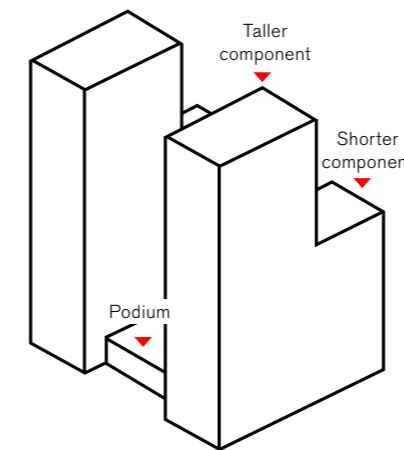
A minimum of 18m must be maintained between all building facades.



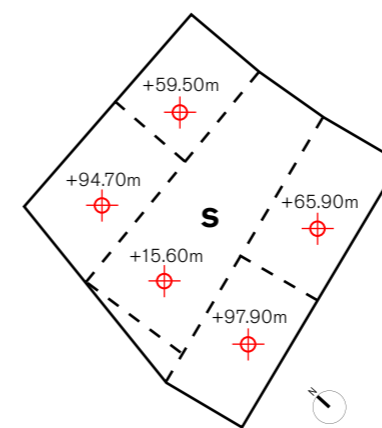
Facade articulation should be used to highlight and accentuate the building massing to define the two taller element joined at the base by the shorter component creating a podium.

Facade treatment should create a visual hierarchy of expressions that operate at an urban scale when viewed from afar and a residential scale when viewed up-close.

The residential units should have a primary orientation towards the River Thames.



Illustrative Building Form - 3D View



Maximum Height - Plan

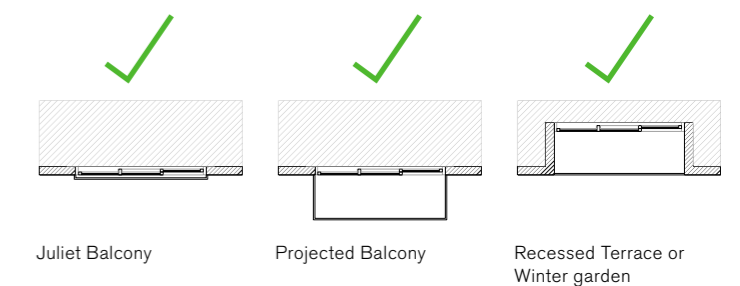
All residential units are to provide private amenity spaces in line with the Housing SPG.

Balustrade materiality is described in section 2.6 of the masterplan Guidelines.

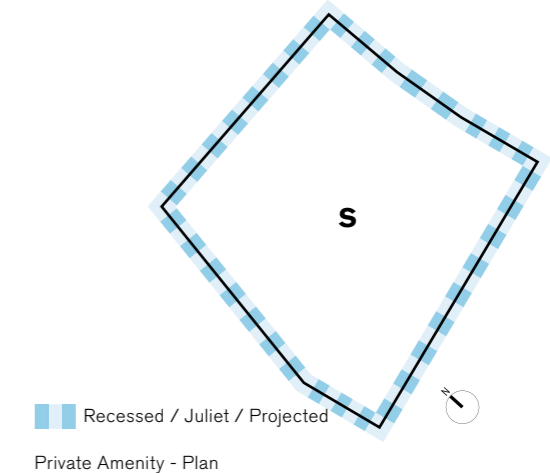
Private amenity spaces should be integrated within the buildings architectural expression and in line with the masterplan Guidelines set out in 2.8.

Private amenity spaces can be set back within the envelope (recessed terrace or winter garden), projected and/or flush with the building facade (Juliet balcony).

Where possible amenity spaces should be orientated towards the River Thames.



Illustrative Balcony and Amenity Types



5.11 Phase 11

5.11.1 Block T

Building Location

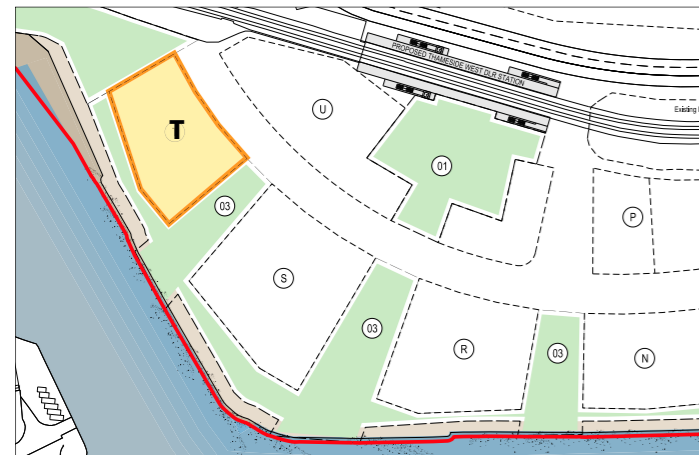
Block T is located within the Riverside Quarter Character Area of the illustrative masterplan.

The location of Block T can be found on Parameter Plan A-SL-011-XX-13 Project Phasing Plan.

Please refer to section 4.2.1 of the Architectural Guidelines for specific typology guidelines.



Location of the Riverside Quarter Character Area Plots



Building Block T located within the Riverside Quarter Character Area. Typ 1

Building Uses and Composition

Block T comprises retail use classes A1-A4, residential use class C3, and classes D1 and D2 non-residential institutions. Refer to Parameter Plans A-SL-011-XX-09, A-SL-011-XX-10 and A-SL-011-XX-11.

Non-residential use classes should be located on the ground and first floors within the podium on the east, south and west facades.

Non-residential institution uses should wrap around the northern facade facing onto Leaway Park.

Residential uses should form part of the podium at ground level and above, and occupy all upper levels contributing to the taller elements.

Vehicle parking, cycle storage, mechanical plant and ancillary service areas should be located within the podium and shared parking allocations below ground.

External residential amenities should be located above the podium. These areas should include child play space as defined in Landscape Design Guideline.

Residential units should have a primary orientation onto the River Thames.

Building Entrances and Frontages

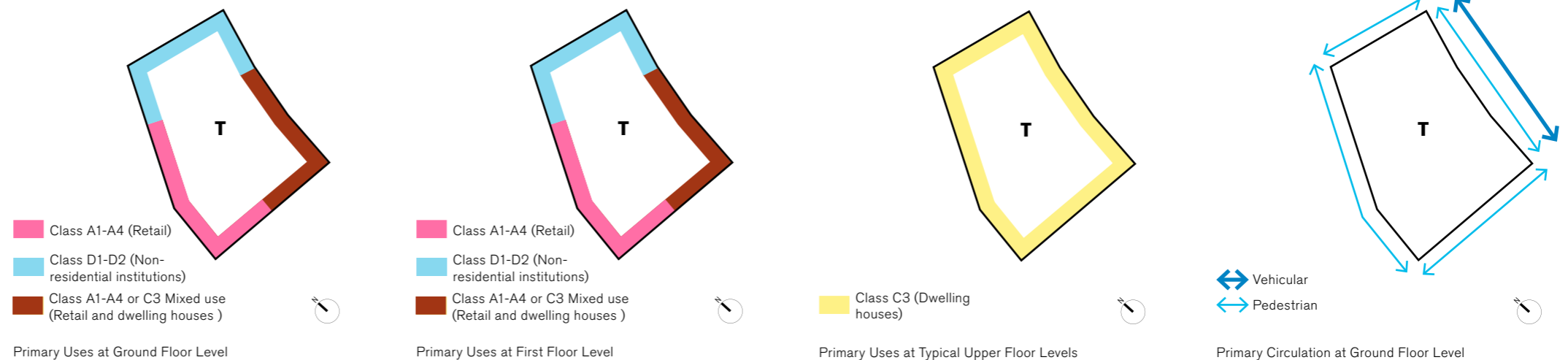
The main communal residential entrance should be located on the north facade facing onto Leaside Crescent and east facade facing Dock Garden (DG1).

Vehicular access to the lower ground parking is via the vehicle entrance on the north facade of Block U off of Dock Road.

Designated cycle entrances should be located on the north and east facades directly accessible from Leaside Crescent and Dock Garden (DG1) respectively.

Entrances to retail uses should be directly off the public realm.

Entrances to non-residential institution uses should be from the north and west facade facing onto Leaway Park and Leaside Crescent.

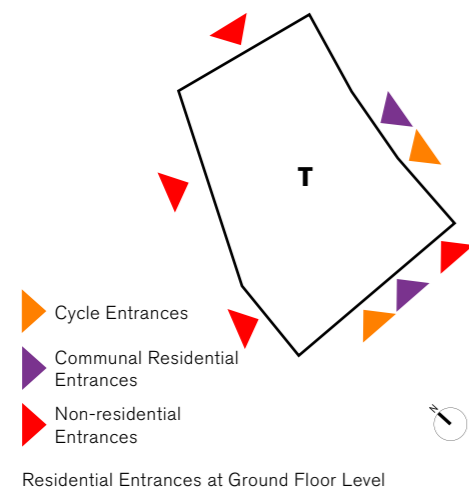


All entrances should be clearly visible, providing a strong connection to the public realm and be of high quality materials and appearance.

All entrances are to be flush or recessed with the main building line.

Where possible, consideration should be given to maximise distances between residential entrances and retail entrances to improve privacy for residents.

Location of pedestrian, cycle and vehicle entrances should be separated, where possible, with consideration given to avoid traffic crossover.



Building Envelope Parameters

The building envelope sets out the maximum massing volume the building can occupy.

All elements associated with the building must be within this envelope, or the maximum permissible envelope defined by the parameter plans.

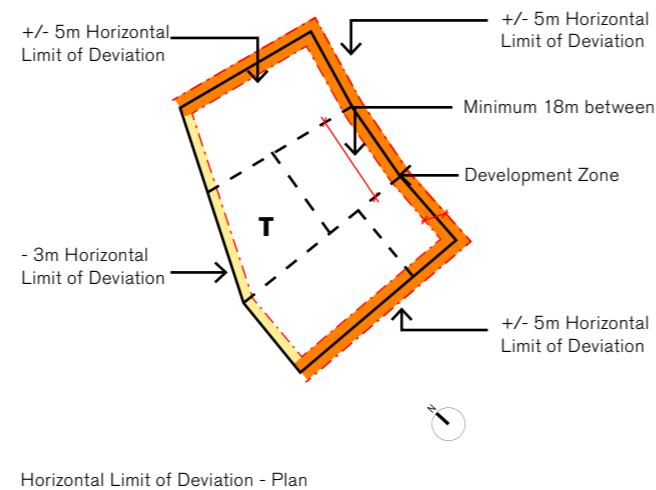
The maximum horizontal deviation of the building line on the north, east and south is +/-5m, and on the west is -3m.

Refer to parameter plan A-SL-011-XX-03 for permitted horizontal deviation.

Refer to parameter plan A-SL-011-XX-04 for permitted vertical deviation.

The maximum building heights take consideration of the complete masterplan vision ensuring the overall benefits are achieved.

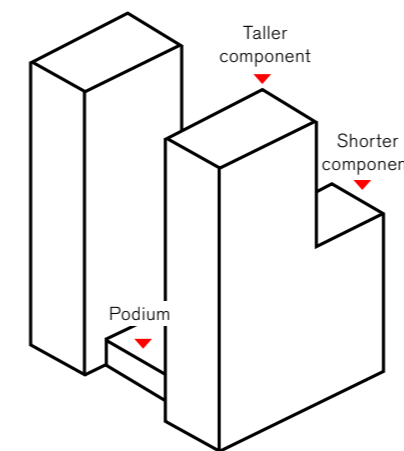
A minimum of 18m must be maintained between all building facades.



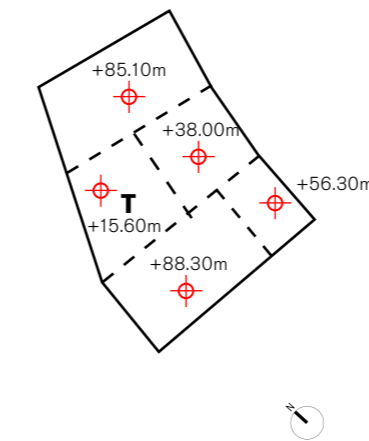
Facade articulation should be used to highlight and accentuate the building massing to define the two taller element joined at the base by the shorter component creating a podium.

Facade treatment should create a visual hierarchy of expressions that operate at an urban scale when viewed from afar and a residential scale when viewed up-close.

The residential units should have a primary orientation towards the River Thames.



Illustrative Building Form - 3D View



Maximum Height - Plan

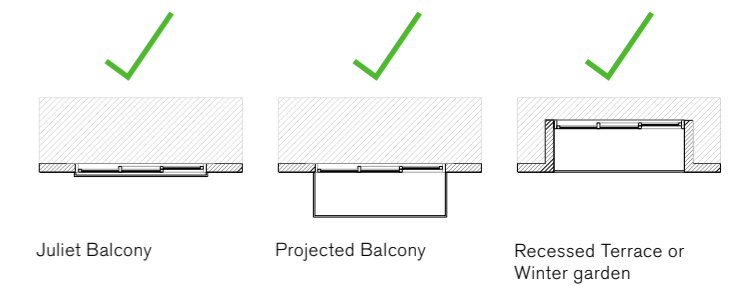
All residential units are to provide private amenity spaces in line with the Housing SPG.

Balustrade materiality is described in section 2.6 of the masterplan Guidelines.

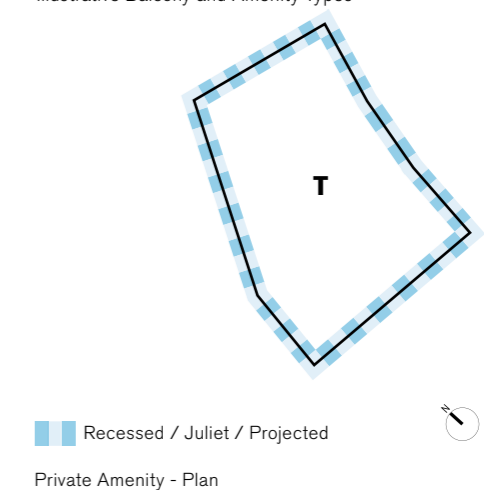
Private amenity spaces should be integrated within the buildings architectural expression and in line with the masterplan Guidelines set out in 2.8.

Private amenity spaces can be set back within the envelope (recessed terrace or winter garden), projected and/or flush with the building facade (Juliet balcony).

Where possible amenity spaces should be orientated towards the River Thames.



Illustrative Balcony and Amenity Types



5.12 Heavy Industrial Phase

5.12.1 Block V

Building Location

Block V is located within the Thameside East Character Area of the illustrative masterplan.

The location of Block V can be found on Parameter Plan A-SL-011-XX-13 Project Phasing Plan.

Please refer to section 4.2.7 of the Architectural Guidelines for specific typology guidelines.

Building Uses and Composition

Block V comprises industrial activities class B. Refer to Parameter Plans A-SL-011-XX-09, A-SL-011-XX-10 and A-SL-011-XX-11.

Industrial uses should form all parts of all levels.

Building Entrances and Frontages

The main entrances should be located on the south-west facade facing onto Dock Road or primary pedestrian access. All entrances are to be flush or recessed with the main building line.

The building should positively address the adjacent active public realm.

Where possible, place openings strategically in the façade to create visual connections to ancillary or operational uses within the building.

Ensure an appropriate balance between activation and privacy or security requirements when considering active frontages to areas of public realm.

Vehicular Access, Yards and Parking

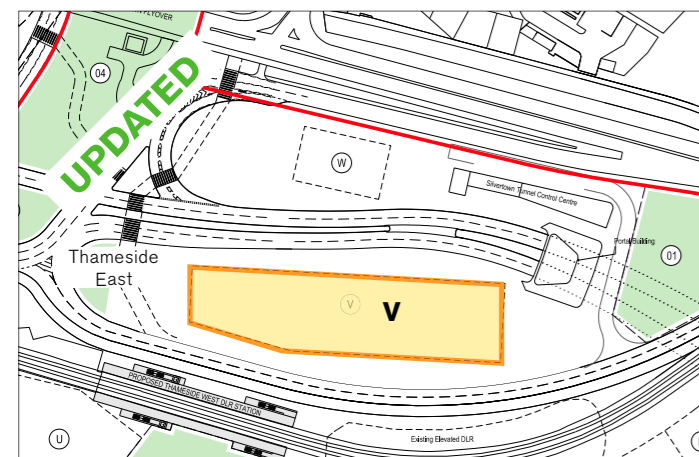
Parking and loading areas should not dominate edges adjacent to active areas of public realm.

Loading areas should be integrated within the building or beneath a decking structure to mitigate against potential visual and noise issues where appropriate.

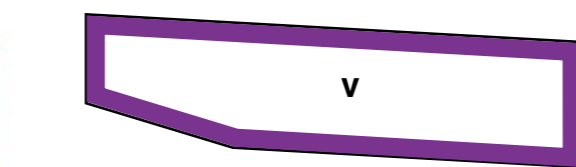
Where parking or loading areas are external, appropriate buffer treatments should be considered between pedestrian and industrial areas.



Location of the Thameside East Character Area Plots

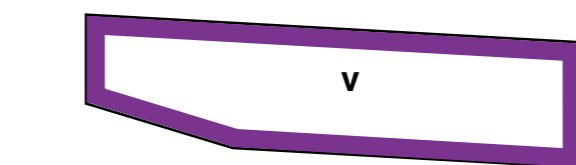


Building Block V located within the Thameside East Character Area



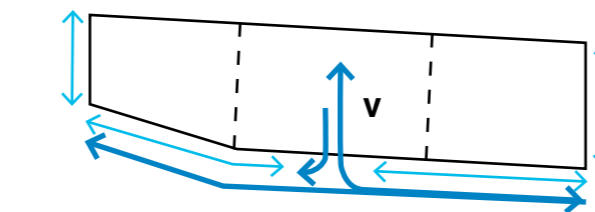
Class B1c, B2 and B8 (Business and Industrial Uses)

Primary Uses at Ground Floor Level



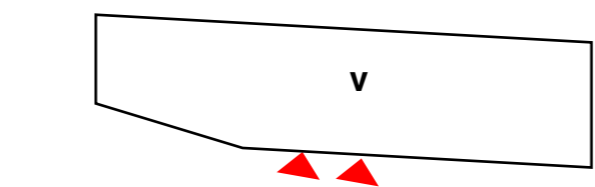
Class B1c, B2 and B8 (Business and Industrial Uses)

Primary Uses at Typical Upper Floor Levels



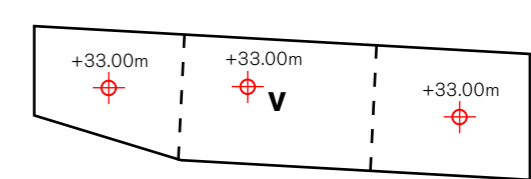
↔ Vehicular/access / Service access only
↔ Pedestrian / Service access only

Primary Circulation at Ground Floor Level

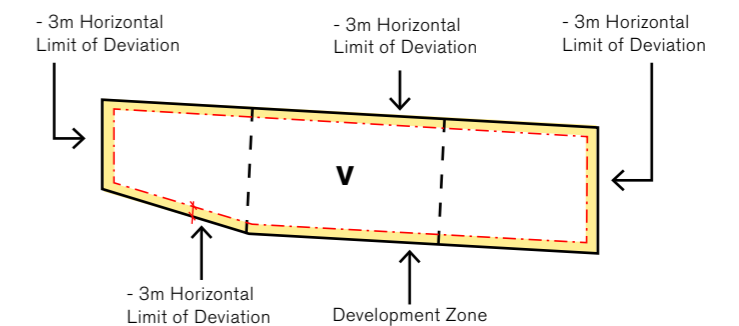


▶ Loading Bay Entrances

Residential Entrances at Ground Floor Level



Maximum Height - Plan



Horizontal Limit of Deviation - Plan

Building Envelope Parameters

The building envelope sets out the maximum massing volume the building can occupy. All elements associated with the building must be within this envelope, or the maximum permissible envelope defined by the parameter plans.

Refer to parameter plan A-SL-011-XX-04 for permitted vertical deviation. The maximum building heights take consideration of the complete masterplan vision ensuring the overall benefits are achieved.

The maximum horizontal deviation of the building line is -3m on south-west facade, -3m on north-east facade and -3m on east and west facades. Refer to parameter plan A-SL-011-XX-03 for permitted horizontal deviation.



Spatial Requirements

Working to the maximum heights set out across the Parameter Plans, adequate clear internal ceiling heights should be provided, ensuring the space is fit for purpose and flexible to meet the future needs of different types of industrial and related uses.

Below is a table of indicative specifications for varying industrial spatial typologies, as outlined in the Industrial Intensification and Co-Location Study commissioned by the Greater London Authority in 2018.

Typology	Typical Area per Unit	Typical Clear Floor to Ceiling Heights
Workshops/studios	10-500m ²	3.5m (min) - 4.4m
Small Industrial	500-1000m ²	4m (min) - 8m
Medium Industrial	1000-5000m ²	6m (min) - 8m May increase to 10m - 13m for warehousing operations
Large Industrial	+5000m ²	10m (min) - 13m

Architectural Identity

All facade articulation and building projections should be within the maximum permissible horizontal deviation.

This building should have a strong architectural identity, supporting overall definition of the character area.

The architectural expression of function and structure should be considered to establish a strong sense of identity and visual interest.

Inconsistent varieties of patterns and colours, and false articulation of building elements that attempt to establish architectural identity should be avoided.



Roofscape

Due to the buildings low-lying form, there should be considerate design treatment to the roofscape as viewed from taller components of the masterplan and nearby buildings.

Green or sedum roofs should be considered to provide both visual interest and urban greening, ensuring functionality and flexibility are not compromised. Refer to the Landscape and Public Realm strategy for further detail.

Top lighting should be considered, providing animation to roofscape and the opportunity for natural daylighting without compromising privacy or security requirements.

5.12 Heavy Industrial Phase

5.12.2 Energy Centre

Building Location

Block W is located within the Thameside East Character Area of the illustrative masterplan.

The location of Block W can be found on Parameter Plan A-SL-011-XX-13 Project Phasing Plan.

Refer to section 4.2.7 of the Architectural Guidelines for specific typology guidelines.

Building Uses and Composition

Block W comprises infrastructure building. Refer to Parameter Plans A-SL-011-XX-09, A-SL-011-XX-10 and A-SL-011-XX-11.

Infrastructure (energy centre) uses should form all parts of all the levels.

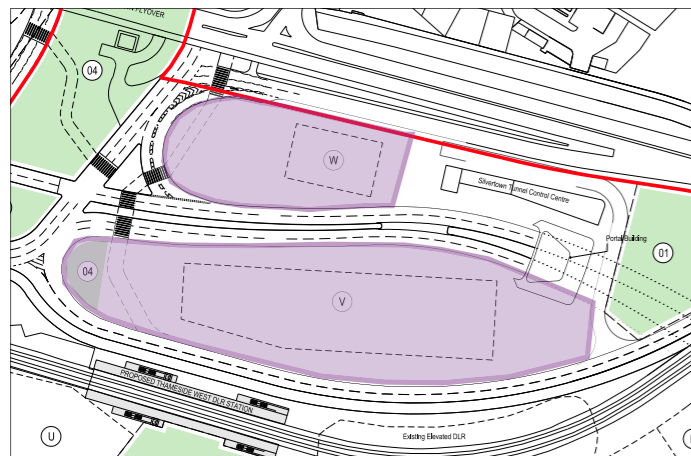
Building Entrances and Frontages

The main entrances should be located on the west facade facing onto the street or primary pedestrian access. All entrances are to be flush or recessed with the main building line.

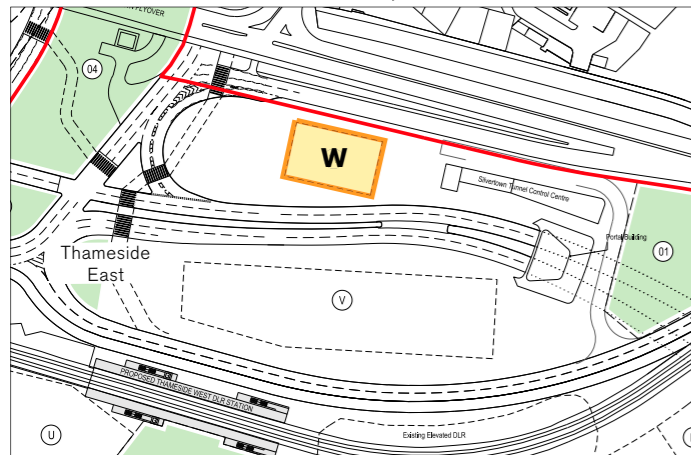
The building should positively address the adjacent active public realm.

Where possible, place openings strategically in the façade to create visual connections to ancillary or operational uses within the building.

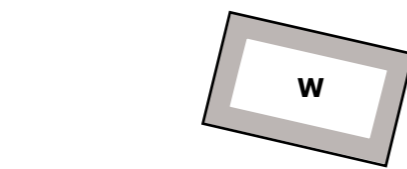
Ensure an appropriate balance between activation and privacy or security requirements when considering active frontages to areas of public realm.



Character Area Zone on the illustrative masterplan

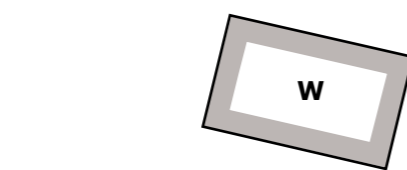


Building Block W located within the Thameside East Character Area



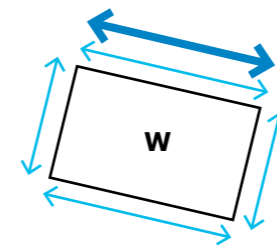
Infrastructure (Energy Centre)

Primary Uses at Ground Floor Level



Infrastructure (Energy Centre)

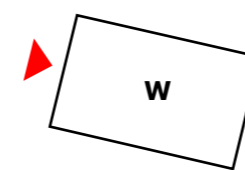
Primary Uses at Typical Upper Floor Levels



↔ Vehicular / Service access only

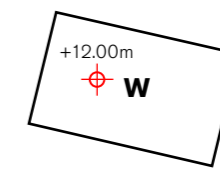
↔ Pedestrian / Service access only

Primary Circulation at Ground Floor Level

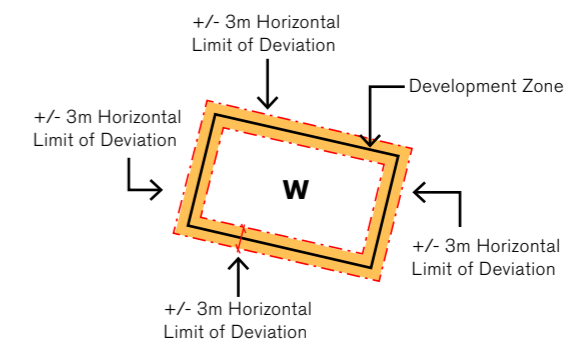


▶ Infrastructure Entrances

Residential Entrances at Ground Floor Level



Maximum Height - Plan



Horizontal Limit of Deviation - Plan

Building Envelope Parameters

The building envelope sets out the maximum massing volume the building can occupy. All elements associated with the building must be within this envelope, or the maximum permissible envelope defined by the parameter plans.

Refer to parameter plan A-SL-011-XX-04 for permitted vertical deviation. The maximum building heights take consideration of the complete masterplan vision ensuring the overall benefits are achieved.

The maximum horizontal deviation of the building line on all sides is +/-3m. Refer to parameter plan A-SL-011-XX-03 for permitted horizontal deviation.

All facade articulation and building projections should be within the maximum permissible horizontal deviation limit.

Architectural Identity

All facade articulation and building projections should be within the maximum permissible horizontal deviation.

This building should have a strong architectural identity, supporting overall definition of the character area.

The architectural expression of function and structure should be considered to establish a strong sense of identity and visual interest.

Inconsistent varieties of patterns and colours, and false articulation of building elements that attempt to establish architectural identity should be avoided.

Roofscape

Due to the buildings low-lying form, there should be considerate design treatment to the roofscape as viewed from taller components of the masterplan and nearby buildings.

Green or sedum roofs should be considered to provide both visual interest and urban greening, ensuring functionality and flexibility are not compromised. Refer to the Landscape and Public Realm strategy for further detail.

Top lighting should be considered, providing animation to roofscape and the opportunity for natural daylighting without compromising privacy or security requirements.

