

STATION WALL Proposed

Generally, we propose to clean the paint from the wall, repoint it as necessary and repair the brickwork where it has become damaged.

Enclosure and Re-exposure of the wall

Behind the Weavers Cottages we propose to leave the external wall exposed. The arches will be used as cycle storage and external covered seating.

Behind the Victorian Building and Mission Hall we plan to

enclose sections of the station wall, to create internal space. In these locations, the wall is already enclosed by modern extensions. We proposed to take these down and replace them with more sympathetic extensions.

Removing these extensions will expose a section of the wall between the two proposed extensions, which will be used as an entrance to the Plot 5 residential building.

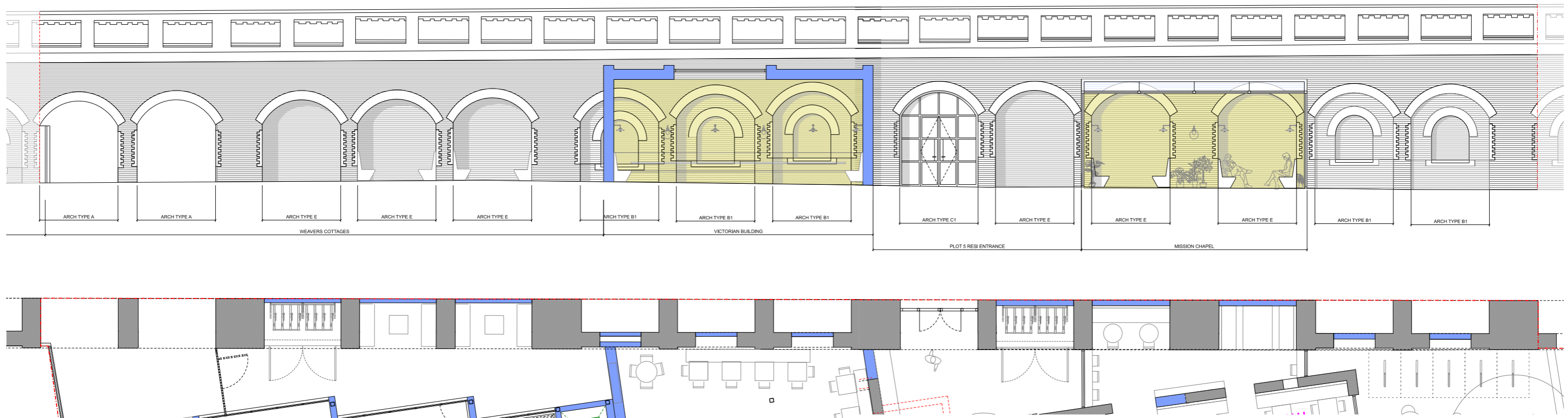
To the west of the Mission Hall we propose to expose the

station wall as part of a new area of pavement.

Salvage and reuse

Where bricks and stone cills are removed from the wall, they will be salvaged and used for infill and repair in other locations in the wall.

Where cast iron window frames are removed they will be put aside for reuse elsewhere in the wall.



As Proposed Elevation and plan of area of Station wall which is included in this application. The Triplicate rythum of the arches can be seen clearly.

STATION WALL Proposed

Opening and Infilling Arches

The station wall clusters arches in a triplicate rhythm. Each arch within the cluster of 3 is infilled with a brick panel with a secondary arched window opening in it.

The approved outline planning permission allows for the arches to be modified to suit the needs of the Sclater Street buildings and the buildings behind the wall.

As part of this application, we propose the following modifications to the arches:

- To open fully 2 arches to the east of the Weavers Cottages, directly adjacent to the Donavan land,
- To remove the infill from some arches and create recessed nooks, to allow us to use the space within the arches. These nooks will be used to create cycle lockers and seating areas, both internal and external,
- To infill the secondary window arches within in some arches, to close the wall,
- Where an arch has been previously infilled with an unsympathetic material we will remove this and use London Stock bricks to fill in the arch.

These changes will enhance the user experience of the Sclater Street buildings and facilitate access to the goodsyard behind the wall.

Infill Materiality

At pre-app stage we prepared a series of options for how to open and infill the arches within the wall. Working with Tower Hamlets Conservation team, we have created four different types of arch modification which are used throughout this proposal. These are as follows:

Arch type A - full opening of the arch to allow access through the wall.

Arch type B1 - Secondary window arch infill in red brick matching existing.

Arch type C1 - Full height fixed, critical type fixed glazing or doors to allow access to a building behind the wall.

Arch type E - full height infill in red brick to the rear of the arch to create a nook.



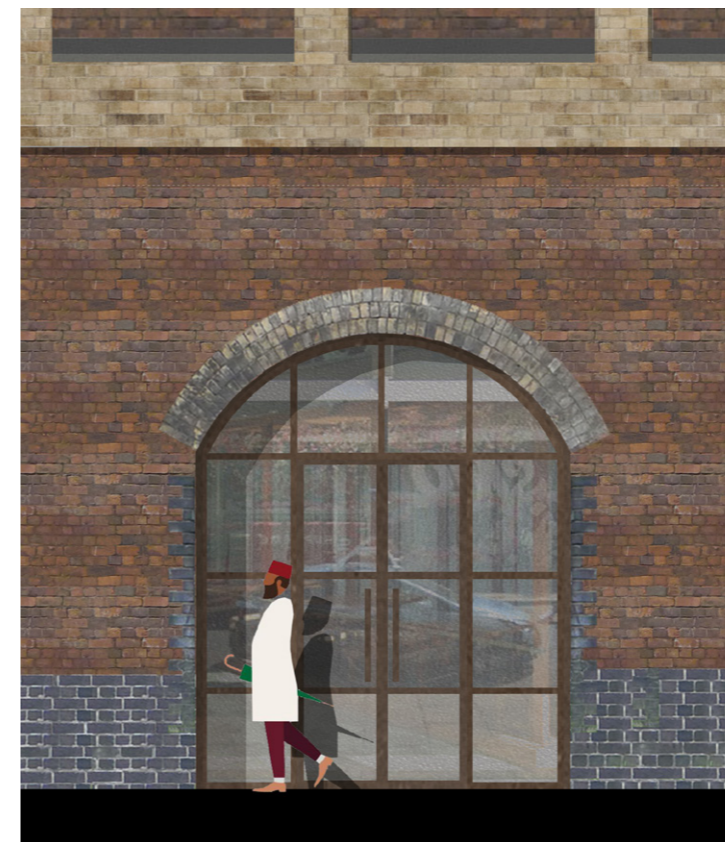
Photograph showing the rear of the wall, showing the depth of the arches



Arch type A - Fully Open



Arch type B1 - Secondary arch infilled with brick to match existing



Arch type C1 - Full height, critical type glazing



Arch type E - Infill panel to the rear of the arch in brick to match existing, creating a nook.

ACCESS STATEMENT

PUBLIC TRANSPORT

The application site is well served by public transport.

It is less than 5 minutes walk from Shoreditch High Street Station, which is on the London Overground network (Windrush Line.)

It is approximately 15 minutes walk from Liverpool Street Station, which gives access to National Railway services as well as the Elizabeth, Central, Metropolitan, Circle and Hammersmith and City Lines.

It is within a short walk of several bus stops, for routes traveling into the City from the north and the east.

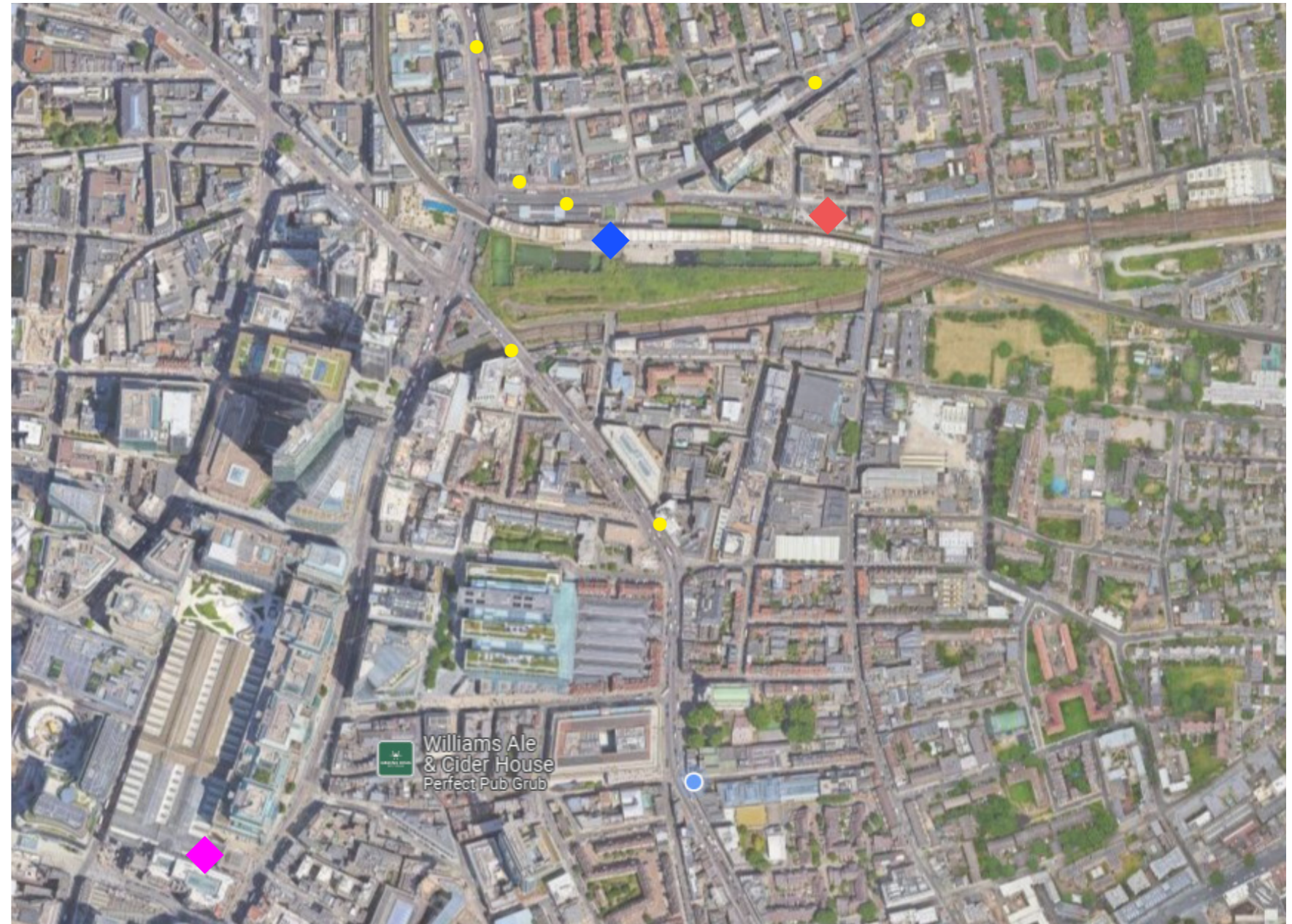
THE BUILDINGS

The application site is three historic structures, which we are proposing to retain and enhance. It is therefore not possible to provide level access to all commercial or residential units, or DDA compliant access within each building.

The Mission Chapel is a single storey and will provide level threshold access via a new entrance in its west facade.

The Victorian building contains 3 residential units above a ground floor commercial unit. We will not provide level threshold to any of these units. We are reusing an existing staircase and not providing a new lift. Access is unchanged from its existing condition.

The Weavers Cottages will not have level threshold as this is not possible with the retained facade. We are installing a new lift and DDA compliant staircase to assist ambulant disabled access to all rooms on ground, first and second floors.



Legend:

- ◆ Application site
- Bus stop
- ◆ Shoreditch High Street Station
- ◆ Liverpool Street Station

DESIGN GUIDE COMPLIANCE CHECKLIST

Clause	Description	Design Guide	Design Guide Compliant	Parameters Plan Compliant
4.5.1	Use and Quantum: The weavers Cottages will be a co-working building. The Victorian Building will be residential units above a retail unit. The Mission Hall will be a commercial building.	138	✓	✓
4.5.2	Quantum of Uses: The quantum of uses is within the min / max parameters. This is a partial implementation of Plot 5.	138	✓	✓
4.5.3	The Ground Level: The ground floor level of the new build elements of Plot 5 will be mixed use, predominantly retail with residential lobbies and office entrance.	139	N/A	✓
4.5.4	Levels 1 and 2: The lower levels of the new build elements will provide residential unit, plant and ancillary space	139	N/A	N/A
4.5.5	Level 3 and Above: The upper floors in the new build will contain residential units. The roofs should contain accessible terraces, play areas or ancillary plant.	139	N/A	N/A
4.5.6	Scale and Massing	140	✓	✓
4.5.7	Constraints and Influences: The building has to respect the 2m exclusion zone around the London Overground viaduct in plan and section. It has allowed for future escape stairs from the station and retain all historic structures including the, Boundary Wall, Weavers Cottages, Victorian Building and Mission Hall. The existing Weavers' Cottages will be retained, refurbished and extended to the rear (south elevation.) The existing Weavers' Cottages will be extended to the east with a contemporary addition at level 2, forming a gateway threshold under to the new south route into the proposed scheme. The Victorian Building is to be retained and refurbished, the unsympathetic modern extensions and drainage are to be removed and the shopfronts are to be restored to align with the local Shoreditch shop-front vernacular. The Mission Hall is to be retained, refurbished with new openings where required. The historic Boundary Wall will be retained and incorporated within the design of the north facade. The new buildings will be set behind the existing boundary wall.	140, 141	N/A	✓
4.5.8	Articulated Form: The Weavers' Cottages have a main body and a two-storey outrigger. The main body of the houses should be retained in massing and volume. The outrigger should be removed and replaced with a full width three-storey extension. The Victorian Building will have its modern unsympathetic extension removed. The new buildings should be broken into 3 distinct blocks. Spaces between the blocks should relate to the existing retained buildings to allow for aspect and amenity. Further articulation should be introduced in the two larger blocks utilising recesses. The buildings' heights should increase from smaller to taller towards the west. The crown of the lower building will have a massing relationship to the lower portion of the adjacent block creating a stepping profile in height. The plans, sections and 3D diagrams define the maximum and minimum proposed extents for the building. a 2 m wide balcony zone surrounds the maximum parameter envelope	142, 143	✓	N/A

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Clause	Description	Design Guide	Design Guide Compliant	Parameters Plan Compliant
4.5.9	Mass and Materiality: N/A	144	✓	N/A
4.5.10	Composition: N/A	144	N/A	N/A
4.5.11	Base: The Boundary Wall is to be retained and will form the base of the new buildings along the north elevation. Only minor interventions will be made on the Boundary Wall, using the existing arched openings. A segment of the boundary wall is to be removed to allow for access into the service yard.	144	✓	N/A
4.5.12	Body: For the smaller block to the east, the materials, proportions and openings shall reference the ones of the existing Weavers' Cottages and Victorian Building. The detailing shall be modern. A mix of Juliet and projecting balconies shall be used as necessary. For the middle and west blocks, the window openings should be paired horizontally with intermediate mullions and soldier courses spanning between brick piers. Bays will be designed over two or three floors. An allowance should be made in the fenestration for window openings, louvred panels for air intake / extract. A mix of Juliet and projecting balconies shall be used as necessary.	144	N/A	N/A
4.5.13	Crown: The new build elements will have architectural details marking the crown of the buildings, this detailing will also act as parapets.	145	N/A	N/A
4.5.14	Shopfront and Signage Strategy: For the existing buildings, the existing shopfronts are to be restored using examples from Brick Lane and on the east part of Sclater Street as precedents. Signage will be painted onto new shopfronts. There shall be two formats for shop frontages: Boundary Wall: openings should respect the existing openings in the wall with the exception of glazed doorways into units which should fill an entire arch. East and west elevations: Shopfrontages should utilise full height glazing with a consistent head detail. Signage design shall allow for a variety of designs on a common background. The background will respond to the unit use and be located to ensure visible from short and long distances.	145	✓	N/A
4.5.15	Pedestrian Access: The Weavers's Cottages: the primary entrance is to be located on Sclater Street to provide access to the co-working space. A secondary entrance will be provided for cyclists, to the rear, through the new gateway building on Cygnet Lane. Victorian Building: the primary entrance to the residential units is to be located on Sclater Street. Secondary entrances on Sclater Street will be provided to support the retail uses at ground. New Buildings; residential lobbies to the larger buildings are accessed from Sclater Street. The smaller building is accessed from the new route through, Cygnet Lane, to the east. Retail units shall be accessed from the north, Sclater Street, and west, where a new pedestrian route through is created.	146	✓	N/A
4.5.16	Service Access: Plot 5 will be serviced from the service yard located at ground floor accessed via Sclater Street	146	✓	N/A

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Clause	Description	Design Guide	Design Guide Compliant	Parameters Plan Compliant
4.5.17	Plant Strategy: Plant associated with the new buildings is to be provided at ground floor or on the roof. Plant should be visually enclosed on all sides, but can be open topped.	146	✓	N/A
4.5.18	MEP Fixes (Plant, Water, Substation Location, Etc.): The buildings shall align with the SUDS attenuation strategy for the site, which allows for the site to come forward in phases and supports a specific catchment area.	146	✓	N/A
4.5.19	Maintenance Access: Plot 5 is to support long reach tools from ground and suspended access/internal maintenance access methodology.	146	✓	N/A
4.5.20	Cycle Storage: Weavers' Cottages and Victorian Building: long stay cycle parking spaces shall be provided within the gated rear courtyard. Short stay cycle parking forms part of a site-wide provision. New buildings: each of the new buildings will have their own residents' long stay cycle storage provision on the lower levels to the south, facing the London Overground viaduct. Visitors' cycle parking forms part of a site-wide provision.	147	✓	N/A

CONCLUSION

Our proposal for the Sclater Street Buildings carefully and sensitively restores three historic buildings, revealing a small fragment of historic streetscape. The proposals retains or recreates the best historic features of the buildings and compliments them with outstanding contemporary extensions.

The combination of commercial and residential uses will reinvigorate Sclater Street, allowing the public to enter many of these buildings for the first time in years. It will also preserve these buildings for future generations to enjoy.

