



**PREVIOUS VIEW 12**



**PROPOSED VIEW 12**

## 2.2 Proximity to SIL

### Submitted Scheme Condition

In the previous scheme, only 12 (5%) units were located adjacent to the Allnex Industrial site. 6 of these were 9 storeys above grade with panoramic views in all directions. All of these units were also planned as double aspect, facing east and west, with no direct overlooking to the industrial sites, and all mechanically ventilated.



View from ground floor

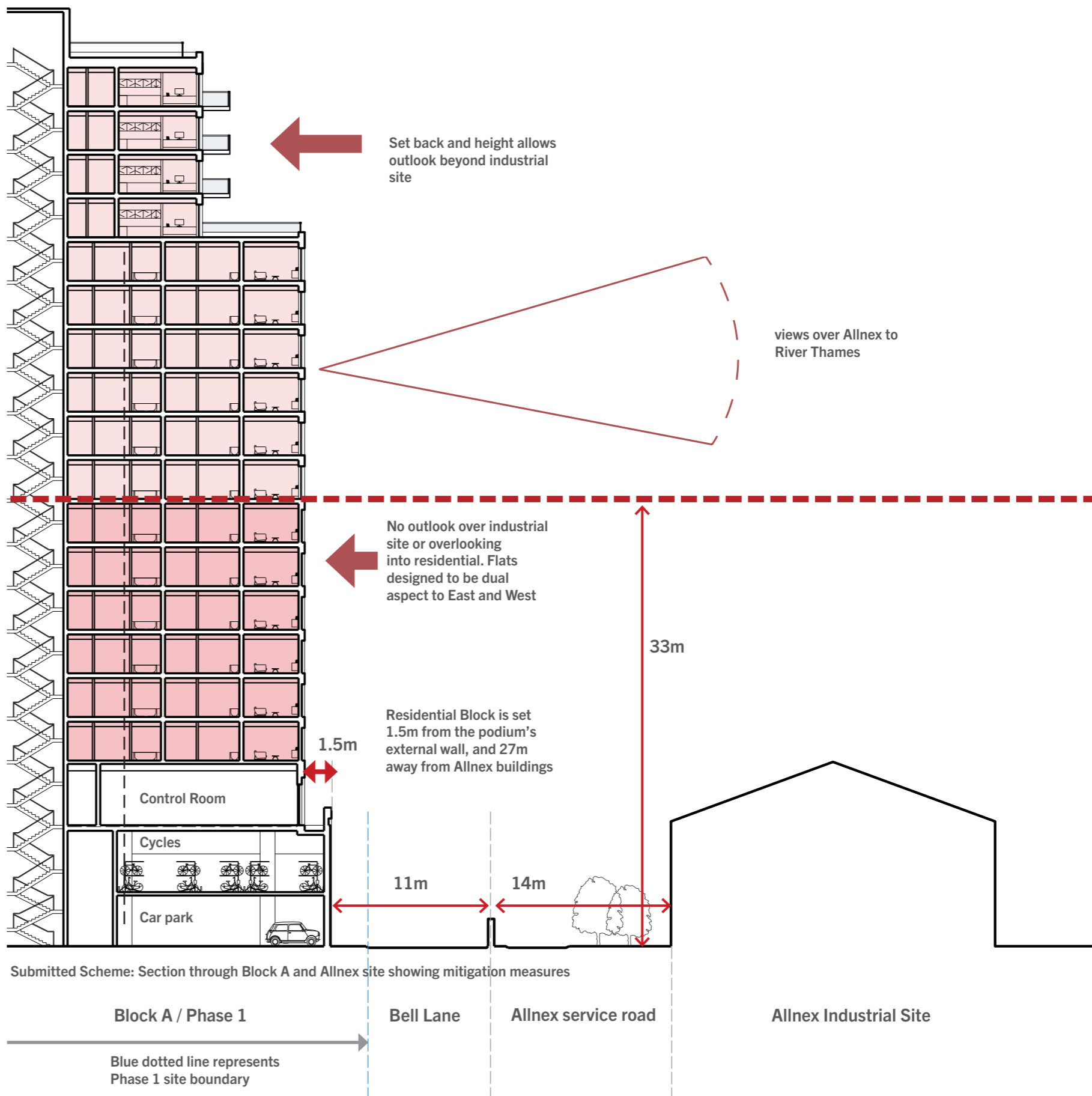


View from 17th floor



View from 19th floor

Site photos onto Allnex site



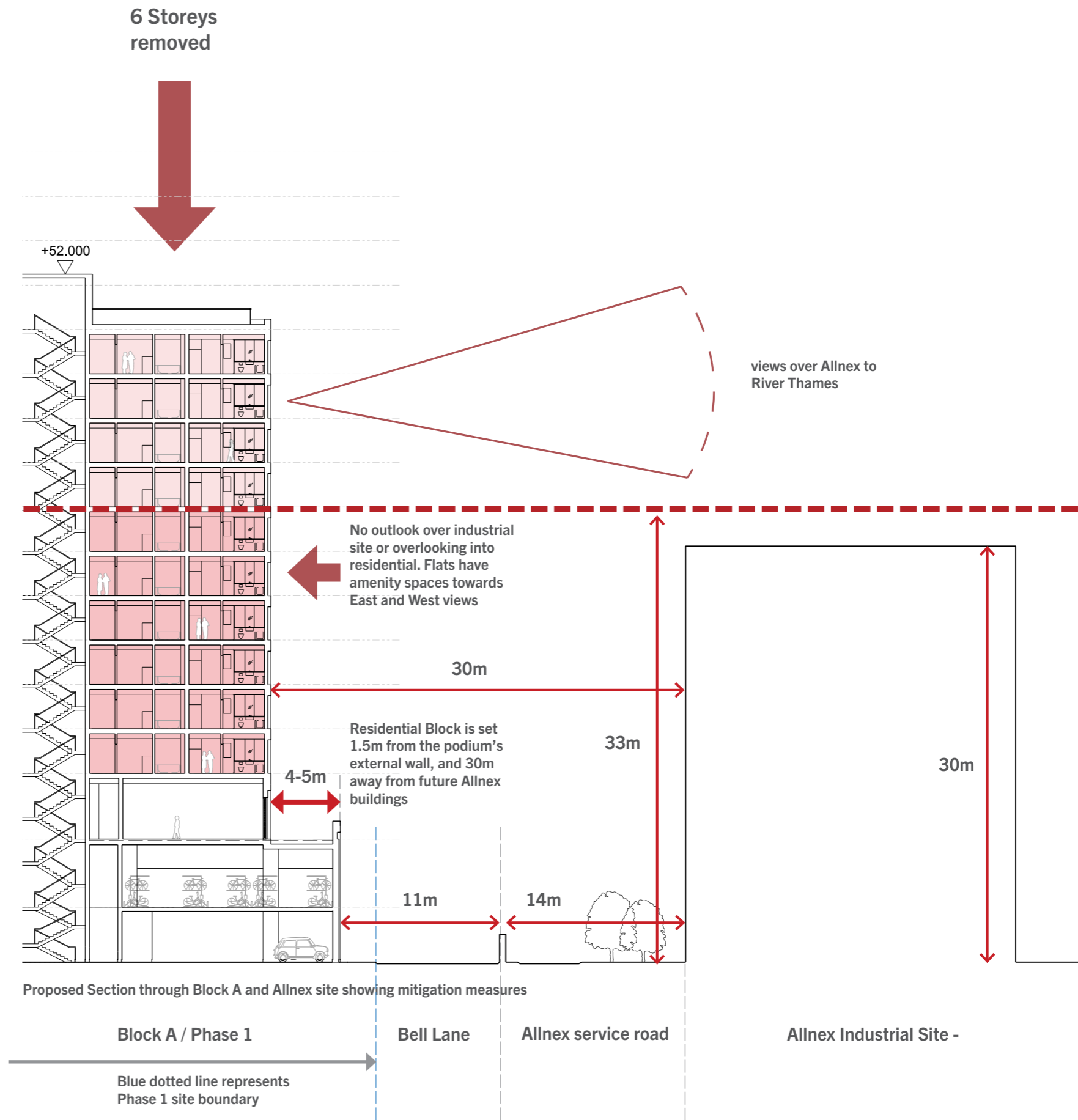
**Amended Scheme Condition**

In the amended scheme, Block A has been reduced by 6 storeys and also has been pushed further away from the Allnex site to a total of 30m. This reduces the impact onto residential units, mitigating its agency of change and responding directly to LBN's Reason For Refusal No.1.

Furthermore, units from the 8th level (10th storey) upwards have only small windows facing the Allnex site and will obtain grand panoramic views over the River Thames and Royal Docks. External private amenity is set even further at a minimum of 35m away. These balconies face east and west as before, and all units are mechanically ventilated.



Proposed Distances - Site Plan



Proposed Section through Block A and Allnex site showing mitigation measures

Block A / Phase 1      Bell Lane      Allnex service road      Allnex Industrial Site -

Blue dotted line represents Phase 1 site boundary

## 2.3 Elevational Changes

The fundamental architectural grid and rhythm of the elevations has not changed throughout the GLA design development process, as it is dictated by the building's structural grid and the aim to unify two fundamentally different uses with the building's architecture.

However, with the revised massing and the substantial loss of units during this process, there are some changes to the elevations. As much as possible, these changes are at a detail level, and do not change the overall strategy of the elevations.

The changes on the elevations are as outlined below:

1. Simplification of balcony types, via the removal of corner balconies and winter gardens
2. Separation of balconies that are too close together to improve privacy
3. Implementation of modest screens on balconies to improve outlook and privacy
4. Implementation of mitigation measures for wind on new balcony locations
5. Re-arrangement of windows setting out on short internal elevations
6. Increase of active frontages to industrial and retail units at the ground and mezzanine levels
7. Further application of deep brick reveals and perforated metal panelling at ground and mezzanine levels

In the following pages you will find a before and after comparison of the Submitted Scheme within Addendum Rev.A issued in June 2019 and the newly proposed scheme for the GLA.



**PREVIOUS NORTH ELEVATION - ADDENDUM JUNE 2019**

**North Elevation**

On the upper levels, the main changes to the North elevation to Block B is a drop in the height of the building and a re-arrangement of balconies and windows to suit residential layout improvements, discussed in chapter 3.

At the lower levels, it was also necessary to adjust the glazing sizes, metal panelling and locations of brick piers to ensure structural continuity. Changes made to the internal layouts of Core 4 to improve the public realm and access to car parking have also had an impact on the location of panelling and glazing. These layout changes are discussed in chapter 3.

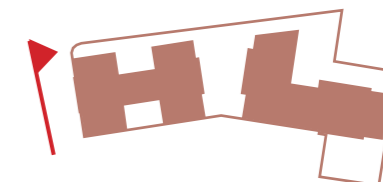
**South-west Elevation** (following page)

On the upper levels, the main changes are the drops in the height of Blocks A and B, as well as re-arrangement and simplification of balconies and removal of some overheating mitigation measures on Block A. These changes greatly de-clutter the overall appearance of the elevation.

At the lower levels, the brick treatment on the podium has become more consistent in the brick detailing. A few minor changes in the perforated panelling have also been implemented to allow for access for the new car parking at ground floor and new accessible units at mezzanine level.



**PROPOSED NORTH ELEVATION - PHASE 1 CONDITION**





**PREVIOUS SOUTH-WEST ELEVATION - ADDENDUM JUNE 2019**