

Development Management
Greater London Authority
Kamal Chunchie Way
London
E16 1ZE
March 2024

Bishopsgate Goodsyard Plot 5 Historic Sclater Street Buildings: Reserved Matters Application

Planning Permission Ref. PA/14/02011/A1

1. Introduction

Bishopsgate Goodsyard Regeneration Ltd (“the Applicant”) is submitting to the Greater London Authority (GLA) a reserved matters application (RMA) for detail associated with the restoration and extension of the Mission Hall, Victorian Building, Weavers Cottages and part of the Boundary Wall on Sclater Street (the “Sclater Street Site”), part of Plot 5 of the Bishopsgate Goodsyard development (“the Proposed Development”) consented in March 2022 by the GLA.

As previously discussed with officers, a separate RMA will be submitted at a later date which will set out the details for the remaining residential Buildings of Plot 5 behind the Boundary Wall. The remainder of Plot 5 will comprise predominantly residential floorspace with retail and/or community floorspace at ground floor, and taller buildings situated to the south of the Sclater Street buildings with the tallest element at 13 storeys. The Sclater Street element of Plot 5 is being brought forward in advance of the remainder of Plot 5 to enable the Applicant to secure reserved matters approval and carry out development to prevent further worsening of the condition of the existing buildings.

This EIA Statement of Conformity letter reviews the details of the Sclater Street RMA and their implications for the submitted Environmental Statement Addendum as amended by the 2020 further information (the “2019 ESA”). It concludes that the details set out in this RMA do not give rise to any changes in the conclusions or recommended mitigation measures from those presented in the 2019 ESA.

2. Planning History

The Applicant sought hybrid planning permissions for the Proposed Development, with identical planning applications submitted on the 21st July 2014 to both LBH (planning reference 2014/2425) and LBTH (planning reference PA/14/02011) for determination. Following consultation, amended planning applications were submitted to LBH and LBTH in August 2015. On the 23rd September 2015, the former Mayor notified LBH and LBTH that he would act as the local planning authority for the purposes of

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determining the planning applications (GLA reference D&P/1200c&d). Subsequently, the Applicant made amendments to the applications and an ES Addendum (ESA) was produced to reflect these, submitted in 2019 ('the 2019 ESA'). Following further information submitted in 2020, planning permissions were issued by the GLA in March 2022. References to the 2019 ESA in this note are inclusive of the 2020 further information unless otherwise stated.

To date, an RMA has been submitted for Plot 1 of the Proposed Development and supported by an Environmental Compliance Report that considers the implications for the 2019 ESA conclusions of both the details of Plot 1 and an amended construction programme.

3. The Sclater Street Site

The Sclater Street Site is bound to the north by Sclater Street, to the east by a car park, to the west by the Bishopsgate Goodsyards boundary wall and pedestrianised space at the junction of Sclater Street and the A1209 Bethnal Green Road, and to the south by the rest of the Bishopsgate Goodsyards Site. It is currently occupied by three buildings:

- The Mission Hall (no. 64 Sclater Street) a single storey building built in the late 19th Century by the Christian Brethren, screened from Sclater Street by a 20th century brick wall;
- The Victorian Building (nos. 66-68 Sclater Street) a four-storey building from the late 19th Century, with a modern extension to the south and west; and
- The Weavers Cottages (nos 70-74 Sclater Street) the last remaining of a row of early 18th Century terraced houses on Sclater Street used for silk production. These buildings are derelict due to previous fire damage and need urgent repair works.

The Sclater Street Site also includes a section of the Bishopsgate Goodsyards boundary wall. There are no current access points through the boundary wall on the Sclater Street Site. None of the buildings and structures on the Sclater Street Site are listed, however the Sclater Street Site is located within the Bethnal Green Road and Fournier Street Conservation Area. All buildings are currently commercially vacant, apart from the Bishopsgate Goodsyards site office.

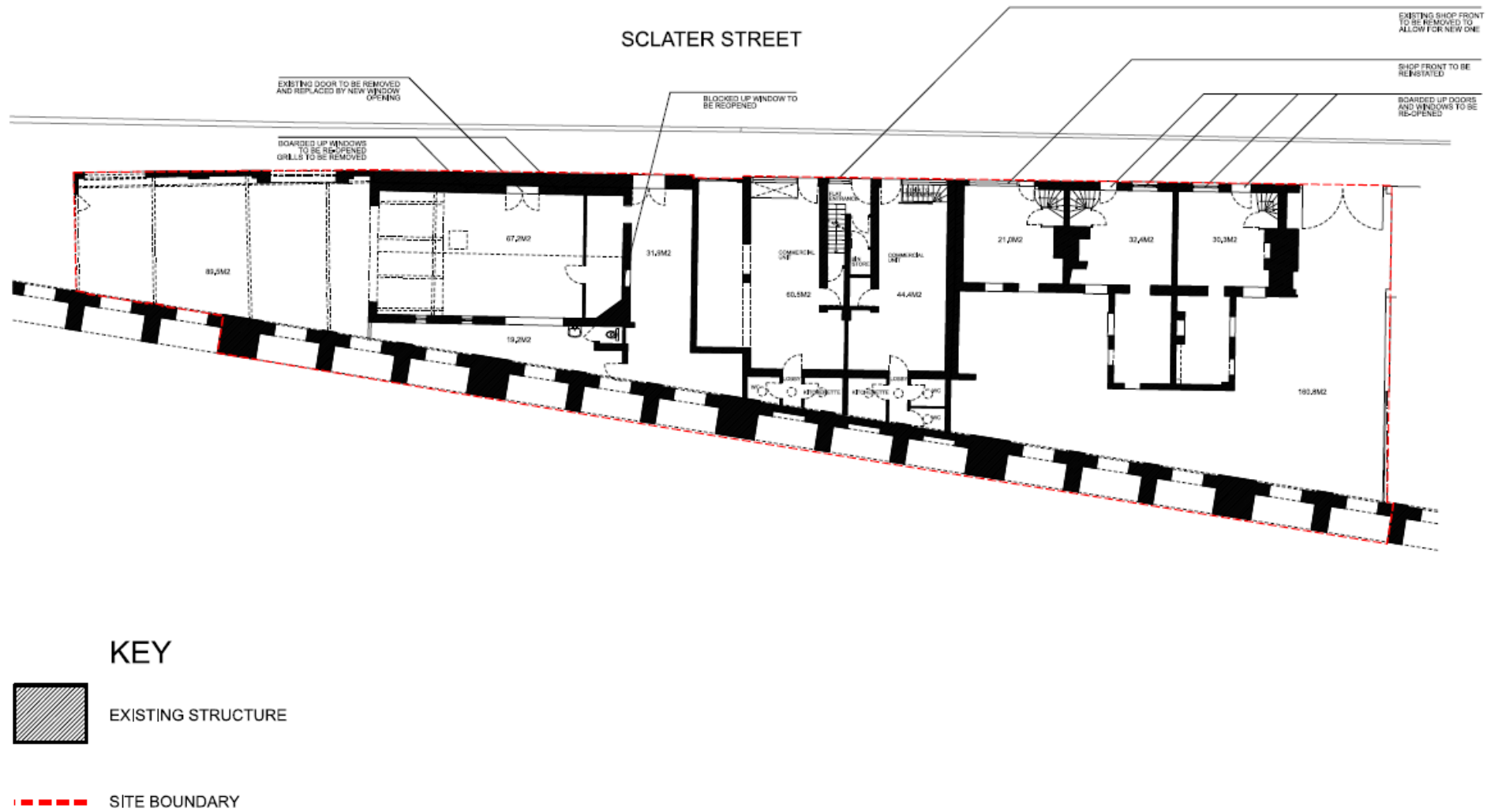
Figure 1 contains a selection of photos of the Sclater Street Site. **Figure 2** shows the site location and current ground floor plan for the Sclater Street Site.

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Figure 1 – Site Photos – Sclater Street Site



Figure 2 – Site Location and Existing Ground Floor Plan



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4. The Sclater Street Proposals

The development proposed by the RMA (“the Sclater Street Proposals”) comprises:

- Removal of the temporary wall blocking the single storey Mission Hall from public view, and unsympathetic extensions, refurbishment of Mission Hall including new slate roof, and extension to rear, conversion to retail / café use.
- Removal of the unsympathetic side extension to the 4 storey Victorian building and extension to the rear, refurbishment and historic fabric repair, and provision of new sympathetic shopfront and reinstatement of retail use at ground with 3 residential units on upper floors.
- Restoration of the Weavers Cottages and replacement of the currently structurally unsound rear extension with a larger rear extension (matching the massing of the existing cottages) to provide a shared workspace.
- New gates and wall cladding will allow pedestrian access to the wider Goodsyrd development once built opposite Cygnet Lane and to the west of the Weavers Cottages. A further gate between the Mission Hall and the Victorian Building will allow access to the residential buildings behind the boundary wall once built as per wider masterplan
- Other arches in the boundary wall to be sympathetically refurbished, either filled or glazed.

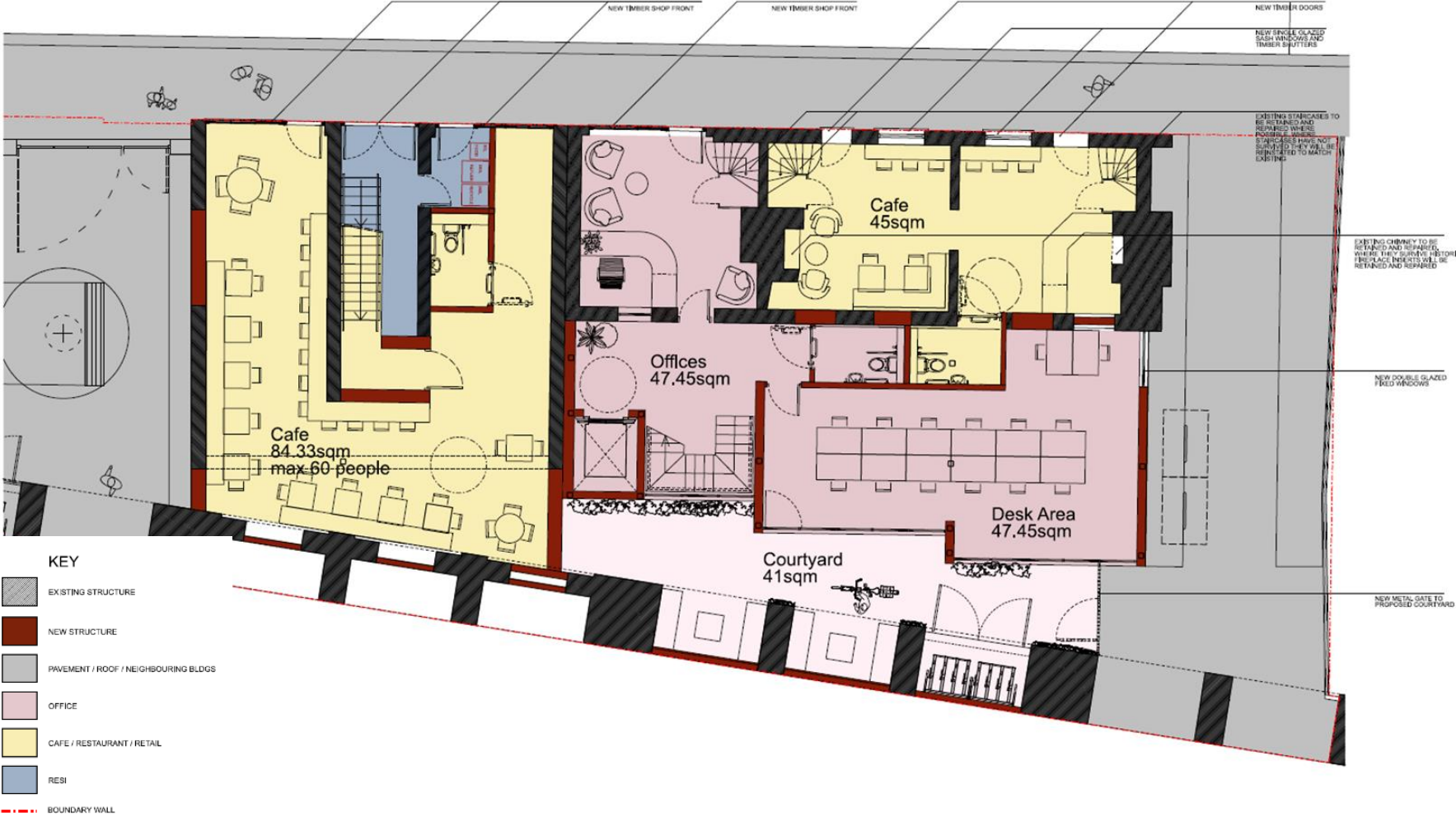
The works comprising the Sclater Street Proposals set out above are fully within the maximum and minimum consented parameters assessed in 2019 ESA, and the scope of refurbishment works complies with that set out and assessed in the 2019 ESA.

The Sclater Street buildings provide most of the office floorspace and a substantial proportion of the retail for the wider Plot 5 as set out in 2019 ESA. The Schedule of Accommodation is summarised in **Table 1**. Plans are shown in **Figures 3 -5**. A visualisation of the Sclater Street Proposals is shown in **Figure 6**.

Further plans are submitted with the RMA and further visualisations and design information are included within the **Design Overview Statement** and the **Landscape and Public Realm Strategy** submitted with the RMA.

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Figure 3 – Sclater Street Proposals – Ground Floor Plan - Victorian Building and Weavers Cottages



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Figure 4 – Sclater Street Proposals – Basement and Upper Floor Plans - Victorian Building and Weavers Cottages

Basement

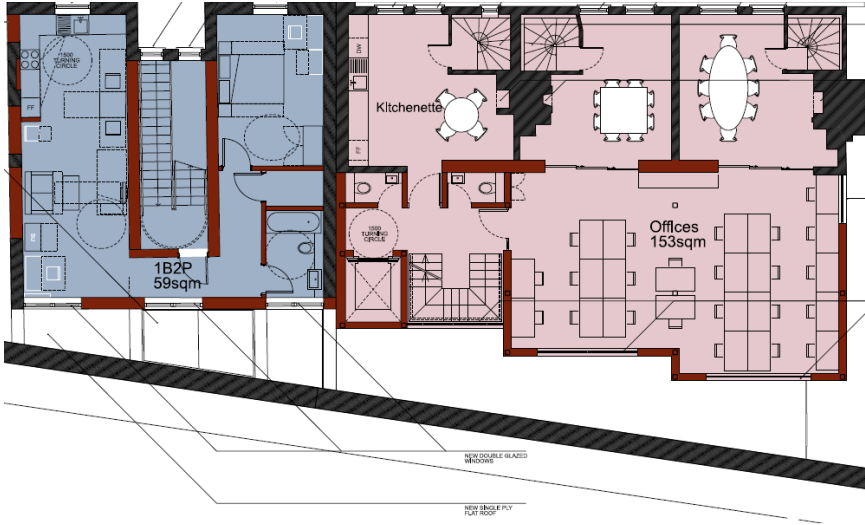


Second Floor

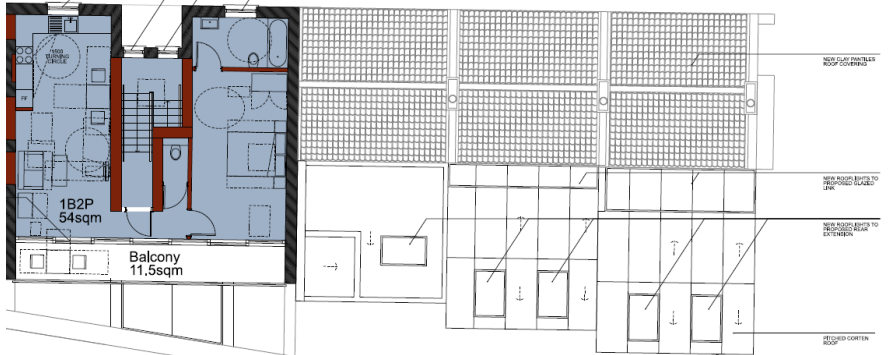


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First Floor

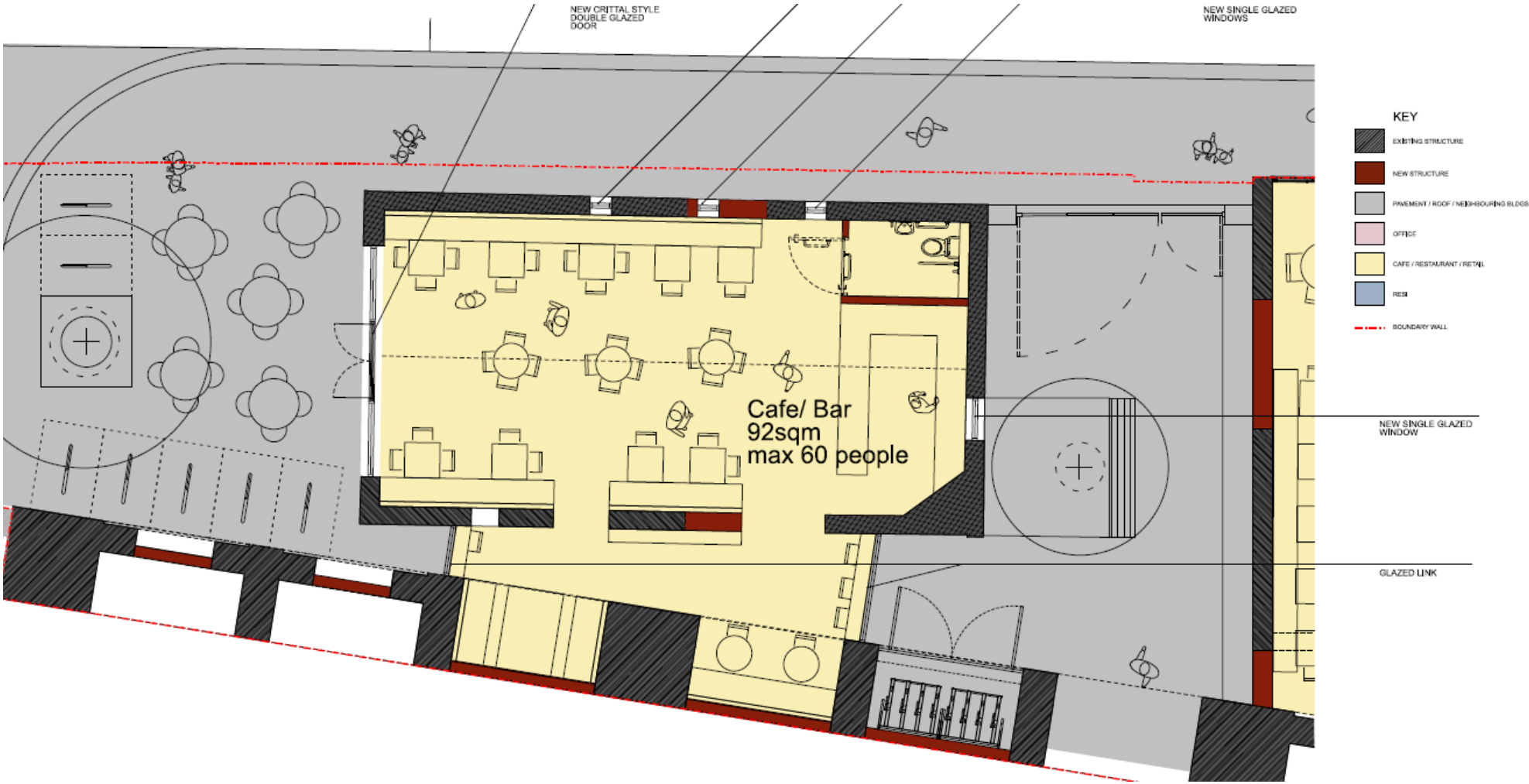


Third Floor (Victorian Building Only)



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Figure 5 - Sclater Street Proposals - Mission Hall Ground Floor Plan



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Figure 6 – Visualisation of the Proposed Development – Looking East with Mission Hall in Foreground



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Table 1 – Summary of Schedule of Accommodation – Sclater Street Proposals

Building	Retail/Café Floorspace (m2 GIA)	Office Floorspace (m2 GIA)	Residential Floorspace (m2 GIA)	Total Floorspace (m2 GIA)
Mission Hall	93	0	0	93
Victorian Building	165	0	213	378
Weavers Cottages	87	429	0	342
Total	345	429	213	1,240

The floorspace within the Sclater Street Proposals is fully within the consented maximum parameters for Plot 5 assessed within the 2019 ES as summarised in **Table 2**. A forthcoming reserved matters application for the remainder of Plot 5 will demonstrate how Plot 5, inclusive of the Sclater Street Proposals, remains within the minimum and maximum parameters for floorspace.

Table 2 – Minimum and Maximum Parameters for Plot 5

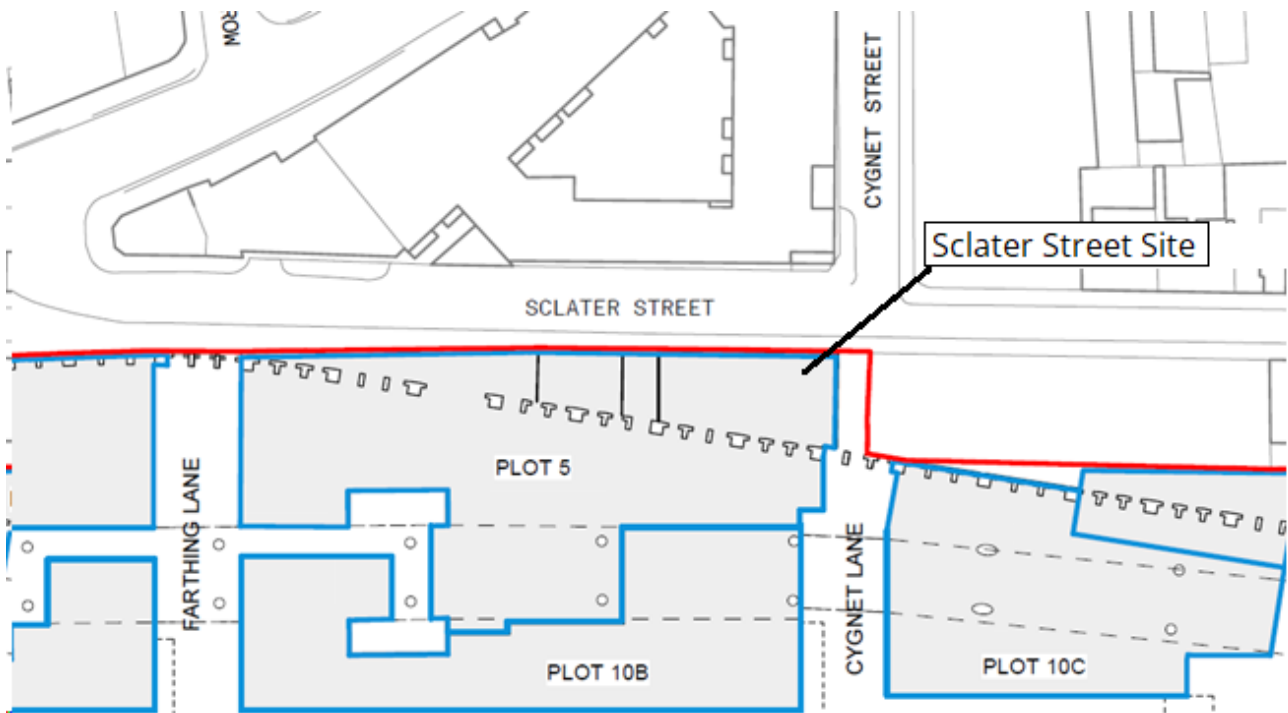
	Retail/Café Floorspace	Office Floorspace	Residential Floorspace
Plot 5 Minimum (2019) (m ² GEA)	1,004	521	9,518
Plot 5 Maximum (2019) (m ² GEA)	1,004	521	7,615
Sclater Street Proposals (2024) (m ² GIA)	345	429	213

The Sclater Street Proposals are within the maximum parameters for development assessed within the 2019 ESA, a relevant extract of which is shown in **Figure 7**.

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Figure 7 – Maximum Development Plots at Ground Level for Bishopsgate Goodsyard, Sclater Street extract (taken from BGY-FBA-00-00-DR-A-00-0023).

[HL – can the Sclater Street Site be identified with an outline?]



5. Statement of EIA Conformity

The following Statement of Conformity considers the implications of the details of the Sclater Street Proposals for the findings of the 2019 ESA.

5.1. Construction

This EIA Statement of Conformity predominantly focuses on operational phase effects. The construction programme that formed the basis of assessment of the 2019 ESA was based on a duration of 13 years. It is now anticipated that the demolition and construction of Bishopsgate Goodsyard as a whole will be undertaken over a circa 7-year period between 2024 and 2031. However, the recent RMA for Plot 1 was accompanied by an Environmental Compliance Report which included a full assessment of the implications of the amended construction programme on the submitted assessments for traffic and transport, air quality and noise and vibration presented in the 2019 ESA. This found that the conclusions of the 2019 ESA remain valid. No other changes to construction are anticipated beyond those set out above and assessed in the Plot 1 RMA. Therefore, the findings of the 2019 ESA during construction remain as assessed in the 2019 ESA as set out in **Table 3**.

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Table 3 – Construction Phase Findings of the 2019 ESA

Topic	Mitigation	Significant Residual Effects
Waste and Recycling	Site Waste Management Plan.	None
Socio-economics	None.	None
Ground Conditions	Remediation method statement, CEMP measures to prevent new pollution and pollutant pathways, environmental watching brief during site enabling works.	None
Traffic and Transport	Construction logistics plan Pedestrian signage.	None
Wind Microclimate	None.	None
Daylight, Sunlight and Overshadowing	None.	Effects increasing towards those set out at operation phase as construction completes.
Air Quality	CEMP including dust management plan.	None
Noise and Vibration	CEMP measures, construction logistics plan, Section 61 measures, prior warning, use of techniques less likely to cause vibration.	Temporary minor to moderate adverse effects from construction noise on existing and future receptors within 15m of construction works.
Water Resources	CEMP, piling strategy.	None
Archaeology	Targeted archaeological excavation, watching brief.	None
Built Heritage	Protection of on site heritage structures, works carried out by suitably qualified professionals.	None
Ecology	CEMP, habitat removal for nesting birds outside of breeding season or under ecologist supervision, habitat enhancements, bird boxes.	None
Climate Change	Construction logistics plan.	None
TVIA	Perimeter hoarding.	Temporary moderate adverse effect on townscape receptors and on local views from immediately surrounding streets.

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5.2. Operation

The details of the Sclater Street Proposals remain within the parameters of the Proposed Development as assessed, including residential and non-residential floorspace parameters. Across the wider Proposed Development there would be no changes to the total number of residents, traffic quantity, waste production, energy and materials use.

The following topics that have no scope for changes to the findings of the 2019 ESA during operation, and the reason for no changes to the findings of the 2019 ESA, are as follows:

- Waste and Resources – the Sclater Street Proposals do not make up a substantive proportion of the Proposed Development and therefore there would be no changes to the residual effects reported in the 2019 ESA as a result of the Sclater Street Proposals.
- Archaeology – no changes are proposed to basement or piling.
- Ground Conditions – no changes are proposed to basement or piling.
- Socio-economics – the total floorspace would remain within the minimum and maximum parameters.
- Traffic and Transport – the anticipated trip generation would not be expected to change.
- Water Resources, Drainage and Flood Risk – no changes are proposed to basement or piling, no changes to the site-wide drainage strategy.
- Ecology – no sensitive receptors were identified within the Sclater Street Site.
- Visual Impact – none of the views assessed in the 2019 ESA include the Sclater Street Site.
- Climate Change Mitigation and Adaptation – there is no change to the Energy Strategy for the wider development as a result of the confirmed details for Sclater Street, and the Sclater Street proposals do not make up a substantive proportion of the Proposed Development such that changes would lead to significant effects.
- Wind Microclimate, Daylight, Sunlight and Overshadowing – Sclater Street Proposals are fully within the minimum and maximum parameters and the scale of the Sclater Street Proposals is low rise relative to the rest of the scheme.

The findings for these topics during operation remain as assessed in the 2019 ES as set out in **Table 4**.

Table 4 – Operation Phase Findings of the 2019 ESA – Topics Unaffected by Sclater Street Proposals

Topic	Mitigation	Significant Residual Effects
Waste and Resources	Operational Waste Management Plan.	None
Archaeology	None.	None
Ground Conditions	None.	Minor to major beneficial from soil remediation.
Socio-economics	Open space provision to be phased so that there is some open space provided to early occupying residents. Open space provision.	Moderate to minor beneficial effect on housing supply for the local population and employment and skills for the local population.

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Topic	Mitigation	Significant Residual Effects
	Healthcare centre (in new buildings in Plot 5 behind boundary wall). CIL payments. Local skills and training measures.	
Traffic and Transport	Pedestrian wayfinding, public realm design, travel plan.	Major beneficial improvement in pedestrian amenity.
Water Resources, Drainage and Flood Risk	Drainage strategy.	None
Ecology	LEMP.	None
Visual Impact	Scheme design.	Effect on LVMF views – LVMF 1A.1, 2A.1, 4A.1, 6A.1 – moderate neutral Effect on most local views ranging from Minor to Major and Neutral to Beneficial. Effect on local view from Folgate Street on axis of Elder Street - Major Adverse.
Climate Change Mitigation and Adaptation	Energy Strategy. Travel Plan. Potential Climate Change. Adaptation Plan at future stage.	None
Wind Microclimate	Banners along thoroughfare north of Plot 2, baffles underneath the overground where this crosses pedestrian structures, planting screens at platform level for Plot 2, solid balustrade around Building 2 roof terraces.	None
Daylight, Sunlight and Overshadowing	None.	Daylight – neighbouring properties - Moderate Adverse to 11 properties and Major Adverse to 9 properties. Sunlight – neighbouring properties - Moderate Adverse to 4 properties and Major Adverse to 9 properties. Light Pollution – Negligible to all external receptors, Moderate to 1 receptor internal to the Site Overshadowing of amenity areas Negligible to Major Adverse.

The remaining topics are addressed in more detail for the operational phase, these are:

- Built Heritage

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- Townscape (but not visual impact);
- Air Quality;
- Noise and Vibration.

These are discussed in turn below.

5.2.1 Built Heritage

The 2019 ESA assessed the impacts on built heritage assets arising from the construction of the Plot 5 building at its maximum parameters, within which the Sclater Street RMA design lies.

Mission Hall (no. 64), Victorian Building (nos. 66-68) and Weavers' Cottages (nos. 70-74)

For Mission Hall, Victorian Building and Weavers' Cottages, the RMA design provides for the repair and restoration of the historic fabric, alteration and partial removal of certain structural elements (most notably the demolition of the existing structurally unsound outrigger extensions to the rear of the Weavers' Cottages), demolition of unsympathetic elements (a 20th-century brick wall screening the Mission Hall and extensions to Victorian Building), and the addition of modern extensions to the rear (including a three-storey glazed extension to the rear of Weavers' Cottages). While effects stemming from these proposals will emerge in the construction phase, they are long term and as such will continue into and during the operation phase. These proposals are congruent with the design assessed in the 2019 ESA.

The RMA introduces a new corten gate and wall cladding immediately east of the Weaver's Cottages which will provide pedestrian access to the Bishopsgate Goodsyards Development, in place of the previously proposed gateway building at 76 Sclater Street. Another corten gate is proposed between Mission Hall and Victorian Building. While this design change is more sympathetic to the setting of the Sclater Street buildings than the previously proposed gateway building, it will not offset the main source of operational impacts on the heritage significance of Mission Hall, Victorian Building and Weavers' Cottage as identified in the 2019 ESA (these being the construction of tall, modern tower blocks within the Bishopsgate Goodsyards development, principally in Plot 5 to the rear of the Sclater Street RMA).

In conclusion, on the assumption that the remainder of Plot 5 development will be built to the maximum parameters assessed in the 2019 ESA, the Sclater Street RMA design for Mission Hall, Victorian Building and Weavers' Cottages will not alter the conclusions of the 2019 ESA as it pertains to these structures.

Brick Lane and Fournier Street Conservation Area

Most of the Sclater Street Site (with the exception of the boundary wall to Bishopsgate Goodsyards) lies within Brick Lane and Fournier Street Conservation Area. As the effects on the heritage significance of the Conservation Area would be driven by the effects on the heritage significance of the Sclater Street buildings as discussed above, the conclusions of the 2019 ESA remain equally valid for the conservation area.

Boundary wall to the Bishopsgate Goodsyards (north)

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The 2019 ESA assessed the impacts on unlisted Bishopsgate Goodsyards structures. The Sclater Street RMA design provides details of the partial demolition, alteration, repair and restoration of a section of the northern boundary wall where it is adjacent to the Sclater Street buildings. The Sclater Street Proposals will include: closing up of the arches to the west of Mission Hall; extension of the Mission Hall building into and underneath the adjoining arches; opening up of arches to create alcoves in the space between the Mission Hall and Victorian Building, and to the rear of Weavers' Cottages; blocking of the arches to the rear of the proposed extension to Victorian Building; and partial demolition of the wall to install access gate immediately east of the Weavers' Cottages.

With regard to the unlisted Bishopsgate Goodsyards structures these works fall within the parameters assessed in the 2019 ESA.

In conclusion, with regard to the Bishopsgate Goodsyards (north) boundary wall, the Sclater Street RMA design will not alter the conclusions of the 2019 ESA.

No other heritage assets identified in the 2019 ESA will be affected by the Sclater Street Proposals.

A summary of the 2019 ESA findings is set out in **Table 5** below.

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Table 5 – Summary of relevant heritage findings to the Sclater Street Site

Heritage Asset	Effect during construction	Effect during operation
Fournier Street and Brick Lane Conservation Area	Moderate beneficial effects from repair and restoration of the three buildings and removal of 20 th century extensions/brick wall. Moderate adverse effects from a building alteration and short term impacts from noise, dust, vibration etc.	Minor to Moderate adverse effect from change of setting due to the construction of the taller Plot 5 buildings.
Weavers Cottages	Minor to moderate beneficial from repair and restoration. Minor to moderate adverse from physical alteration and loss of rear extensions (mitigated by historic building recording). Minor adverse short term impacts from noise, dust, vibration etc	Minor adverse effect from change of setting due to the construction of the taller Plot 5 buildings.
Victorian Building and Mission Hall	Minor beneficial effects from repair and restoration and from removal of modern extensions (Victorian Building) and 20 th century brick wall (Mission Hall). Minor adverse effects from physical alteration and short term impacts from noise, dust, vibration etc.	Minor adverse effect from change of setting due to the construction of the taller Plot 5 buildings.

5.2.2. Townscape

The 2019 ESA identified a moderate-major beneficial effect on the Bethnal Green Road townscape character area, which the Sclater Street Site falls within.

The Sclater Street Proposals involve the refurbishment and repair of existing buildings, removal of ad hoc and derelict extensions, and new built fabric that lies within the maximum parameters of the 2019 ESA. The Sclater Street Proposals would not be visible in any of the viewpoints assessed in the 2019 ES TVIA Addendum and would be sympathetic in character to the built fabric of Sclater Street and its immediate surroundings. As such, the Sclater Street Proposals would not give rise to any changes to the assessment of effects on views and townscape. The magnitude of impact, sensitivity of visual and townscape receptors, significance of effect, and qualitative assessment would remain as those of the Addendum. The Sclater Street Proposals would not impact the conclusions set out in the Addendum and would not alter the impacts of the Sclater Street Proposals in townscape and visual terms with particular reference to the moderate beneficial effect on townscape character area 3, Bethnal Green Road.

5.2.3 Air Quality

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The assessment of the effects of fugitive dust emissions associated with construction activities, as well as construction and operational traffic of the Proposed Development (inclusive of the Sclater Street Proposals) on local air quality remains as set out in the Plot 1 Environmental Compliance Report in light of the revised construction programme – the Sclater Street Proposals do not introduce any further amendments to the construction programme, construction activities or traffic levels. The Compliance Report demonstrated that the revised 7-year construction and occupation programme for Bishopsgate Goodsyrd did not change the conclusions of the 2019 ESA.

It should be noted that the guidance followed for undertaking the construction dust assessment (IAQM 'Guidance on the assessment of dust from demolition and construction Version 1.1' 2014) was recently updated (Version 2.2, January 2024). However, the conclusions of construction dust assessment remain unchanged, due to the minor nature of the amendments to the guidance, as well as the 'high' overall risk of dust impacts previously assessed means that the maximum mitigation measures were recommended.

Detailed dispersion modelling was undertaken in the Plot 1 Environmental Compliance Report to determine the impact of increased emissions attributable to construction; and operational phase; traffic on air quality. This was an assessment for the whole Bishopsgate Goodsyrd masterplan, which superseded the 2019 ESA.

Focussing on the operation of the entire development Site, the assessment considered the changes in concentrations of the key air pollutants nitrogen dioxide (NO₂) and fine particulate matter (PM₁₀ & PM_{2.5}) during the Proposed Development opening year (2030) at existing human receptor locations, representing locations such as existing dwellings. These changes were attributable to changes in road traffic on the local road network and assessed using detailed dispersion modelling and accounted for background pollutant concentrations. Negligible impacts were predicted.

This assessment is considered to remain valid as it considers the whole Bishopsgate Goodsyrd Site and it was produced in 2023, considering 2022 monitoring data collected by Temple and local authorities, up-to-date modelling tools and background pollutant concentrations, and cumulative traffic. The future year operational phase scenarios used 2031 traffic data, 2030 vehicle 'emissions factors' (used to represent emissions generated by vehicles modelled along the local road network) and 2022 background pollutant concentrations.

It should be noted that an updated version of the Emissions Factors Toolkit (EFT, version 12.0.1) has been published by the Department for Environment, Food and Rural Affairs (Defra) since the Plot 1 Environmental Compliance Report was prepared. For oxides of nitrogen (NO_x), emissions calculated in v12.0.1 of the EFT were typically ~75% of those predicted in version 11 during 2022; and ~50% during 2030. These changes would likely reduce the modelled concentrations of NO₂, which is formed from NO_x. They remained similar for PM₁₀ and PM_{2.5} emissions (e.g. for 2030, typically within 5% of v11 EFT). Due to the positive changes to the EFT, the version used in the assessment reflects a more conservative assessment; therefore the latest version is not considered to have a material impact on the results and conclusions of the assessment.

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Given that the Sclater Street Site is 'car-free', it will not generate significant additional road traffic and can be considered air quality neutral for transport emissions. Similarly, it is proposed that the Sclater Street Site meets its energy demand using air source heat pumps (ASHP), which do not generate emissions, nor are generators proposed. It is thus considered air quality neutral.

Residential uses will be introduced in the Victorian Building adjacent to Sclater Street, with a new shopfront and reinstatement of retail use at ground level, as well as retail/café use following refurbishment of Mission Hall. Dispersion modelling has been undertaken to assess the future exposure of proposed residential and commercial receptors to ambient air quality at the Sclater Street Site. Modelled receptor locations were selected to reflect worst-case façades of the proposed residential buildings. The 2030 future year assessment found that all proposed residential receptor locations are expected to be well below the annual mean air quality objectives (AQOs, as described in the Plot 1 Compliance Report) for nitrogen dioxide (NO₂) and fine particulate matter (PM₁₀ and PM_{2.5}).

Table 6 below presents the opening year scenario dispersion modelling assessment results for the proposed future receptor locations. The highest pollutant concentration modelled at any modelled receptor location was 22.36 µg/m³ for NO₂, 19.53 µg/m³ for PM₁₀ and for 12.81 PM_{2.5}.

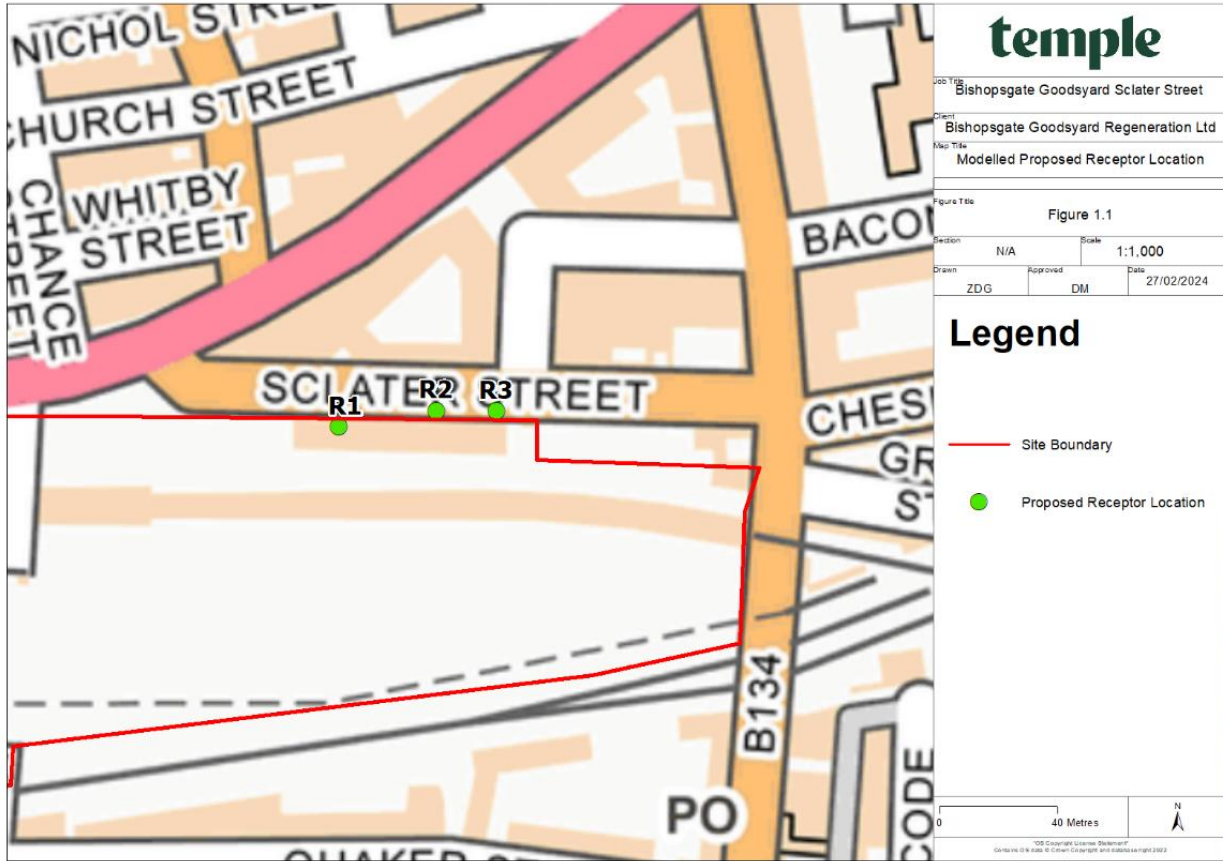
The effect of ambient air quality on future Site users once the Proposed Development (inclusive of the Sclater Street Proposals) is operational in 2030 are considered to be indirect, local, permanent effects of negligible significance. This is in line with the findings of the 2019 ESA.

Table 6 – Predicted annual mean NO₂, PM₁₀ and PM_{2.5} concentrations at proposed receptors (µg/m³)

Receptor ID	Report Location Coordinates		NO ₂	PM ₁₀	PM _{2.5}
	X	Y			
R1 1 st Floor	533739	182267	21.51	19.32	12.44
R1 2 nd Floor	533739	182267	21.43	19.31	12.41
R1 3 rd Floor	533739	182267	21.38	19.29	12.39
R1 4 th Floor	533739	182267	21.34	19.29	12.37
R1 5 th Floor	533739	182267	21.31	19.28	12.36
R2 1 st Floor	533772	182273	22.36	19.53	12.81
R2 2 nd Floor	533772	182273	22.09	19.46	12.69
R2 3 rd Floor	533772	182273	21.97	19.43	12.64
R3 1 st Floor	533793	182273	22.31	19.52	12.79
R3 2 nd Floor	533793	182273	22.06	19.46	12.68
R3 3 rd Floor	533793	182273	21.94	19.43	12.63

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Figure 8 – Receptor Locations at Sclater Street



Additionally, the 2025 London Atmospheric Emissions Inventory (LAEI) projected dispersion modelling data produced by GLA indicates that pollutant concentrations at the worst-case facades of the proposed residential buildings are predicted to be well below the respective AQOs in 2025; 26.7 $\mu\text{g}/\text{m}^3$ for NO_2 , 19.2 $\mu\text{g}/\text{m}^3$ for PM_{10} and for 11.3 $\text{PM}_{2.5}$. Therefore, the air quality at the facades is considered appropriate for the residential and commercial use, against the air quality objectives (AQOs).

The mitigation measures in the Air Quality Positive Statement prepared to accompany the Plot 1 RMA (dated January 2024) are committed to across the whole Bishopsgate Goodsyard Site, noting differences in cycle parking allocation. Some measures (such as but not limited to the travel plan) may not be brought forward exclusively in relation to the Sclater Street Site, owing to its small size, although the users of the Sclater Street Site will be considered in Travel Plans produced for other phases. No generators are proposed at the Sclater Street Site.

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4.2.4 Noise and Vibration

The assessment of the effects of operational traffic of the Proposed Development (inclusive of the Sclater Street Proposals) on local noise and vibration levels remains as set out in the Plot 1 Environmental Compliance Report, which demonstrated that the revised construction and occupation programme for Bishopsgate Goodsyards did not change the conclusions of the noise and vibration assessment, which were negligible for all receptors as a result of operational traffic.

The suitability of the Sclater Street Site for residential buildings was assessed in the 2019 ESA. The predicted levels are presented in **Table 7**.

Table 7 Summary of Predicted Noise Levels on the Facades of Existing Residential Buildings along Sclater Street

Receptor	Typical Predicted Day, $L_{Aeq,16hr}$ dB	Typical Predicted Night, $L_{Aeq,8hr}$ dB	Typical Measured Night, $L_{AFmax,T}$ dB
	$L_{Aeq,16hour}$	$L_{Aeq,8hour}$	$L_{AFmax, 2300-0700}$
Existing (Residential along Sclater Street)	64	56	74

In order for the guideline indoor noise levels as specified in the 2019 ESA and in Condition 25 of the LBTH planning permission to be achieved, the glazing and sound insulation set out in **Table 8** would be required.

Table 8 Summary of Required Glazing and Sound Insulation for Facades in the Residential and Hotel Uses (excerpt from Table 13.21 of the 2019 ESA)

Receptor	Room Type	Outline guidance on the required glazing sound insulation to achieve BS8223:2014 & WHO guidelines, $R_w + C_{tr}$, dB	
		Day	Night
Existing (Residential along Sclater Street)	Living Room	29	-
	Bedroom	29	29

This level of sound insulation and glazing can be achieved by the following:

- Glazing with minimum weighted sound reduction index of 29 dB $R_w + C_{tr}$; this may typically be achieved using glazing with a 4mm/12mm/4mm configuration.

6. Summary and Conclusions

The RMA sets out the details for the refurbishment and extension of the existing buildings on the Sclater Street Site, which was assessed as part of the Proposed Development in the 2019 ESA. There are no changes to the construction programme or methodology as a result of these details, and therefore no changes to the construction phase conclusions of the 2019 ESA. The Sclater Street proposals are fully within the consented minimum and maximum parameters assessed in the 2019 ESA and represent a relatively small and low-rise component of a far larger scheme, brought forward to enable urgent

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refurbishment works, therefore the details have no potential to change the likely significant effects for the majority of topics and those topics have not been considered further.

A more detailed consideration of built heritage, townscape, air quality and noise and vibration are presented in this Statement of Conformity. The effect on the on-site non-designated heritage assets and the Brick Lane and Fournier Street Conservation Area would be as presented in the 2019 ESA. The confirmed details would not change the moderate-major beneficial effect on the Bethnal Green Road townscape character area. There would be no changes to the effects of traffic on air quality or noise levels as a result of the Sclater Street Proposals. The Sclater Street Proposals would be air quality neutral for buildings and transport and would have air quality and noise levels suitable for residential use, subject to glazing and sound insulation levels specified in this Statement of Conformity.

Therefore, the ES can be considered valid in the context of the confirmed details of the Sclater Street Proposals..

Yours Sincerely,

A handwritten signature in black ink, appearing to read 'Charlie Irwin', written in a cursive style.

Charlie Irwin
Principal Consultant