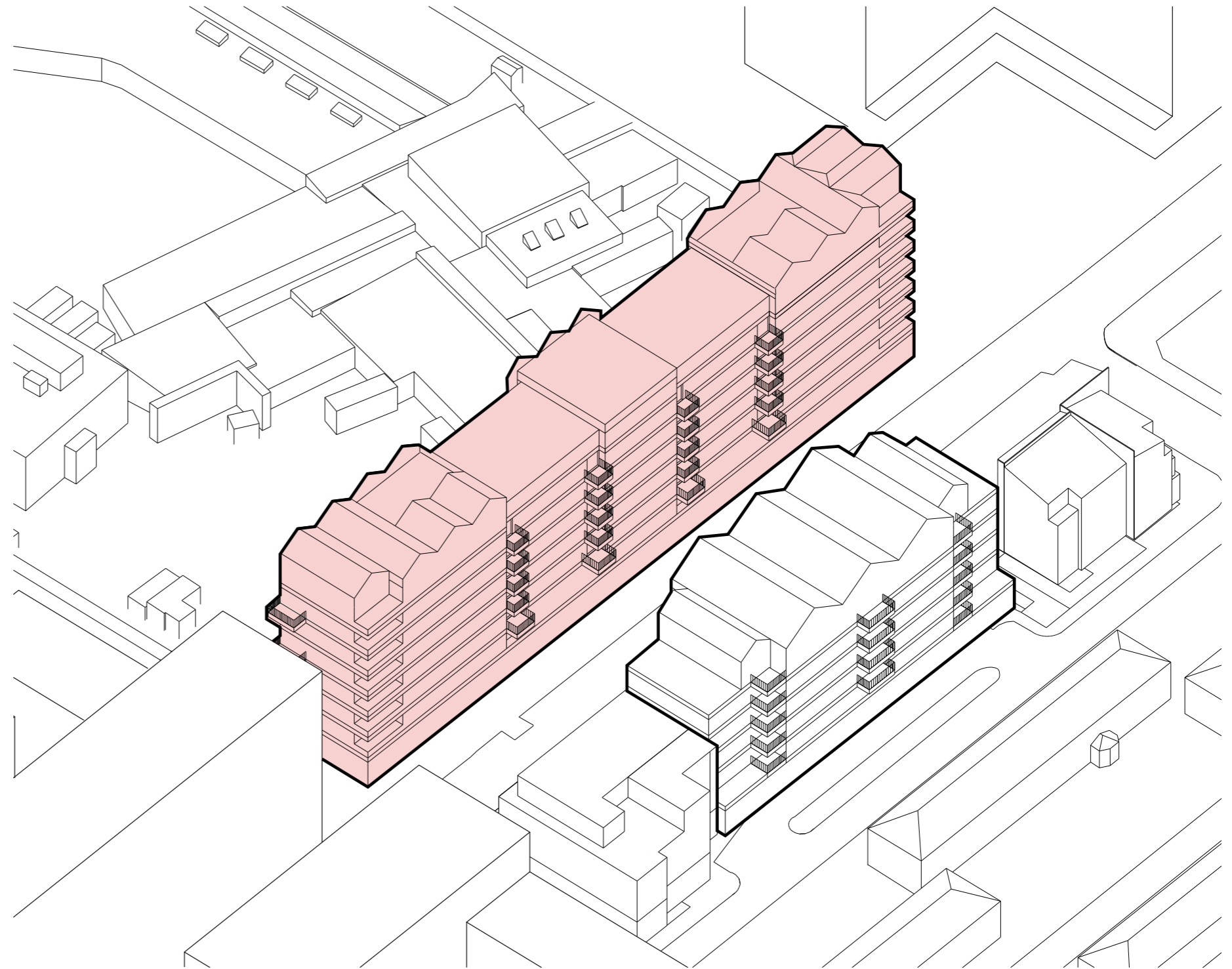
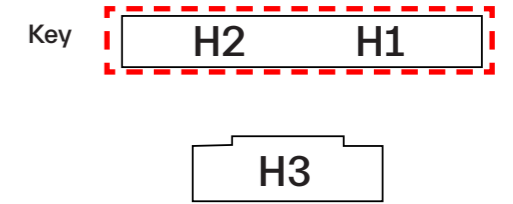


Facades

H1 + H2 Block

The following pages detail the proposals for H1 and H2, a ground + 7 storey building accommodating solely social tenure homes.



Isometric diagram of H1 + H2

Facades

Elevations - H1 H2

Composition

Plots H1 and H2 are expressed as a collection of 3 distinct masses ('blocks') with 2 connecting 'insets' to break down the 90m length of Aberfeldy Street maintaining a sense of rhythm and variety from neighbouring plots and the public realm.

The 5 masses are united by a precast textured base that steps with the forms of the floors above. The base accommodates smaller retail spaces than Plot F's permitting a diverse offering for locals. The base steps down towards the rear of the building rising only to define communally accessible uses in the block such as secondary residential entrances and amenity spaces.

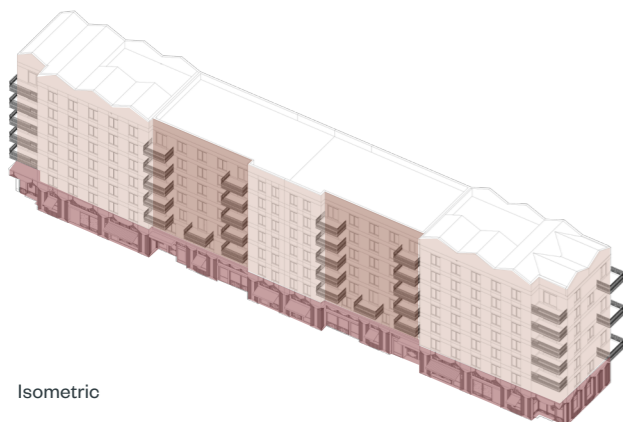
The lighter 'blocks' are distinguished with a variety of roof lines which are oriented to face key views and approaches to aid with wayfinding. Corners are activated by special balcony arrangements which are hit and miss or inset.

Aspect

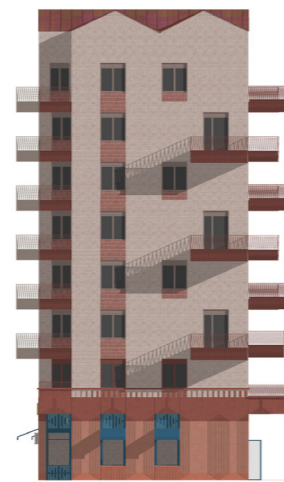
The Northern elevation faces onto The Square and is enlivened by hit and miss balconies which step around the North-Western corner providing double height external amenity to residents.

The Eastern facade is ordered and restrained above the lively High Street which provides the retail frontage. External amenity of the dwellings is designed to never sit directly above the High Street at L01 for resident privacy (except where inset and greater privacy can be achieved).

The Western elevation lines Kirkmichael Play Street and is overlooked by access decks and rear facing balconies for passive surveillance. Large openings to the facades allow communal amenity spaces within the building to actively engage with the street and provide positive dialogue and connection between the residents and wider community activities. Dedicated residential entrances to the core are united with these apertures via a large enveloping canopy that continues rhythm and scale to the facade.



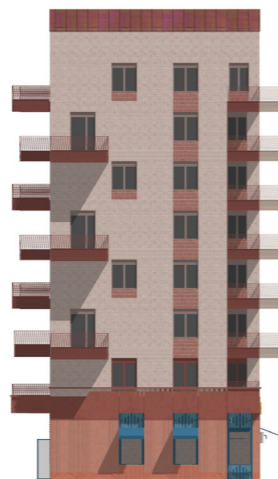
- Block
- Inset
- Base



North Elevation (Dee St.)



East Elevation (Aberfeldy St.)



South Elevation (Blair St.)



West Elevation (Kirkmichael St.)

Facades

Bay Elevation - H1 H2

Base

Along the High Street, the base is punctured by large format curtain wall glazing which defines shop fronts and provides opportunities for tenants to express their signage within a considered framework. Key corners are inset to encourage circulation around the corners and facilitate opportunities for inhabitation by retail tenants.

The precast elements are textured and embossed with `Kantha` inspired patterns influenced by the success of the meanwhile patterns that celebrated the diversity of cultures present in Aberfeldy Village today.

Along Kirkmichael play St the precast plinth transitions to a red brick datum which steps up to signify communally accessible uses.

'Blocks'

The 3 blocks bind the plot and are clad in a light sand coloured brick which is broken by vertically arranged windows. The central block is bound and as such is symmetrical in composition where as the Northern and Southern blocks feature pitched roofs which are specially oriented to face key approaches.

'Insets'

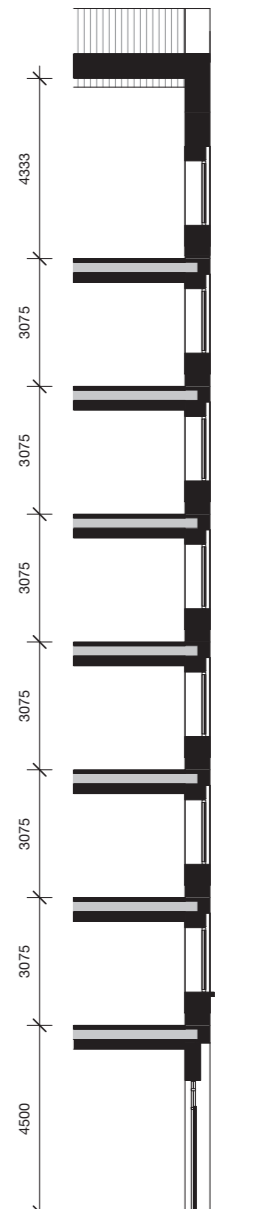
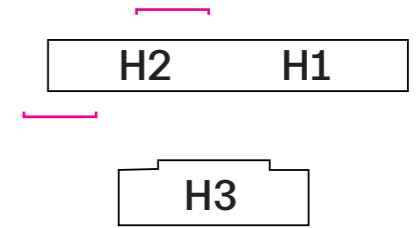
Connecting masses are comprised of a more horizontal language and host access decks and outboard balconies. Built from a warmer brick, their expression allows the blocks to read as a collection of buildings as opposed to a relentless monolith. Access decks accentuate their horizontal nature and provide access to central dwellings of the Plot(s) and are expressed in bays as part of the balcony language.



Western Centre Bay Elevation



Eastern Corner Bay Elevation



Typical Section

Facades

Detailed Bay Elevation

Window

Window openings are visually elongated by a metalwork panel above the window and vertically connected by a portion of soldier bonded brick work below each window.

The panel above the window provides an opportunity to discretely ventilate the apartments through the window componentry alleviating the need for superfluous spouts and vents in the brickwork body. An 800mm high cill promotes views out from habitable rooms.

Pier and Opening

The majority of the elevational language is defined by consistently dimensioned stretcher bonded brickwork piers that define openings which are subtly broken by 3 brick soldier bond stringers at every floor. The solid piers are of a light brick with a flush faced light coloured mortar to maximise the amount of light that is reflected through the trees to Aberfeldy Street below.

Balcony

Balconies benefit from a 300mm solid plate metal upstand to limit views on to the balconies from the street below. The balusters are dynamically angled to create accentuate rhythm and playful arrangement of balconies at corners.



Facades

Material Palette

The adjacent demonstrates a suggestive material palette for Plots H1, H2 and H3, embodying warm peach tones, sandy beige tones in combination with a variety of textured applications of precast concrete.

Brick

Lighter portions of the plot will be clad in the indicative sand/beige brick shown with a flush faced white mortar to retain the texture of the brick.

Connecting sections of the plot will be clad in the indicative orange/peach brick with a colour matched mortar to accentuate the difference in character between the plot elements

Precast Concrete

Textured and rough faced precast samples are shown for the base of the plots with varying scale and hues of aggregate for testing. The exact finish would look to be consolidated at the next stages to allow refinement with specialist input from supplier / contractor.

Metalwork

Balustrades, window/door frames and vents would be finished in a polyester powder coating (PPC) to ensure a bold and vibrant red finish that will withstand the elements.



- ① Primary facade: textured grey/peach brick finish
- ② Base: Textured red pigmented precast
- ③ Metalwork: Matching tones to balcony / frames
- ④ Ventilated Panels: To retail frontage - bespoke paint finish to be applied

Kirkmichael Road

Amenity Use

Existing

Kirkmichael Road is currently used as back of house by the Western Aberfeldy Street retail units. Improvised parking is also common on the street creating potential hazards for pedestrians and school children from the adjacent Culloden Primary Academy. During pick-up and drop off times a gate to the south of Kirkmichael Road is used by parents and students for access.

Proposed Play Street

The proposals seek to pedestrianise Kirkmichael Road and populate it with play equipment and planting directly adjacent to the school. The length of the street is activated by secondary residential entrances which provide doorstep play for larger family maisonettes on H1 and H2. Natural surveillance from windows balconies and access decks was considered throughout the design process.

Furthermore x2 communal amenity spaces address the street frontage, allowing internal connection for the residents as well as spill out and connection to the play facilities on Kirkmichael. The proposed uses of these spaces intend to deliver a soft play type facility (number 1) and a homework club / flexi work space (number 2). The latter was raised numerous times in community consultation, and will enable a high quality facility tailored to youth and young families. In addition to the soft play, these spaces will enable greater dialogue with the existing community and Culloden Primary school, as well as providing flexible, useable space the residents of the block.



1 Precedent image of proposed soft play use



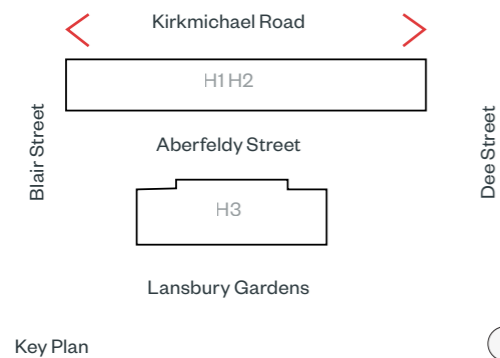
2 Precedent image of proposed homework club space



2 Precedent image of proposed homework club space



Proposed strategy diagram for kirkmichael road



Key Plan



3 Existing state of Kirkmichael Road looking South from Dee St.



4 Entrance off Kirkmichael Road to Culloden Primary School