

This chapter outlines the various Architectural Guidelines set out for the Design Code of the Thameside West Outline Planning Application within the Hybrid Planning Application. A set of rules with a flexible range of interpretation helps to maintain a cohesive architectural language throughout the masterplan.



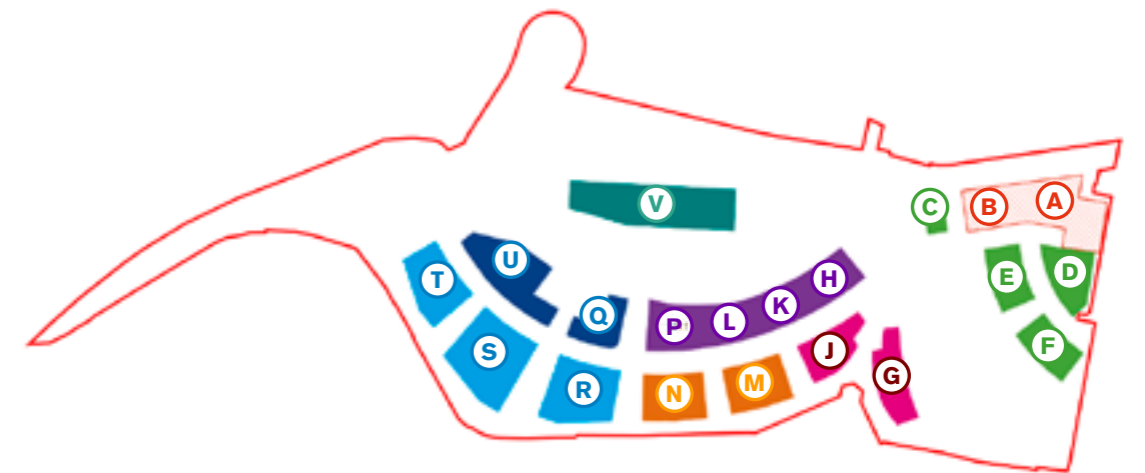


4.1 Introduction and Concept

One of the key design principles when developing the illustrative masterplan was to create a collection of spaces of unique character and expression that work together in establishing a new vibrant neighbourhood.

Consequently, a selection of building typologies and material palettes have been identified that complement the landscape strategies discussed in Chapter 3 of this report and provide varied streetscapes enriching of each Character Area.

The curation of these principal architectural guidelines, when applied site-wide, allows for variation while maintaining a coherent neighbourhood in keeping with the overall masterplan vision.



Above: Diagram of the Development Plots within Thameside West

Left: An early concept sketch of architectural typologies



4.2 Architectural Design Codes

4.2.1 The Riverside Quarter



4.2 Architectural Design Codes

4.2.1 The Riverside Quarter

Overview

The Riverside Quarter is an area which is comprised of 3 Blocks - R, S and T. They house several retail units all Leaside Crescent, adjacent Dock Gardens and along the waterfront. Residential lobbies and amenities also activate the ground floor level.

Additional community facilities by way of a nursery located within Block T are also provided within the Riverside Quarter. The adjacent park (Leaway Park) along the River Lea provides further amenities for the residents as well as connections to Canary Wharf and the City to the west.

The diagrams below illustrate the location of Riverside Quarter within the masterplan as well as each building block.



Location of the Riverside Quarter Character Area Plots

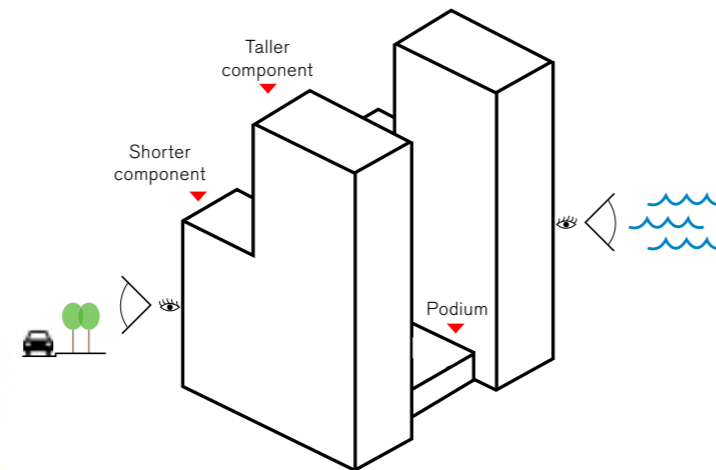


3D View of the Riverside Quarter Character Area on the illustrative masterplan

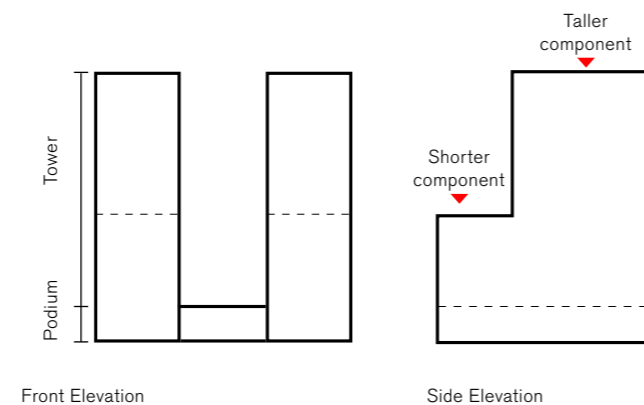
Building Typology

Riverside Quarter building typology is a massing of two residential towers which come straight to the ground linked together with a two-storey podium at the base. The towers are further defined by a taller and shorter component. These elements help to break the massing within the overall masterplan, creating increased daylight across the site. The taller component faces the river for panoramic views whilst the shorter overlooks Leaside Crescent.

The podium houses the main entrances and lobbies on ground floor with access to cycle storage. It also provides private residential amenities internally, and external amenities such as a playspace or garden.



Overall Building Form - 3D View



Front Elevation

Side Elevation

Overall Building Form - Elevational Views

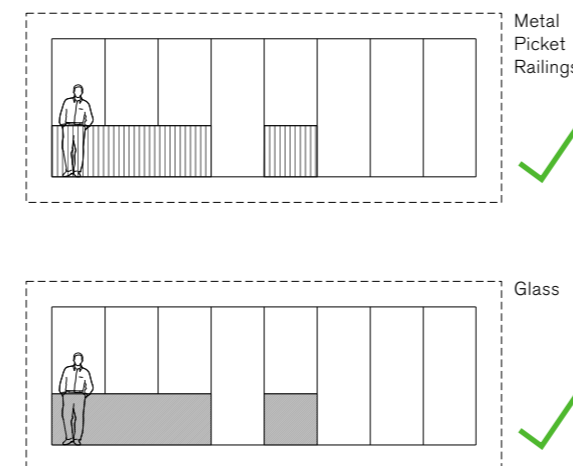
Balustrade Treatment

Balcony balustrades should be addressed in a way which compliments the materiality and overall composition of the Character Area.

Where possible balconies should have a solid floor build-up with integrated drainage to encourage use. Drip through balconies should be avoided.

Metal picket, perforated metal and glazed balustrades are permitted.

Types material and aesthetic appearance are described in the materiality section at the right. Solid, brick, timber, plastic or coloured glass balustrades are not permitted.



Balustrade Types - Permitted

Facade Expression

A hierarchy of frames are used to articulate the facade when read at an urban scale and up close.

Primary vertical slots can be used introduce a more slender massing proportion.

Residential Floors should be coupled into groups of 3-4 to create an urban scale.

Each residential floor plate should be expressed by either projecting or recessed elements to define a residential scale.

Amenity spaces and should be ordered in a regular pattern to accentuate the overall building massing.

Openable panels should be set out to reflect the requirements of the internal layouts within.

Materiality

Character Area material palettes have been developed in order to create a cohesive neighbourhood look and feel throughout this area of the illustrative masterplan.

High quality materials reinforce the architectural vision and are informed by the masonry brick London residential vernacular.

Variation in tone and texture is provided to allow for the creation of interest and depth across the series of buildings within the Character Area.

The materials chosen must be of high quality and reinforcing of the overall architectural expression.

For the Riverside Quarter Character Area the following materials have been chosen:

- Expressed primary structure or frame that is precast concrete or masonry / brick in appearance.
- Masonry / brick / precast concrete or profiled metal panels infill panels.
- Glazing types permitted include large format horizontal or vertical oriented glazing.
- The overall appearance must remain within the colour and tonal range of the example materials provided below.

The layering of materials should be used in conjunction with the articulation of massing elements to create a highly modelled facade.

Character Area References

When developing the Character Areas it is useful to establish a range of reference images which visually assist in describing the desired materiality and overall composition of the buildings.

Within these frames, they also display regular window shapes and patterns which bring a level of consistency to the building's modularity.

Residential units are further emphasized with the expression of private amenity spaces. These can be in the form of Juliet, projected balconies or recessed winter gardens or terraces. Please refer

to Chapter 5 for further information.

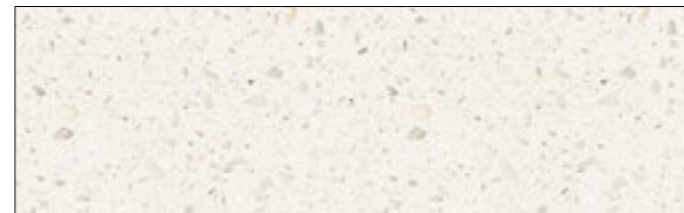
A range of light and dark bricks and metals are shown across all buildings.

Private residential amenities are also shown at rooftop levels.

Shown below are images which utilise a type of frame expression which breaks down the residential massing to a residential scale.



Light Grey Brick



Light Grey Masonry / Precast Concrete



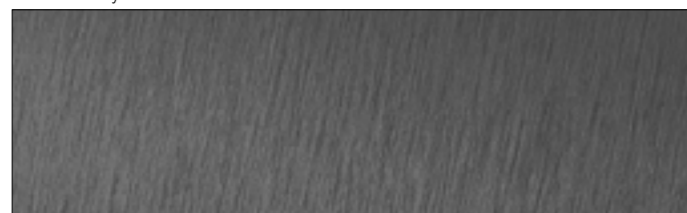
Medium Grey Masonry / Precast Concrete



Medium Grey Brick



Dark Blue/Grey Brick



Charcoal Grey



Anthracite



Regular window pattern and shape, light grey materiality, Juliet balcony expression



Clip-on balcony expression with metal and glazed balustrades, lighter materiality



Masonry frames, precast concrete and brick, set-back balconies



Residential amenities at rooftop levels

CAFE ALL DAY	
COFFEE	
ESPRESSO	1.80
CAPUCCINO	2.20
LATTE	2.20
FLAT WHITE	2.20
MOKHA	2.20
MCCHAFFEE	2.20
AMERICANO	2.20
T/STRAIP	1.80
★ COFFEE BAGS £3.50 ★	
TEA	
VARIETY	1.20
HOT CHOCOLATE	1.20
MILKSHAKE	2.20
SOFT DRINKS	
BOTTLED BEER	1.80
ORANGE	1.40
MINERAL	1.20
CRISP	1.20
SNACKS	
FLAP JACK	1.20
SLICES	1.20
CRISP	1.20
★ PIZZAS ★	
MARGHERITA	£5
PLUS 3 TOPPINGS	£7
★ CYCLE PS WORKSHOP PRICES KLS SEE BOARD OPPOSITE ★	



4.2 Architectural Design Codes

4.2.2 The Station Plaza



4.2 Architectural Design Codes

4.2.2 The Station Plaza

Overview

The Station Plaza is an area which is comprised of 2 Blocks - Q and U. They house several retail units around Station Plaza and along Leaside Crescent. Residential lobbies and amenities also activate the ground floor level.

A school and a community centre are located within the Blocks Q and U respectively. Station Plaza has a direct connection to the proposed new DLR station.

The diagrams below illustrate the location of Station Plaza within the masterplan as well as each building block.



Location of the Station Plaza Character Area Plots

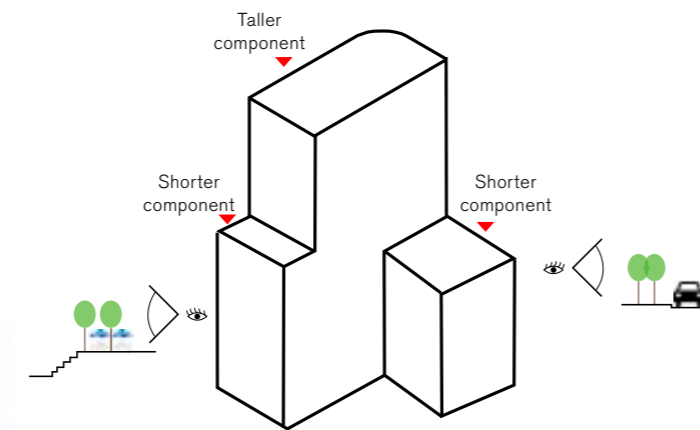


3D View of the Station Plaza Character Area on the illustrative masterplan

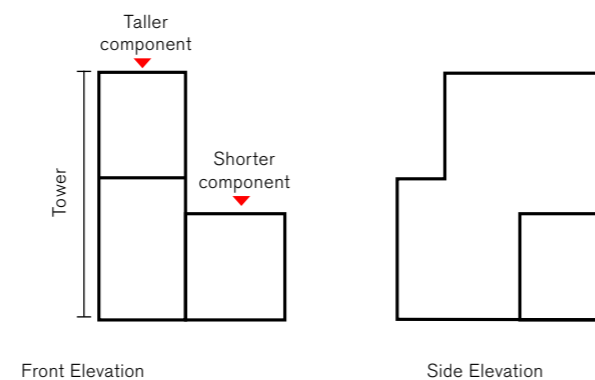
Building Typology

The Station Plaza building typology is a massing of two residential towers which come straight to the ground in a L-shape, creating Station Plaza with buildings Q and U facing each other. The towers are further defined with a taller component to the corner. These elements help to break the massing within the overall masterplan, creating increased daylight across the site. The taller component creates a marker along Leaway Crescent whilst the shorter base components define the setting for the plaza.

The main entrances and lobbies are located on the ground floor with access to bicycle storage.



Overall Building Form - 3D View



Front Elevation

Side Elevation

Overall Building Form - Elevational Views

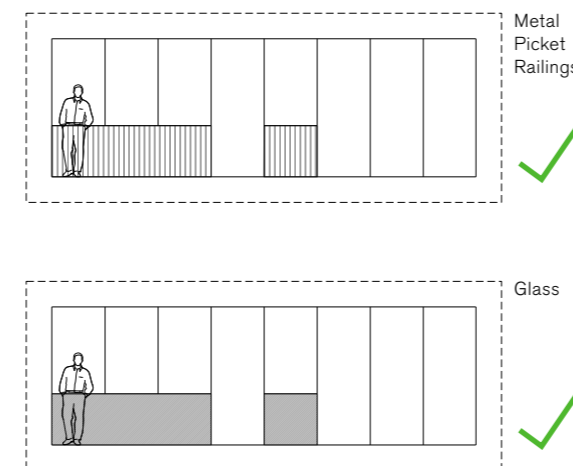
Balustrade Treatment

Balcony balustrades should be addressed in a way which compliments the materiality and overall composition of the Character Area.

Where possible balconies should have a solid floor build-up with integrated drainage to encourage use. Drip through balconies should be avoided.

Metal picket, perforated metal and glazed balustrades are permitted.

Types material and aesthetic appearance are described in the materiality section at the right. Solid, brick, timber, plastic or coloured glass balustrades are not permitted.



Balustrade Types - Permitted

Facade Expression

The Station Plaza buildings should be more solid in appearance with a greater ratio of opaque masonry / brick to glass.

The primary massing should be expressed via masonry / brick frames creating a rational grid proportioned to a typical residential story height.

Glazed infill panels, windows and amenity spaces should be read secondary to primary frame.

Where horizontal deviation is permitted the private amenity spaces should be projecting in order to illustrate the residential function of the buildings.

Materiality

Character Area material palettes have been developed in order to create a cohesive neighbourhood look and feel throughout this area of the illustrative masterplan.

High quality materials reinforce the architectural vision and are informed by the masonry brick London residential vernacular.

Variation in tone and texture is provided to allow for the creation of interest and depth across the series of buildings within the Character Area.

The materials chosen must be of high quality and reinforcing of the overall architectural expression of the Character Area.

For the Station Plaza Character Area the following materials have been chosen:

- Expressed primary masonry / brick frames.
- Masonry / brick / precast concrete infill panels which create visual interest at a residential scale.
- Glazing types permitted include multi-pane metal frame windows and/or horizontally oriented glazing.
- The overall appearance must remain within the colour and tonal range of the example materials provided below.

The layering of materials should be used in conjunction with the articulation of massing elements to create a highly modelled facade.

Character Area References

When developing the Character Areas it is useful to establish a range of reference images which visually assist in describing the desired materiality and overall composition of the buildings.

Station Plaza utilises an industrial look and feel throughout.

Within these frames, they also display regular window shapes and patterns which bring a level of consistency to the building's modularity.

Residential units are further emphasized with the expression of private amenity spaces. These can be in the form of Juliet, projected balconies or recessed winter gardens or terraces. Please refer to Chapter 5 for further information.

A range of light and dark bricks and metals are shown across all buildings.

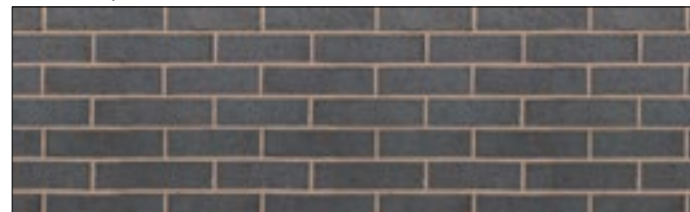
Shown below are images which utilise a type of frame expression which breaks down the residential massing to a residential scale.



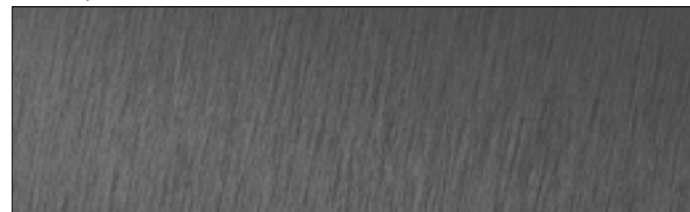
Light Grey Brick



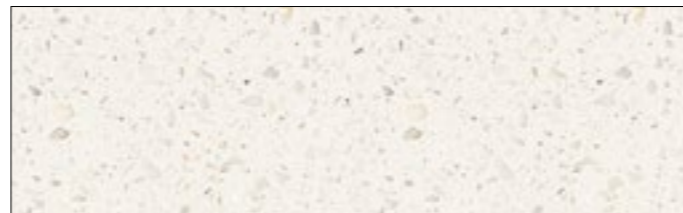
Medium Grey Brick



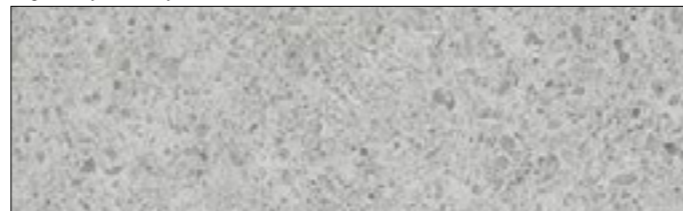
Dark Grey Brick



Charcoal Grey



Light Grey Masonry / Precast Concrete



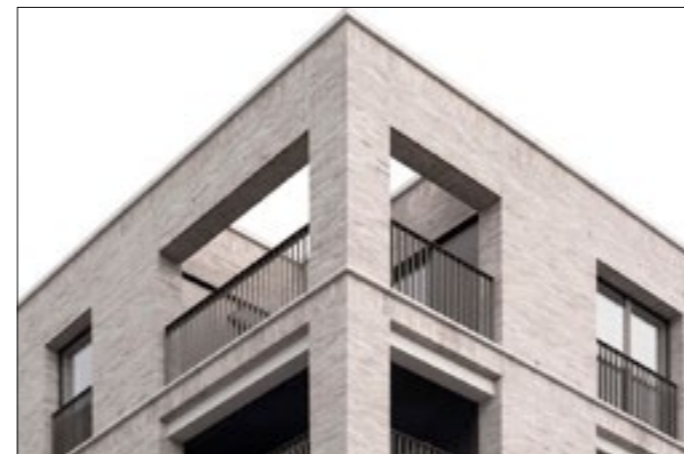
Medium Grey Masonry / Precast Concrete



Dark Blue/Grey Brick



Anthracite



Set-back and Juliet balconies, metal balustrade expression



Regular window pattern and shape, metal-frame windows



Regular window pattern and shape, light grey materiality, varying balconies



Regular window pattern and shape, dark material palette, Juliet balcony expression

4.2 Architectural Design Codes

4.2.3 The Quays



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ESTD 1883
OLDTOWN
- BISTRO -
COFFEE & BEER

Old Town

ESTD 1883
LMOI
CIVILIAN
LU' BEER
ESTD 1883
CA. 1883

4.2 Architectural Design Codes

4.2.3 The Quays

Overview

The Quays is an area which is comprised of 2 Blocks - M and N. They house several retail units along the waterfront.

Residential lobbies and amenities also activate the ground floor level towards the Thameside Crescent and the nearby Dock Gardens.

Building Typology

The Quays building typology is a massing of two residential towers which come straight to the ground with a shorter component linking them at the hip. All tower components are then linked with a podium at the base. These varying elements help to break the massing within the overall masterplan, creating increased daylight across the site. The taller components lie at the outer edges of the plot, with the shorter facades proving views towards the River Thames.

The main entrances and lobbies are located on the ground floor with access to bicycle storage.

Balustrade Treatment

Balcony balustrades should be addressed in a way which compliments the materiality and overall composition of the Character Area.

Where possible balconies should have a solid floor build-up with integrated drainage to encourage use. Drip through balconies should be avoided.

Metal picket, perforated metal and glazed balustrades are permitted.

Types material and aesthetic appearance are described in the materiality section at the right. Solid, brick, timber, plastic or coloured glass balustrades are not permitted.

Facade Expression

The overall expression of the Quays building typology should be horizontal in expression.

The primary frames should be expressed with a horizontal orientation.

Residential Floors should be coupled into groups of 2-4 to create an urban scale.

Each residential floor plate should be expressed by either projecting or recessed elements to define a residential scale.

Private amenity spaces should be projecting on facades with waterfront views and recessed on Juliet balconies applied elsewhere.

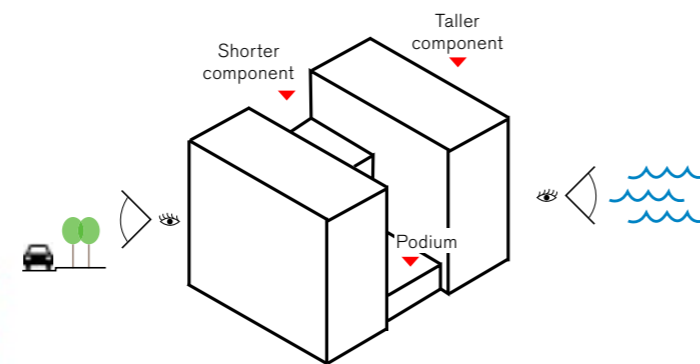
Openable panels should be set out to reflect the requirements of the internal layouts within.



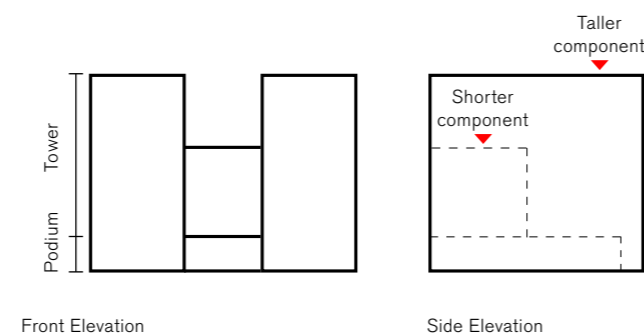
Location of the Quays Character Area Plots



3D View of the Quays Character Area on the illustrative masterplan



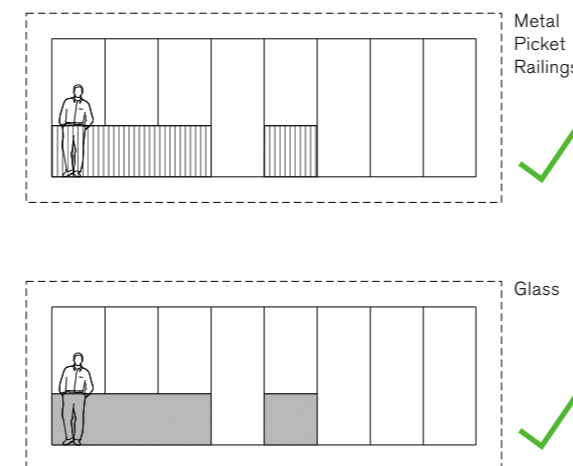
Overall Building Form - 3D View



Front Elevation

Side Elevation

Overall Building Form - Elevational Views



Balustrade Types - Permitted

Materiality

High quality materials reinforce the architectural vision and are informed by the masonry brick London residential vernacular.

Variation in tone and texture is provided to allow for the creation of interest and depth across the series of buildings within the Character Area.

The materials chosen must be of high quality and reinforcing of the overall architectural expression.

For The Quays Character Area the following materials have been chosen:

- Expressed precast concrete frames.
- Masonry / brick / precast concrete or profiled metal panels infill panels.
- Glazing types permitted include large format horizontal or vertical oriented glazing.
- The overall appearance must remain within the colour and tonal range of the example materials provided below.

The layering of materials should be used in conjunction with the articulation of massing elements to create a highly modelled facade.

Character Area References

When developing the Character Areas it is useful to establish a range of reference images which visually assist in describing the desired materiality and overall composition of the buildings.

Within these frames, they also display regular window shapes and patterns which bring a level of consistency to the building's modularity.

Residential units are further emphasized with the expression of private amenity spaces. These can be in the form of Juliet, projected balconies or recessed winter gardens or terraces. Please refer to Chapter 5 for further information.

A range of light masonry and bricks with warm accent metals are shown across all buildings.

Shown below are images which utilise a type of frame expression which breaks down the residential massing to a residential scale.



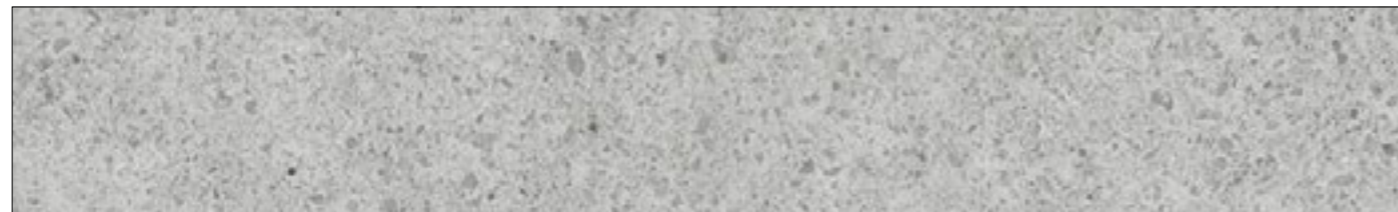
Light Grey Brick



Portland Fossil Limestone



Reconstituted Stone



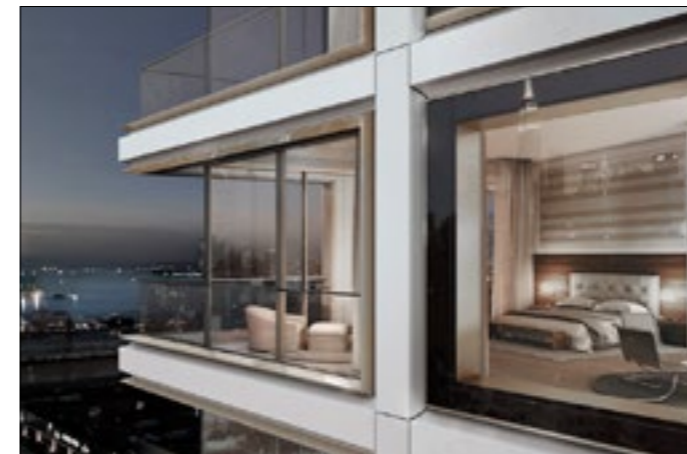
Concrete Exposed Aggregate



Bronze



Pearl Copper



Expressed precast concrete and metal frame



Regular window pattern and shape, light grey materiality, Juliet balcony expression



Regular window pattern and shape, clip-on glazed balcony expression



Regular window pattern and shape, metal blinds

4.2 Architectural Design Codes

4.2.4 Victoria Wharf

Overview

Victoria Wharf is an area which is comprised of 2 Blocks - G and J. They house several retail units facing Victoria Wharf and retail units in Block G facing onto the Dock Park Terrace.

Residential lobbies and amenities also activate the ground floor level towards Thameside Crescent.

The adjacent Dock Park provides amenities for the residents as well as connections to the nearby Royal Docks area.



Location of the Victoria Wharf Character Area Plots

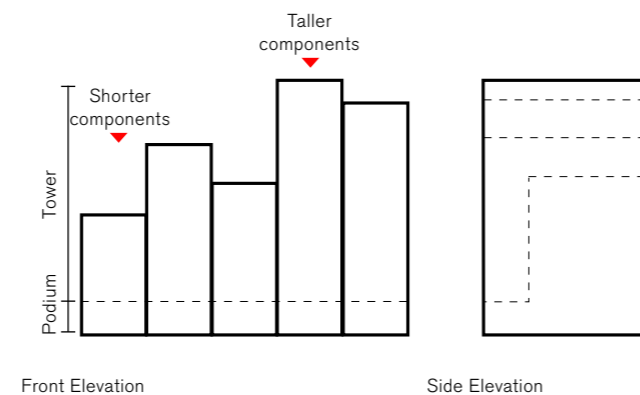
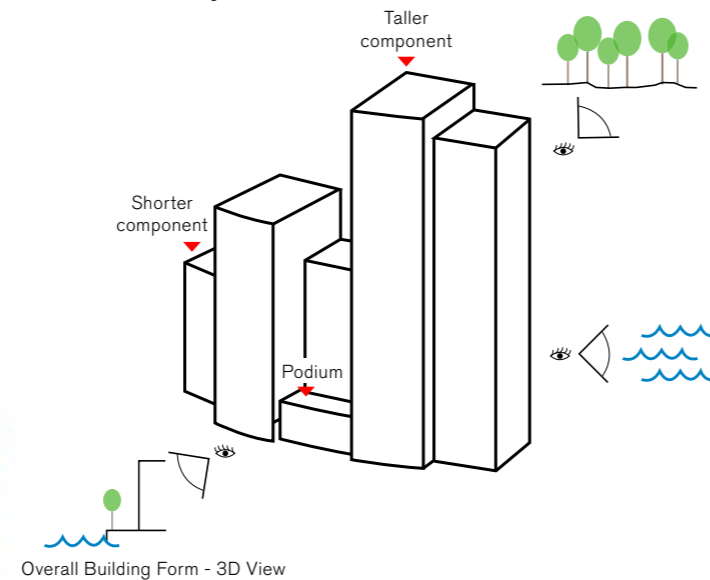


3D View of the Victoria Wharf Character Area on the illustrative masterplan

Building Typology

Victoria Wharf is an area which blends the Quays and Thameside Crescent typologies to create a unique feature piece facing the Thames. This typology alternates shorter and taller massing components with two taller components grouped facing the river on one side and Dock Park at the other. This helps to create a maximum amount of residential units with prime views over the illustrative masterplan.

A low podium creates a ground level entrance for the main portion of the residential units. From this area residents can access the cycle storage and the amenities provided on the roof above.



Overall Building Form - Elevational Views

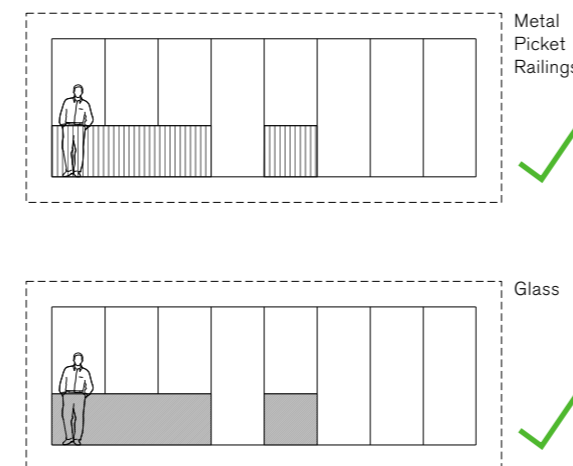
Balustrade Treatment

Balcony balustrades should be addressed in a way which compliments the materiality and overall composition of the Character Area.

Where possible balconies should have a solid floor build-up with integrated drainage to encourage use. Drip through balconies should be avoided.

Metal picket, perforated metal and glazed balustrades are permitted.

Types material and aesthetic appearance are described in the materiality section at the right. Solid, brick, timber, plastic or coloured glass balustrades are not permitted.



Balustrade Types - Permitted

Facade Expression

The overall expression of the Victoria Wharf building typology should be horizontal in expression.

The primary frames should be expressed with a horizontal orientation.

Residential Floors should be coupled into groups of 2-4 to create an urban scale.

Each residential floor plate should be expressed by either projecting or recessed elements to define a residential scale.

Private amenity spaces should be projecting on facades with waterfront views and recessed on Juliet balconies applied elsewhere.

Openable panels should be set out to reflect the requirements of the internal layouts within.

Materiality

High quality materials reinforce the architectural vision and are informed by the masonry brick London residential vernacular.

Variation in tone and texture is provided to allow for the creation of interest and depth across the series of buildings within the Character Area.

The materials chosen must be of high quality and reinforcing of the overall architectural expression.

For the Victoria Wharf Character Area the following materials have been chosen:

- Exposed precast concrete frames.
- Masonry / brick / precast concrete or profiled metal panels infill panels.
- Glazing types permitted include large format horizontal or vertical oriented glazing.
- The overall appearance must remain within the colour and tonal range of the example materials provided below.

The layering of materials should be used in conjunction with the articulation of massing elements to create a highly modelled facade.

Character Area References

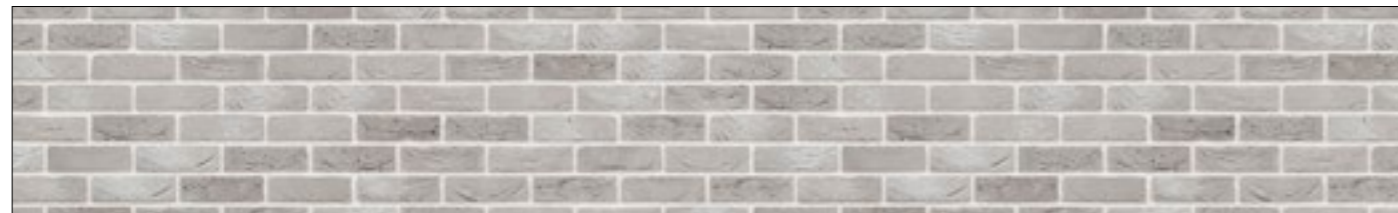
When developing the Character Areas it is useful to establish a range of reference images which visually assist in describing the desired materiality and overall composition of the buildings.

Within these frames, they also display regular window shapes and patterns which bring a level of consistency to the building's modularity.

Residential units are further emphasized with the expression of private amenity spaces. These can be in the form of Juliet, projected balconies or recessed winter gardens or terraces. Please refer to Chapter 5 for further information.

A range of light masonry and bricks with warm accent metals are shown across all buildings.

Shown below are images which utilise a type of frame expression which breaks down the residential massing to a residential scale.



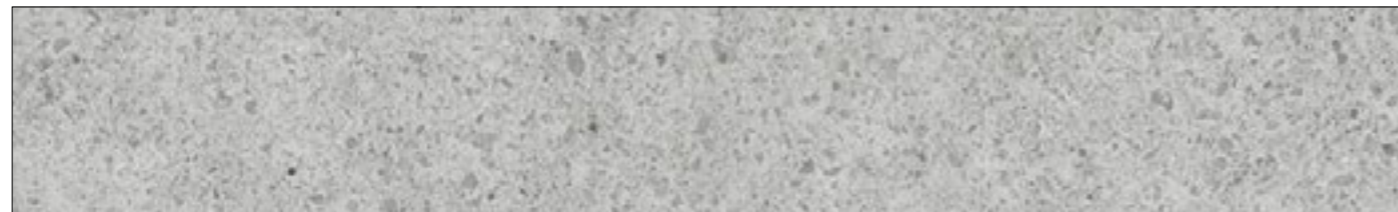
Light Grey Brick



Portland Fossil Limestone



Reconstituted Stone



Concrete Exposed Aggregate



Bronze



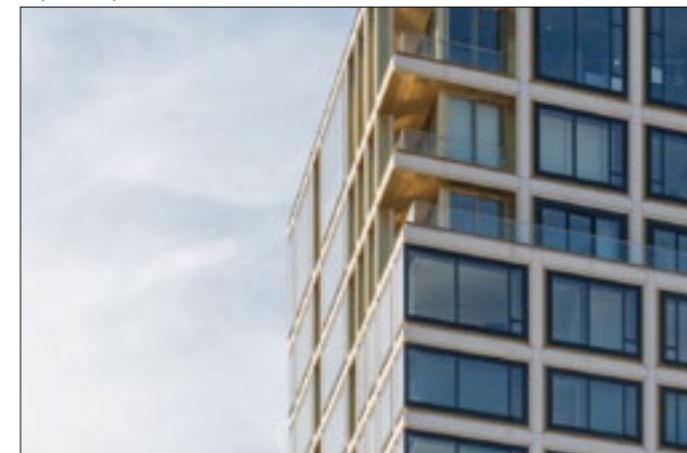
Pearl Copper



Expressed precast concrete and metal frame



Regular window pattern and shape, light grey materiality, Juliet balcony expression



Regular window pattern and shape, warm material palette



Regular window pattern and shape, light grey materiality, Juliet balcony expression



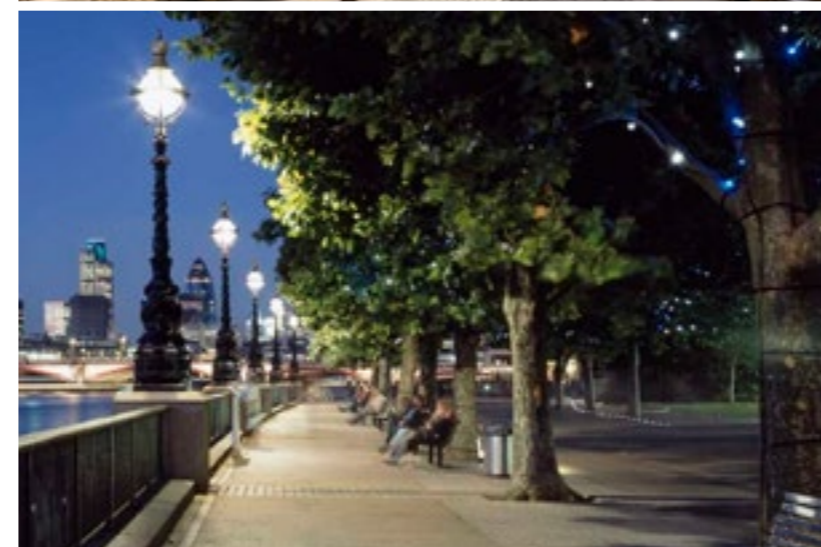
The Little Flower Shop

THE LITTLE FLOWER SHOP ON THAMESIDE

Ashley Ryan
Fast Care
Mixed garden beds, plants
to match your style and budget
with expert advice
Specialist care
All plants guaranteed to thrive
or your money back
Free delivery to your door
Call us today on 020 7123 4567

4.2 Architectural Design Codes

4.2.5 Thameside Crescent



4.2 Architectural Design Codes

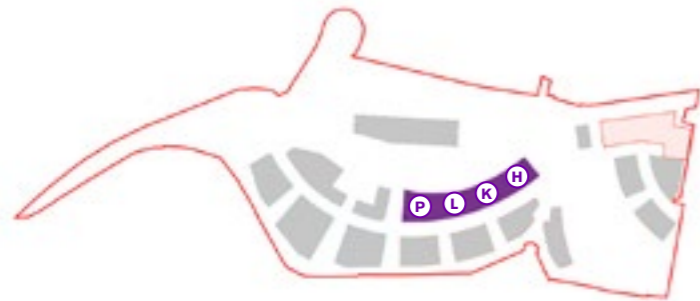
4.2.5 Thameside Crescent

Overview

Thameside Crescent is an area which is comprised of 4 Blocks - H, K, L and P.

Residential lobbies and units activate the ground floor level towards the Thameside Crescent and pedestrian avenues.

Dock Park to the south provides amenities for the residents as well as connections to the nearby Royal Docks area.



Location of the Thameside Crescent Character Area Plots



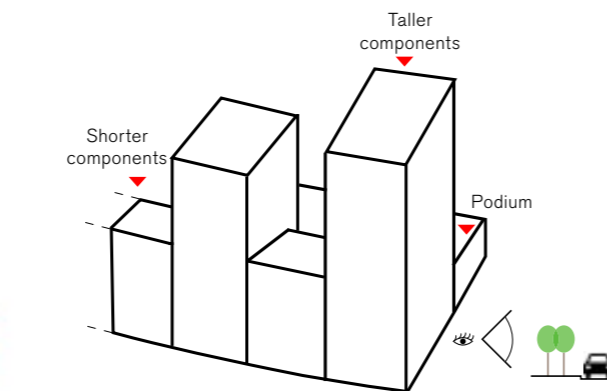
3D View of the Thameside Crescent Character Area on the illustrative masterplan

Building Typology

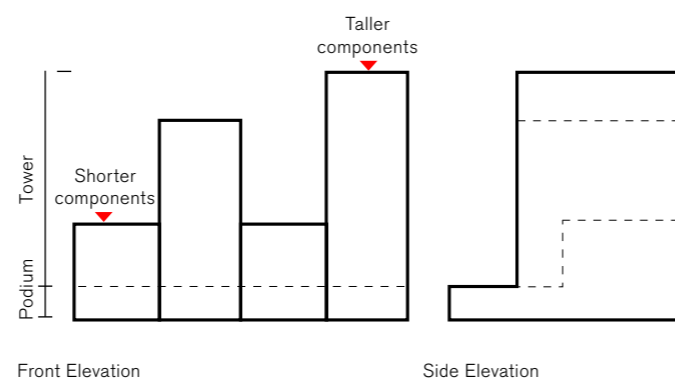
The Thameside Crescent building typology is a massing of several components in a long linear arrangement. Alternating taller and shorter components line the main vehicular and pedestrian boulevard (Thameside Crescent) that connects the masterplan. All tower elements are then linked with a podium at the rear. These varying elements help to break the massing within the overall masterplan, creating increased daylight across the site.

The main entrances and lobbies are located on the ground floor with access to bicycle storage on the upper floor and allocated car park at the rear of the entrance level.

Variation in height across Thameside Crescent should be sought.



Overall Building Form - 3D View



Front Elevation

Side Elevation

Overall Building Form - Elevational Views

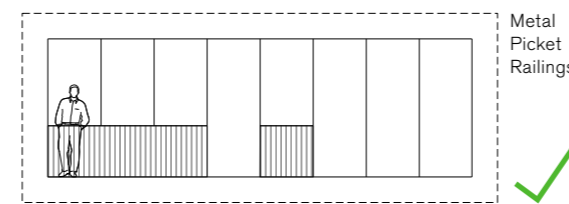
Balustrade Treatment

Balcony balustrades should be addressed in a way which compliments the materiality and overall composition of the Character Area.

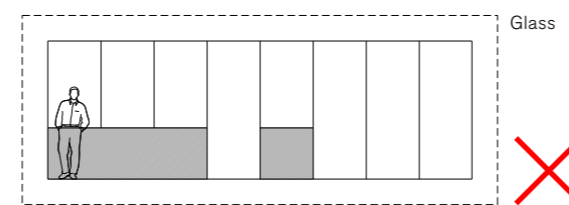
Where possible balconies should have a solid floor build-up with integrated drainage to encourage use. Drip through balconies should be avoided.

Metal picket balustrades are permitted.

Types material and aesthetic appearance are described in the materiality section at the right. Solid, brick, timber, plastic or coloured glass balustrades are not permitted.



Balustrade Types - Permitted



Balustrade Types - Not Permitted

Facade Expression

The Thameside Crescent buildings should be more solid in appearance with a greater ratio of opaque masonry / brick to glass.

The primary massing should be expressed as masonry / brick construction with openings created for windows and private amenity spaces.

Glazed infill panels, windows and amenity spaces should be read secondary to primary masonry facade.

Where horizontal deviation is permitted the private amenity spaces should be projecting in order to illustrate the residential function of the buildings.

Materiality

High quality materials reinforce the architectural vision and are informed by the masonry brick London residential vernacular.

Variation in tone and texture is provided to allow for the creation of interest and depth across the series of buildings within the Character Area.

The materials chosen must be of high quality and reinforcing of the overall architectural expression.

For the Thameside Crescent Character Area the following materials have been chosen:

- Facing brick throughout with glazed brick inset accent bricks
- Masonry / brick infill panels which.
- Glazing types permitted include multi-pane metal frame windows and/or horizontally oriented glazing.
- The overall appearance must remain within the colour and tonal range of the example materials provided below.

The layering of materials should be used in conjunction with the articulation of massing elements to create a highly modelled facade.

Character Area References

When developing the Character Areas it is useful to establish a range of reference images which visually assist in describing the desired materiality and overall composition of the buildings.

Within these frames, they also display regular window shapes and patterns which bring a level of consistency to the building's modularity.

Residential units are further emphasized with the expression of private amenity spaces. These can be in the form of Juliet, projected balconies or recessed winter gardens or terraces. Please refer to Chapter 5 for further information.

A range of London Stock and tan masonry and bricks with both cold and warm accent metals are shown across all buildings.

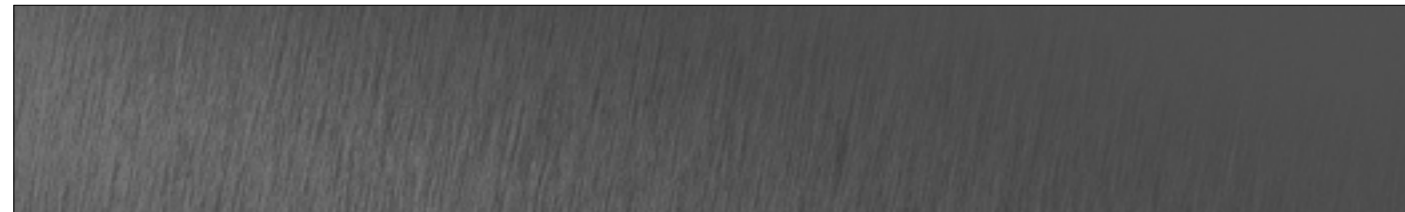
Shown below are images which utilise a type of frame expression which breaks down the residential massing to a residential scale.



London Stock Yellow Brick



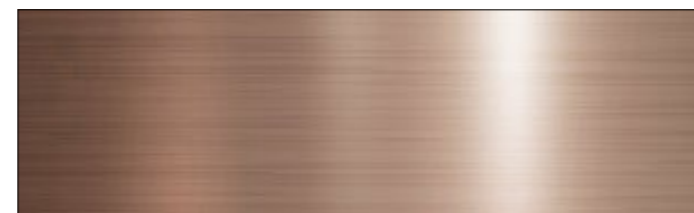
London Stock Brick



Charcoal Grey



Bronze



Pearl Copper



Set-back and Juliet balconies, metal balustrade expression



Ground floor treatment, yellow material palette, Juliet metal balcony



Clip-on balcony expression with metal balustrades red material palette



Regular window pattern, yellow material palette, clip-on balcony expression





4.2 Architectural Design Codes

4.2.6 The Parkside



4.2 Architectural Design Codes

4.2.6 The Parkside

Overview

Parkside is an area which is comprised of 4 Blocks - C, D, E and F.

Residential lobbies and units activate the ground floor level.

The adjacent Dock Park to the north provides amenities for the residents as well as connections to the nearby Royal Docks area.

The diagrams below illustrate the location of Parkside within the masterplan as well as each building block. The building typologies are described as follows:

- Typology 1 - Blocks E, F
- Typology 2 - Block C
- Typology 3 - Block D



Location of the Parkside Character Area Plots

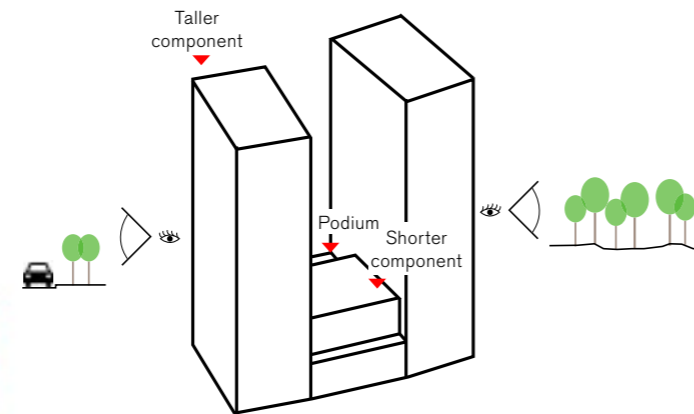


3D View of the Parkside Character Area on the illustrative masterplan

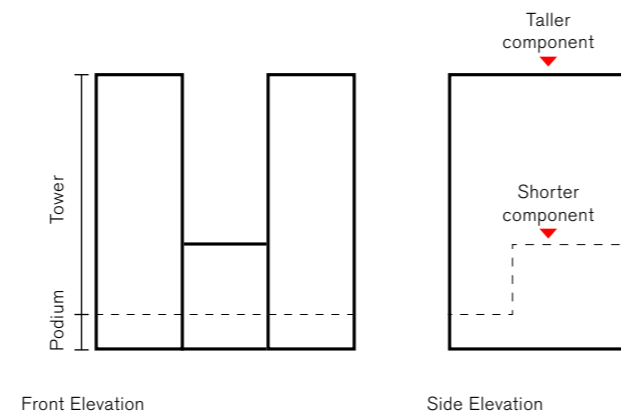
Building Typology

Parkside building typology 1 is a massing of two residential towers which come straight to the ground linked together with a shorter residential component and two-storey podium at the base. The towers are further defined as a massing with a taller and shorter component. These elements help to break the massing within the overall masterplan, creating increased daylight across the site. All components face the park for panoramic views.

The podium houses the main entrances and lobbies on ground floor with access to bicycle storage. It also provides private residential amenities internally, and external amenities such as a playspace or garden.



Overall Building Form - 3D View



Front Elevation

Side Elevation

Overall Building Form - Elevational Views

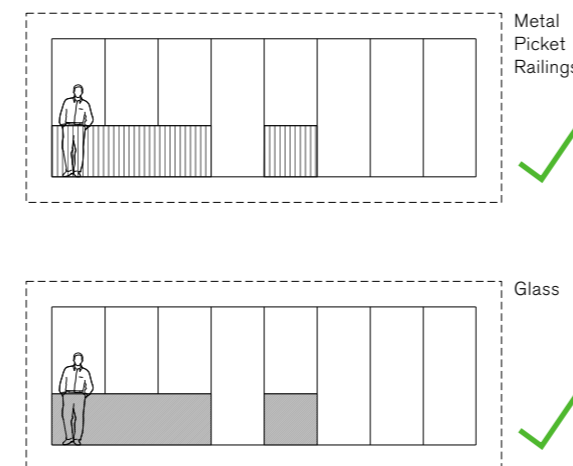
Balustrade Treatment

Balcony balustrades should be addressed in a way which compliments the materiality and overall composition of the Character Area.

Where possible balconies should have a solid floor build-up with integrated drainage to encourage use. Drip through balconies should be avoided.

Metal picket, perforated metal and glazed balustrades are permitted.

Types material and aesthetic appearance are described in the materiality section at the right. Solid, brick, timber, plastic or coloured glass balustrades are not permitted.



Balustrade Types - Permitted

Facade Expression

A hierarchy of frames are used to articulate the facade when read at an urban scale and up close.

The massing should be articulated by an expressed primary frame with masonry / brick infill panels.

Residential floors should be coupled into groups of 3-4 to create an urban scale.

Each residential floor plate should be expressed by either projecting or recessed elements to define a residential scale.

Amenity spaces and should be ordered in a regular pattern to accentuate the overall building massing.

Openable panels should be set out to reflect the requirements of the internal layouts within.

Materiality

High quality materials reinforce the architectural vision and are informed by the masonry brick London residential vernacular.

Variation in tone and texture is provided to allow for the creation of interest and depth across the series of buildings within the Character Area.

The materials chosen must be of high quality and reinforcing of the overall architectural expression.

For the Parkside Character Area the following materials have been chosen:

- Exposed precast concrete / masonry / brick frames.
- Masonry / brick / precast concrete infill panels.
- Infill panels should be textured or profiled.
- Glazing types permitted include large format horizontal or vertical oriented glazing.
- The overall appearance must remain within the colour and tonal range of the example materials provided below.

The layering of materials should be used in conjunction with the articulation of massing elements to create a highly modelled facade.

Character Area References

When developing the Character Areas it is useful to establish a range of reference images which visually assist in describing the desired materiality and overall composition of the buildings.

Within these frames, they also display regular window shapes and patterns which bring a level of consistency to the building's modularity.

Residential units are further emphasized with the expression of private amenity spaces. These can be in the form of Juliet, projected balconies or recessed winter gardens or terraces. Please refer to Chapter 5 for further information.

A range of light and dark grey bricks and metals are shown across all buildings.

Private residential amenities are also shown at rooftop levels.

Shown below are images which utilise a type of frame expression which breaks down the residential massing to a residential scale.



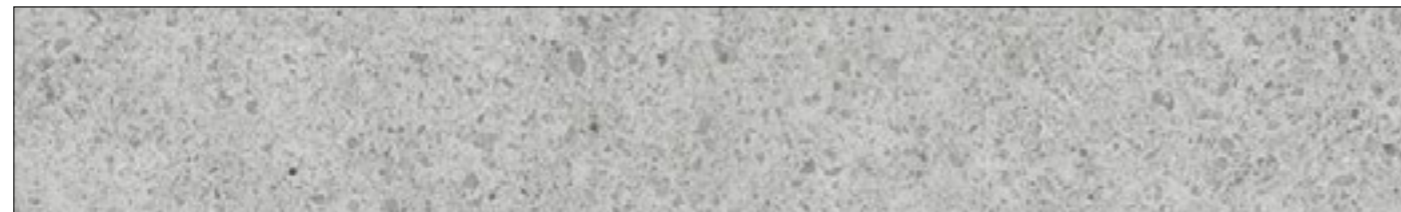
Light Grey Brick



Medium Grey Brick



Reconstituted Stone



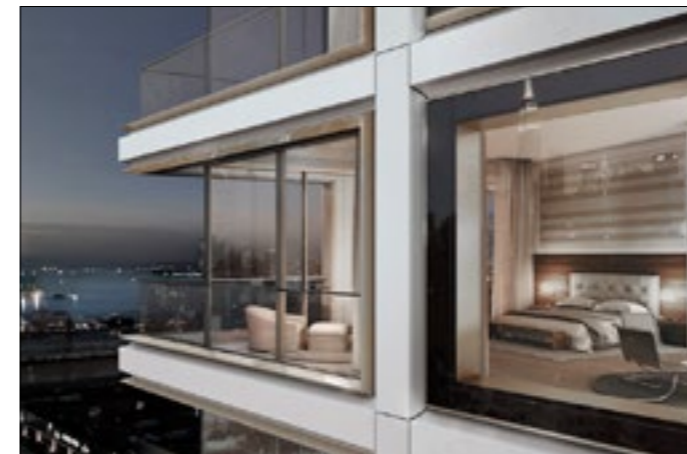
Concrete Exposed Aggregate



Natural Anodized Aluminium



White Aluminium



Expressed precast concrete and metal frame



Regular window pattern and shape, grey brick panels



Masonry frames, precast concrete and brick, set-back glazed balconies



Profiled metal frames, set-back glazed balconies glazed balustrades

4.2 Architectural Design Codes

4.2.6 The Parkside

Overview

Parkside is an area which is comprised of 4 Blocks - C, D, E and F.

Residential lobbies and units activate the ground floor level.

The adjacent Dock Park to the north provides amenities for the residents as well as connections to the nearby Royal Docks area.

The diagrams below illustrate the location of Parkside within the masterplan as well as each building block. The building typologies are described as follows:

- Typology 1 - Blocks E, F
- Typology 2 - Block C
- Typology 3 - Block D



Location of the Parkside Character Area Plots

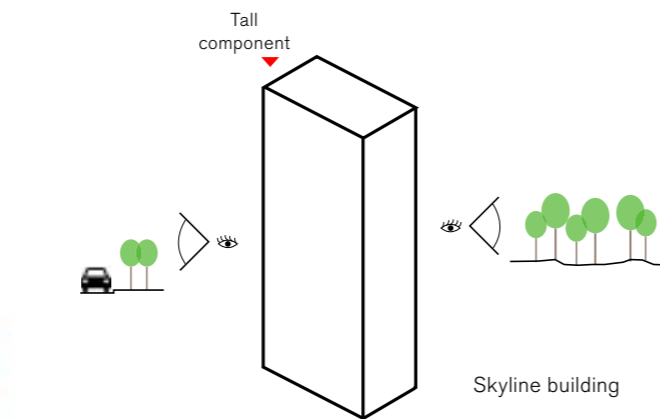


3D View of the Parkside Character Area on the illustrative masterplan

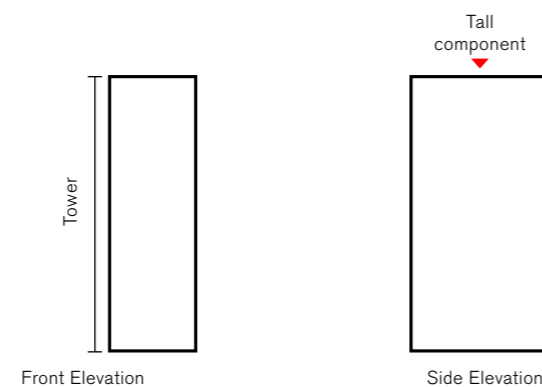
Building Typology

Parkside building typology 2 is a massing of one residential tower which comes straight to the ground as a stand alone skyline element. The tower faces the park for panoramic views and also presents a street address along Dock Road.

The ground floor houses the main entrances and lobbies with access to bicycle storage.



Overall Building Form - 3D View



Front Elevation

Side Elevation

Overall Building Form - Elevational Views

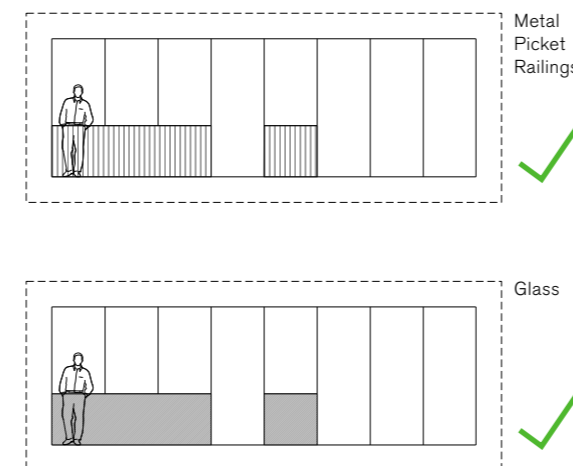
Balustrade Treatment

Balcony balustrades should be addressed in a way which compliments the materiality and overall composition of the Character Area.

Where possible balconies should have a solid floor build-up with integrated drainage to encourage use. Drip through balconies should be avoided.

Metal picket, perforated metal and glazed balustrades are permitted.

Types material and aesthetic appearance are described in the materiality section at the right. Solid, brick, timber, plastic or coloured glass balustrades are not permitted.



Balustrade Types - Permitted

Facade Expression

The facade expression for Block C should be a variation of the other blocks within the Parkside Character Area, one that defines its status and prominence within the Thameside West masterplan.

Block C should be a landmark building that will be seen in views across the masterplan and Royal Docks.

Materiality

High quality materials reinforce the architectural vision and are informed by the masonry brick London residential vernacular.

Variation in tone and texture is provided to allow for the creation of interest and depth across the series of buildings within the Character Area.

The materials chosen must be of high quality and reinforcing of the overall architectural expression.

For the Parkside Character Area the following materials have been chosen:

- Exposed precast concrete / masonry / brick frames.
- Masonry / brick / precast concrete infill panels.
- Infill panels should be textured or profiled.
- Glazing types permitted include large format horizontal or vertical oriented glazing.
- The overall appearance must remain within the colour and tonal range of the example materials provided below.

The layering of materials should be used in conjunction with the articulation of massing elements to create a highly modelled facade.



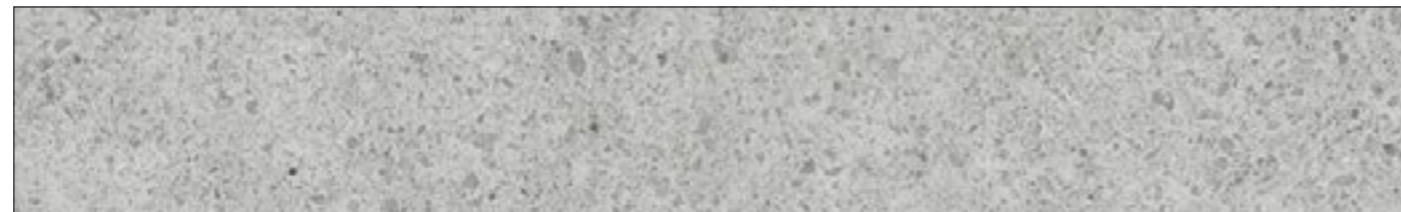
Light Grey Brick



Medium Grey Brick



Reconstituted Stone



Concrete Exposed Aggregate



Natural Anodized Aluminium



White Aluminium

Character Area References

When developing the Character Areas it is useful to establish a range of reference images which visually assist in describing the desired materiality and overall composition of the buildings.

Within these frames, they also display regular window shapes and patterns which bring a level of consistency to the building's modularity.

Residential units are further emphasized with the expression of private amenity spaces. These can be in the form of Juliet, projected balconies or recessed winter gardens or terraces. Please refer to Chapter 5 for further information.

A range of light and dark grey bricks and metals are shown across all buildings.

Private residential amenities are also shown at rooftop levels.

Shown below are images which utilise a type of frame expression which breaks down the residential massing to a residential scale.



Regular window pattern and shape, light grey materiality, Juliet balcony expression



Regular window pattern and shape, grey brick panels



Regular window pattern and shape, framed window openings



Regular window pattern and shape, framed window openings

4.2 Architectural Design Codes

4.2.6 The Parkside

Overview

Parkside is an area which is comprised of 4 Blocks - C, D, E and F.

Residential lobbies and units activate the ground floor level.

The adjacent Dock Park to the north provides amenities for the residents as well as connections to the nearby Royal Docks area.

The diagrams below illustrate the location of Parkside within the masterplan as well as each building block. The building typologies are described as follows:

- Typology 1 - Blocks E, F
- Typology 2 - Block C
- Typology 3 - Block D



Location of the Parkside Character Area Plots

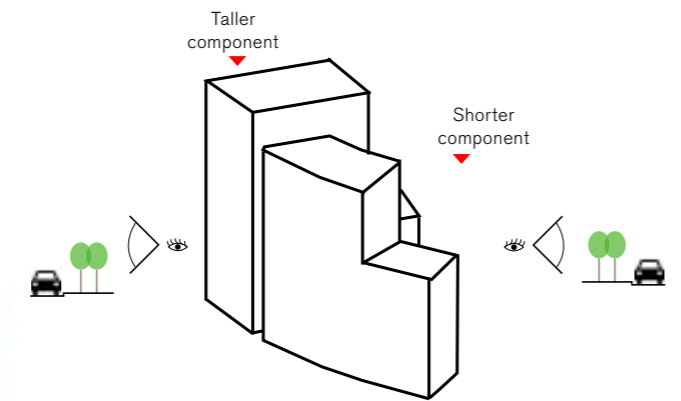


3D View of the Parkside Character Area on the illustrative masterplan

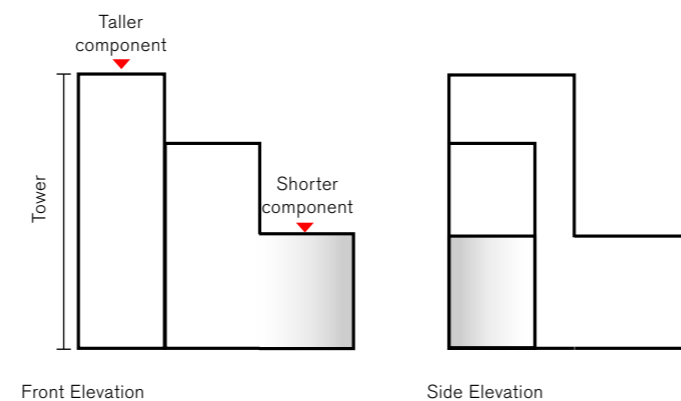
Building Typology

Parkside building typology 3 is a massing of two residential blocks which come straight to the ground linked together with a two-storey podium at the base. The towers are further defined as a massing with a taller and shorter component. These elements help to break the massing within the overall masterplan, creating increased daylight across the site.

The podium houses the communal residential entrances and duplex residential units on ground floor along with light industrial uses that face onto Silver Street.



Overall Building Form - 3D View



Front Elevation

Side Elevation

Overall Building Form - Elevational Views

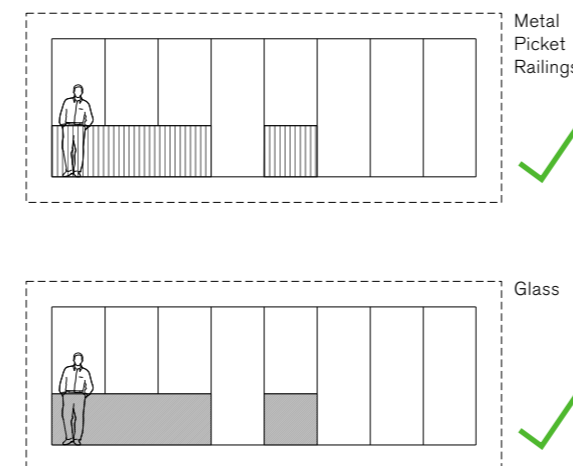
Balustrade Treatment

Balcony balustrades should be addressed in a way which compliments the materiality and overall composition of the Character Area.

Where possible balconies should have a solid floor build-up with integrated drainage to encourage use. Drip through balconies should be avoided.

Metal picket and glazed balustrades are permitted.

Types material and aesthetic appearance are described in the materiality section at the right. Solid, brick, timber, plastic or coloured glass balustrades are not permitted.



Balustrade Types - Permitted

Facade Expression

The facade expression should be more solid in appearance with a greater ratio of opaque masonry / brick to glass.

The primary massing should be expressed as masonry / brick construction with openings created for windows and private amenity spaces.

Glazed infill panels, windows and amenity spaces should be read secondary to primary masonry facade.

Where horizontal deviation is permitted the private amenity spaces should be projecting in order to illustrate the residential function of the buildings.

Materiality

High quality materials reinforce the architectural vision and are informed by the masonry brick London residential vernacular.

Variation in tone and texture is provided to allow for the creation of interest and depth across the series of buildings within the Character Area.

The materials chosen must be of high quality and reinforcing of the overall architectural expression.

For the Parkside Character Area Block D the following materials have been chosen:

- Facing brick throughout with glazed brick inset accent bricks.
- Masonry / brick infill panels which.
- Flat metal panels are not permitted.
- Glazing types permitted include large format horizontal or vertical oriented glazing.
- The overall appearance must remain within the colour and tonal range of the example materials provided below.

The layering of materials should be used in conjunction with the articulation of massing elements to create a highly modelled facade.

Character Area References

When developing the Character Areas it is useful to establish a range of reference images which visually assist in describing the desired materiality and overall composition of the buildings.

Block D of Parkside utilises an industrial look and feel throughout which creates a closer link with the Landings Character Area.

Within these frames, they also display regular window shapes and patterns which bring a level of consistency to the building's modularity.

Residential units are further emphasized with the expression of private amenity spaces. These can be in the form of Juliet, projected balconies or recessed winter gardens or terraces. Please refer to Chapter 4 for further information.

A range of warm red and London Stock bricks and dark and cool grey metals are shown across all buildings.

Shown below are images which utilise a type of frame expression which breaks down the residential massing to a residential scale.



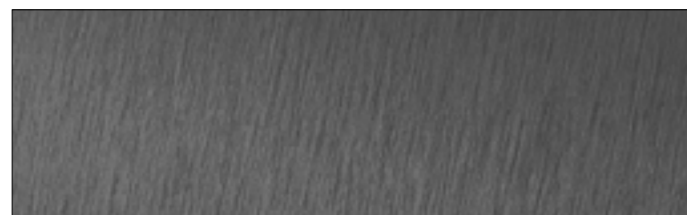
Kentish Red Clay



London Stock Brick



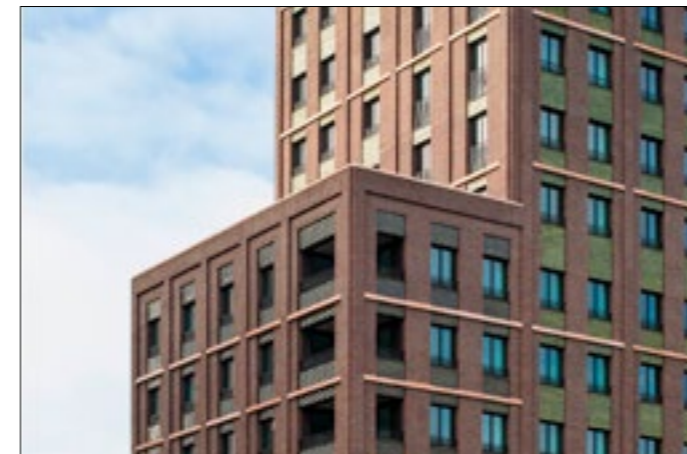
Natural Anodized Aluminium



Charcoal Grey



Anthracite



Expressed brick frames, regular window pattern and shape



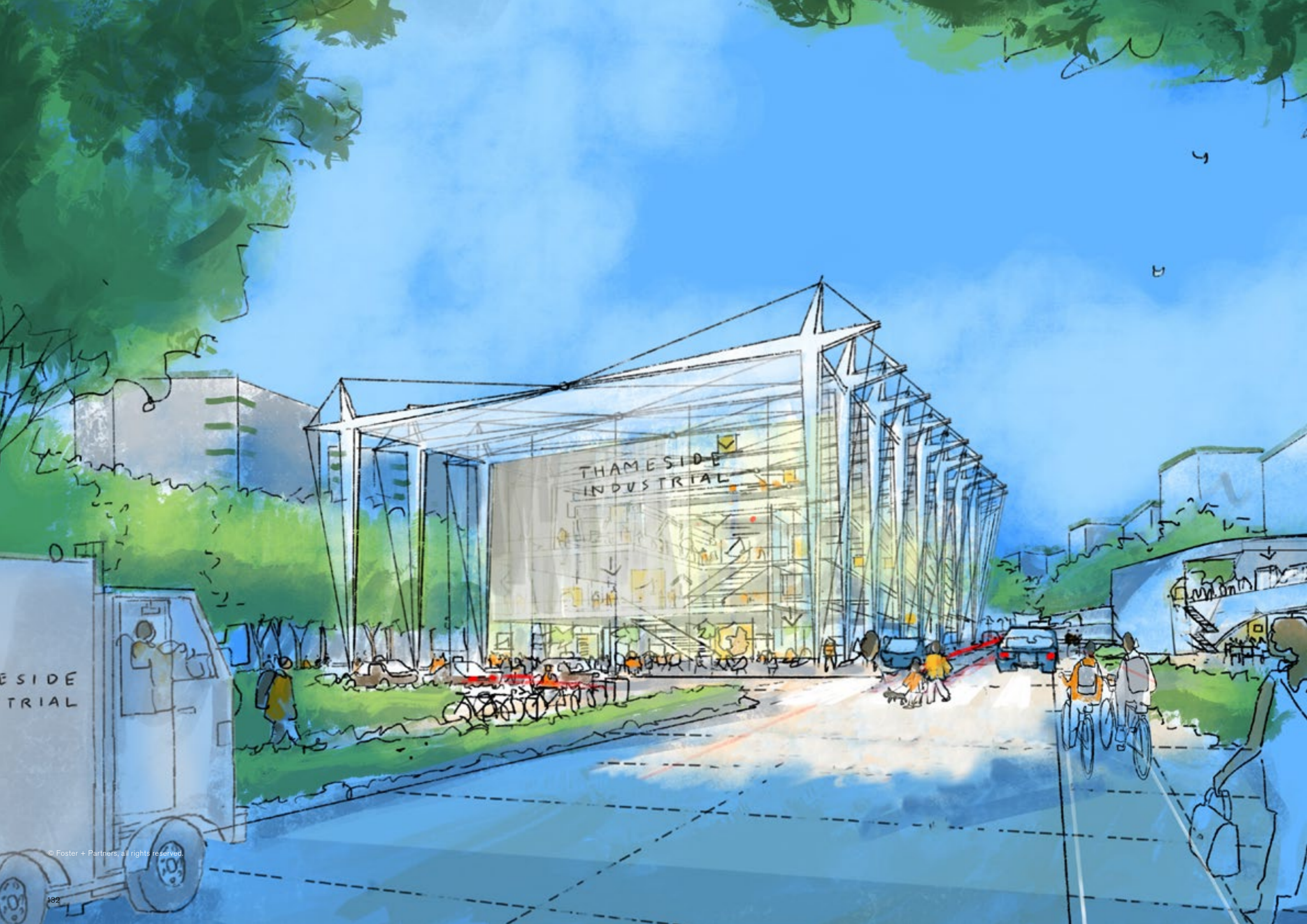
Clip-on balcony expression with metal balustrades red material palette



Expressed brick frames, regular window pattern and shape



Expressed precast concrete and brick, Juliet metal balconies



THAMESIDE
INDUSTRIAL

ESIDE
TRIAL

4.2 Architectural Design Codes

4.2.7 Thameside East (Industrial Phase)

Overview

Thameside East is an area of the illustrative masterplan which houses a heavy industrial unit as well as the Energy Centre. It is cut off from the residential portion of the site by Dock Road on one side and the future Silvertown Tunnel on the other. The Silvertown Flyover creates the furthestmost boundary and the limit of the site in the direction of the Royal Docks.

Block V is a heavy industrial unit which will provide loading areas and access from the main thoroughfares in the area.

Block W is the Energy Centre which will assist in providing infrastructure to the nearby portions of the masterplan.



Location of the Thameside East Character Area Plots



3D View of the Thameside East Character Area on the illustrative masterplan

Building Typology

These buildings can be of various levels of functional architectural expression. In principle they are simple box elements which focus on the function that occurs on the site.

Please refer to Chapter 5 for further information on the individual building blocks.



Repetitive columns emphasizing verticality



Metal and concrete emphasize an industrial look and feel

Façade Treatment

Facades can be dealt with in a range of manners, utilising solid and glazed materials to provide a level of protection from the outside yet bring in enough daylight to assist in the internal functions.

Windows are to be of regular shapes and patterns. The same applies to solid elements in these buildings where they may occupy a large portion of facade. Coloured or plastic glass is not permitted.

Shown on this page are some examples of buildings that employ various solid and transparent elements in a somewhat unitised system which creates a building with architectural interest whilst maintaining a level of simplicity.



Utilising metal mesh as a facade screening component



Utilising metal mesh as a facade screening component

Materiality

Materiality for these industrial and infrastructure buildings can include a range of solid and transparent materials which are regular in pattern and expression.

Examples shown on this page range from dark metals and copper screens to light metals and fully transparent glass. Solid elements are shown occupying large proportions of facade.

Further specifications are to be reviewed in future detailed applications.



Large span structure allowing daylight through various solid and transparent panels



Large span structure allowing daylight through various solid and transparent panels