

# Buildings B1 and B2

## Illustrative materials and elevation principles

### Materials

Facade principles and materials on these pages refer to the whole building.

The predominant facade material will be brick at the upper levels, with a pale concrete plinth below. The plinth will be primarily concrete and incorporate a cast in motif or pleat/ fold with perforated screens with a motif to conceal louvres where ever required.

Windows will be metal and have an anodised finish in a dark colour such as bronze. Any other metalwork, such as balustrades, will be of a matching colour.

### Facade principles

Building B1/B2 must express a step up towards Abbott Road and Highland place to form a tower, vertical in proportion and consistent with Building C1 to the south.

Facade principle O1 - the building is divided into three distinct volumes; a generous single storey workspace plinth, a twenty three storey tower and a lower seven storey leg stepping down towards building A.

Facade principle O2 - The design of the facade should incorporate a repeated single order horizontal expression to compliment the language of building B3 and act as a counterpoint to the vertical proportion of the tower form.

Facade principle O3 - Windows and balconies will be contained within horizontal bands to emphasise the directionality of the facade. This horizontality can be broken on the north and south facades of the tower to emphasise the verticality of these more slender elevations.

#### Key

- |  |  |
|--|--|
| <b>1</b> Twenty three storey tower     | <b>4</b> Single order horizontal expression                      |
| <b>2</b> Generous single storey plinth | <b>5</b> Windows and balconies contained within horizontal bands |
| <b>3</b> Seven storey leg              | <b>6</b>   |



Further information on Facade Principles and Materials is provided in the **Design Code** prepared by Levitt Bernstein.



Fig.370 Pleated/folded concrete detail

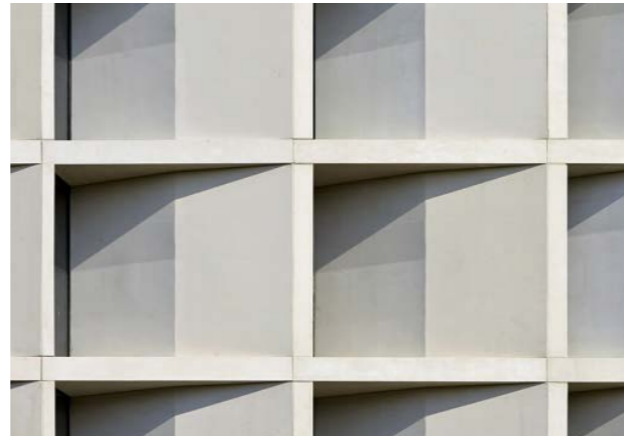


Fig.371 Pale concrete with smooth finish



Fig.372 Muted brick tones with concrete banding



Fig.373 Recessed balconies open at corners

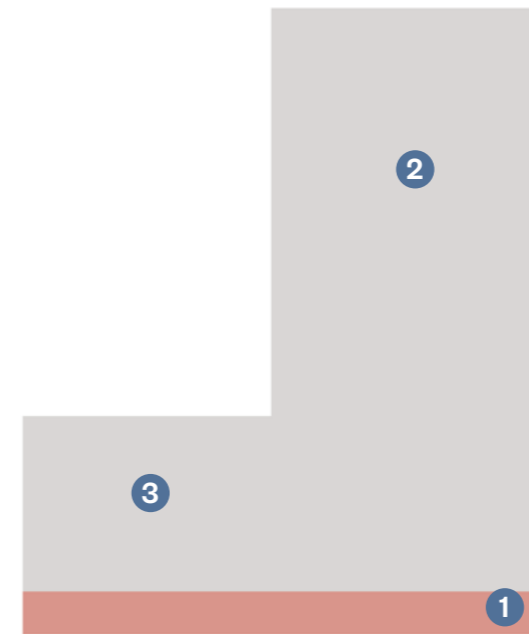


Fig.374 Building B1/B2 Facade Principles - O1

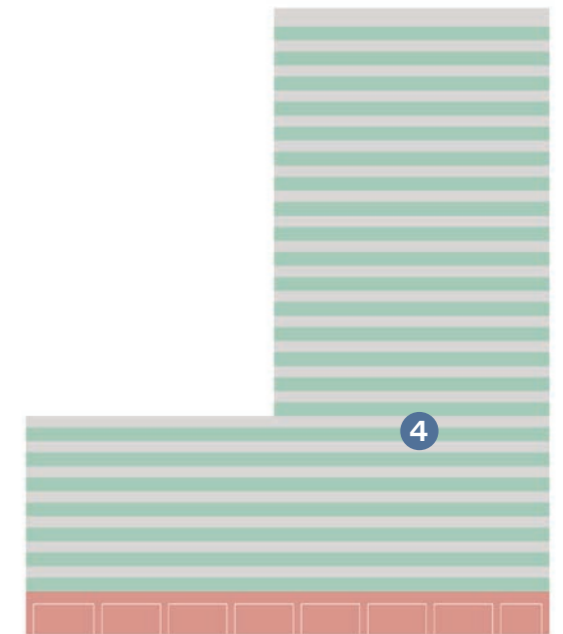


Fig.375 Building B1/B2 Facade Principles - O2

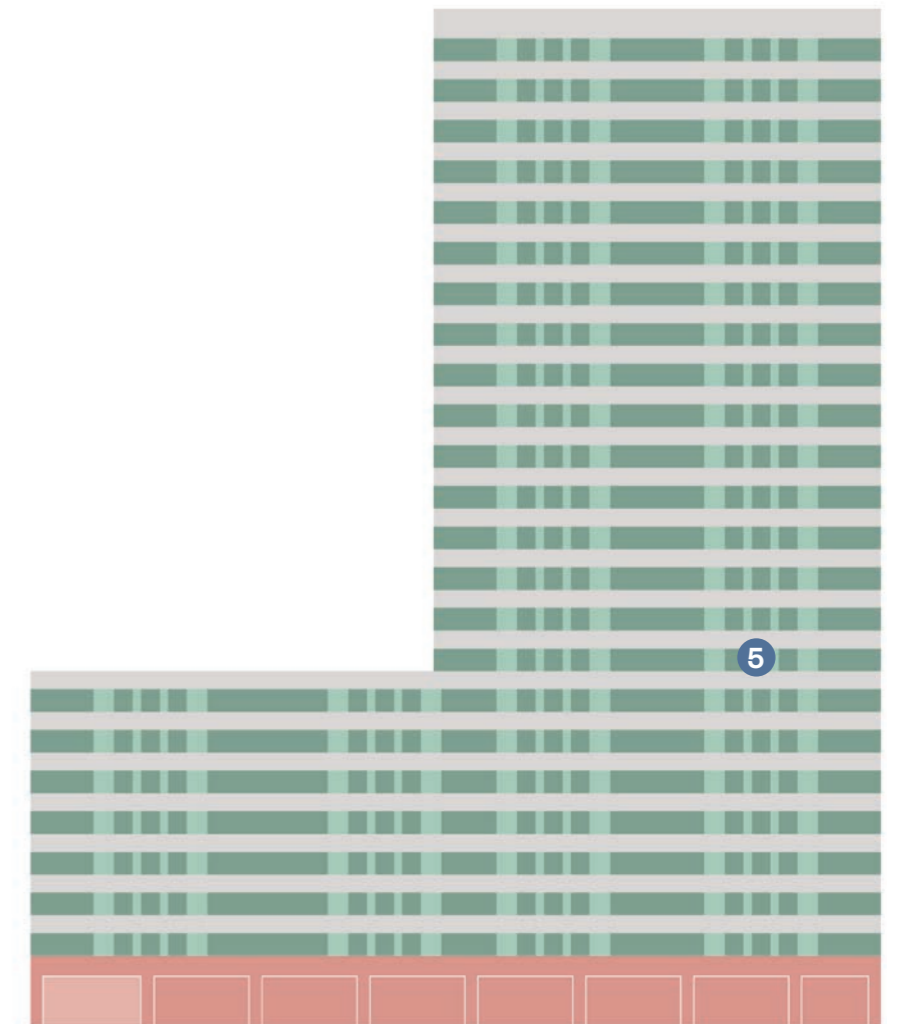


Fig.376 Building B1/B2 Facade Principles - O2



# Building C1 and C4

## Illustrative proposals

The appearance description of Building C1 and C4 for the illustrative masterplan, within the Outline Proposals, is set out on pages 186 and 187. The materials, images and text description provided are illustrative only and are provided to show one possible way of fulfilling the requirements of the masterplan's Design Code and Parameter Plans.

Buildings C1 and C4 are similar to Buildings B1 and B2, but instead of building stand alone buildings, they are two of four buildings which make up Plot C. Building C1 is the most southerly tall building within the tall buildings cluster.

The predominant facade material on the façades facing the A12 is a pale brick in a warm tone which will be common to the other residential buildings on Enterprise Yard (other than B3).

Concrete banding helps to emphasise the horizontality of the facade. These bands wrap around building corners before terminating. Windows and balconies stack to give the impression of a secondary vertical 'weave' sitting behind the foremost horizontal layer. Windows are in a dark bronze anodised aluminium with other metalwork, such as screens or balcony guardings coloured to match.

The building meets the ground in a pale concrete plinth incorporating a pleated detail at the columns. The plinth incorporates workspaces, plant, communal residential entrances and a car park entrance and access to the commercial cycle hub. A consistency of material (a bronze metal) and detail (perforated metal panels with a motif consistent between buildings on Enterprise Yard) unifies these the non-residential elements .

### Key

- |  |  |
|--|--|
| <b>1</b> Concrete plinth with pleated detail         | <b>6</b> Window with aluminium frame in anodised bronze finish |
| <b>2</b> Glazed residential entrance                 | <b>7</b> Concrete banding                                      |
| <b>3</b> Chamfered corner colonnade beneath plinth   | <b>8</b> Chamfered corner above plinth level                   |
| <b>4</b> Pale brick with warm tone                   |  |
| <b>5</b> Recessed balcony with bronze metal guarding |  |

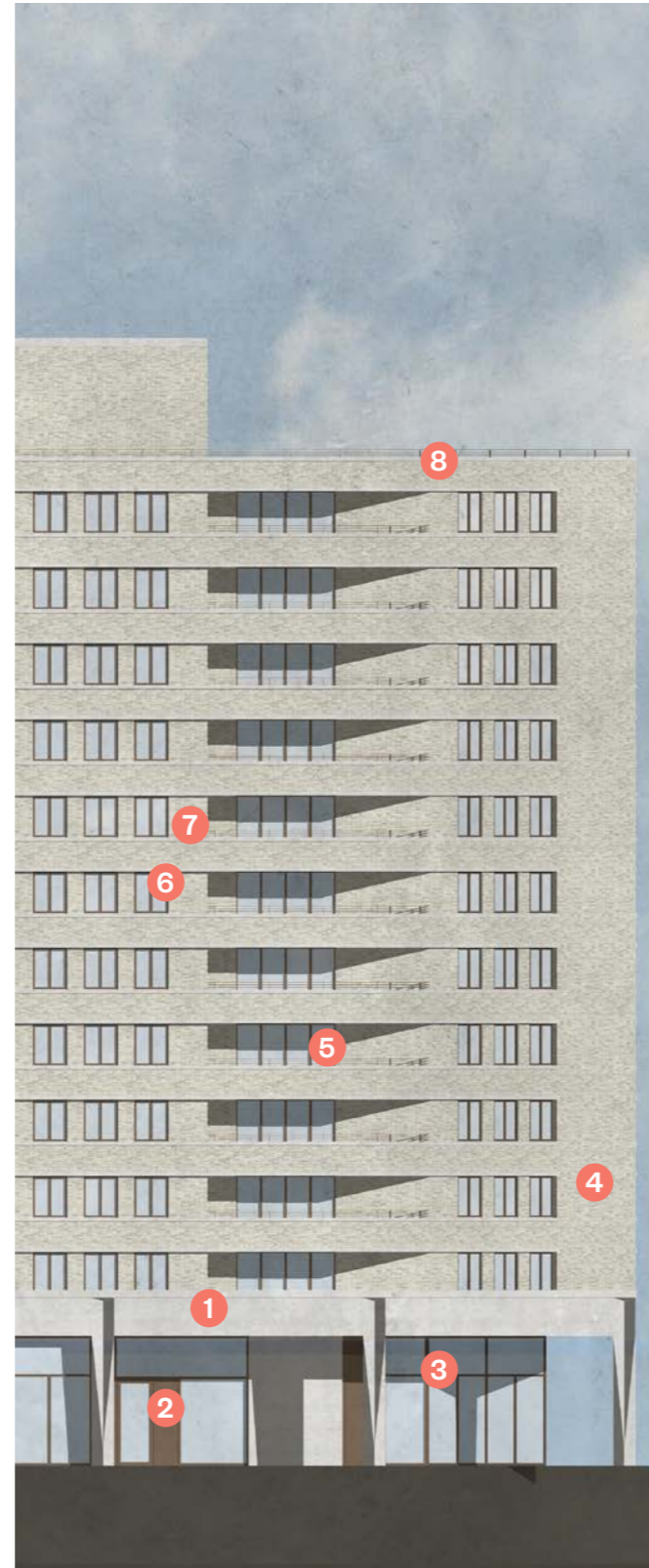


Fig.379 Partial east elevation of Building C4 (Enterprise Yard)



Fig.377 Chamfer at south west corner of Building C4



Fig.378 Colonnade formed at base of building



Fig.380 View of Enterprise Yard looking north



# Building C1 and C4

## Illustrative materials and elevation principles

### Materials

Facade principles and materials on these pages refer predominantly to the Enterprise Yard elevation and the tower at the north west corner.

The predominant facade material will be brick at the upper levels, with a pale concrete plinth below. The plinth should incorporate a motif common to the other buildings on Enterprise yard.

Windows will be metal and have an anodised finish in a dark colour such as bronze. Any other metalwork, such as balustrades, will be of a matching colour.

### Facade principles

Following the principles established for Building B1/B2 (Tower with leg), the Enterprise Yard elevation will be read as a volume which steps up to the north, joining the tall buildings cluster at Highland Place.

Facade principle O1 - the building is divided into two distinct volumes that signify the different uses housed within. The lower two floors are workspace and extend out from the building above, whilst the upper floors are all residential.

Facade principle O2 - the residential facade will be in brick with articulation that is predominantly horizontal, acting as a counterpoint to the verticality of the tower.

Facade principle O3 - Window and balcony opening will stack, adding an additional layer to the weave of the facade and responding subtly to the facade of Balfroon Tower and its sophisticated use of horizontal and vertical elements.

#### Key

- 1 Twenty three storey tower
- 2 Generous single storey plinth
- 3 Single order horizontal expression
- 4 Windows and balconies contained within horizontal bands

Further information on Facade Principles and Materials is provided in the **Design Code** prepared by Levitt Bernstein.



Fig.381 Pale brick with warm tone

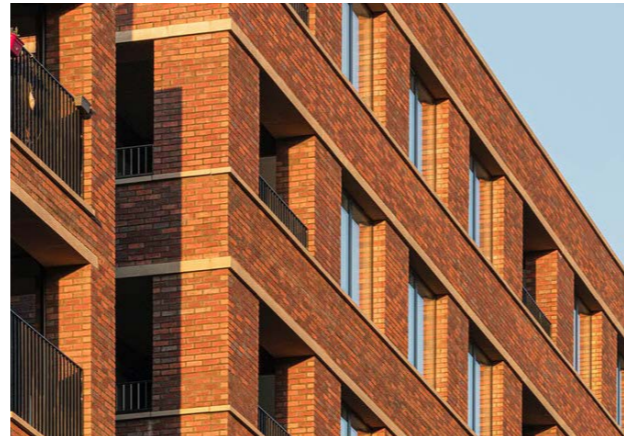


Fig.382 Brick with concrete banding



Fig.383 Double height base with non residential uses at ground floor



Fig.384 Building steps back to from colonnade at base

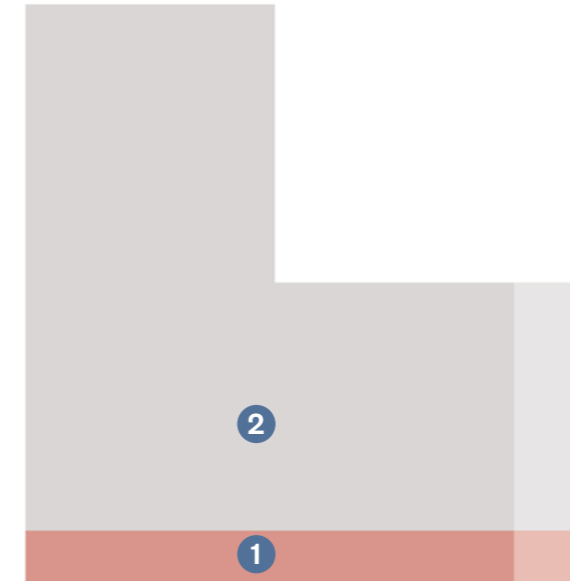


Fig.385 Building C (Enterprise Yard) Facade Principles - O1

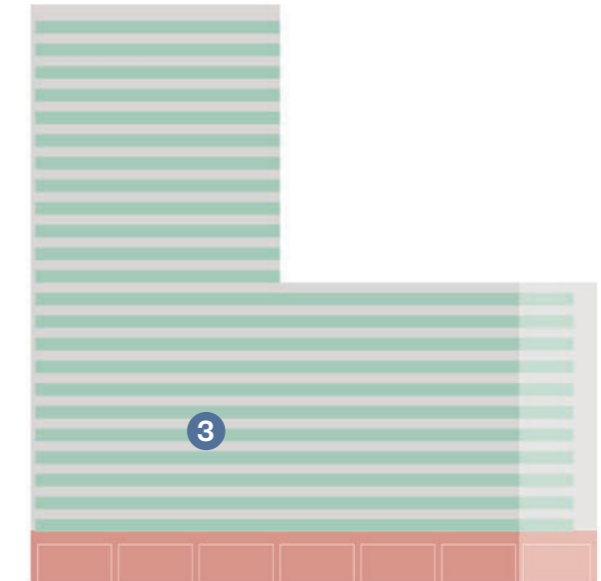


Fig.386 Building C (Enterprise Yard) Facade Principles - O2

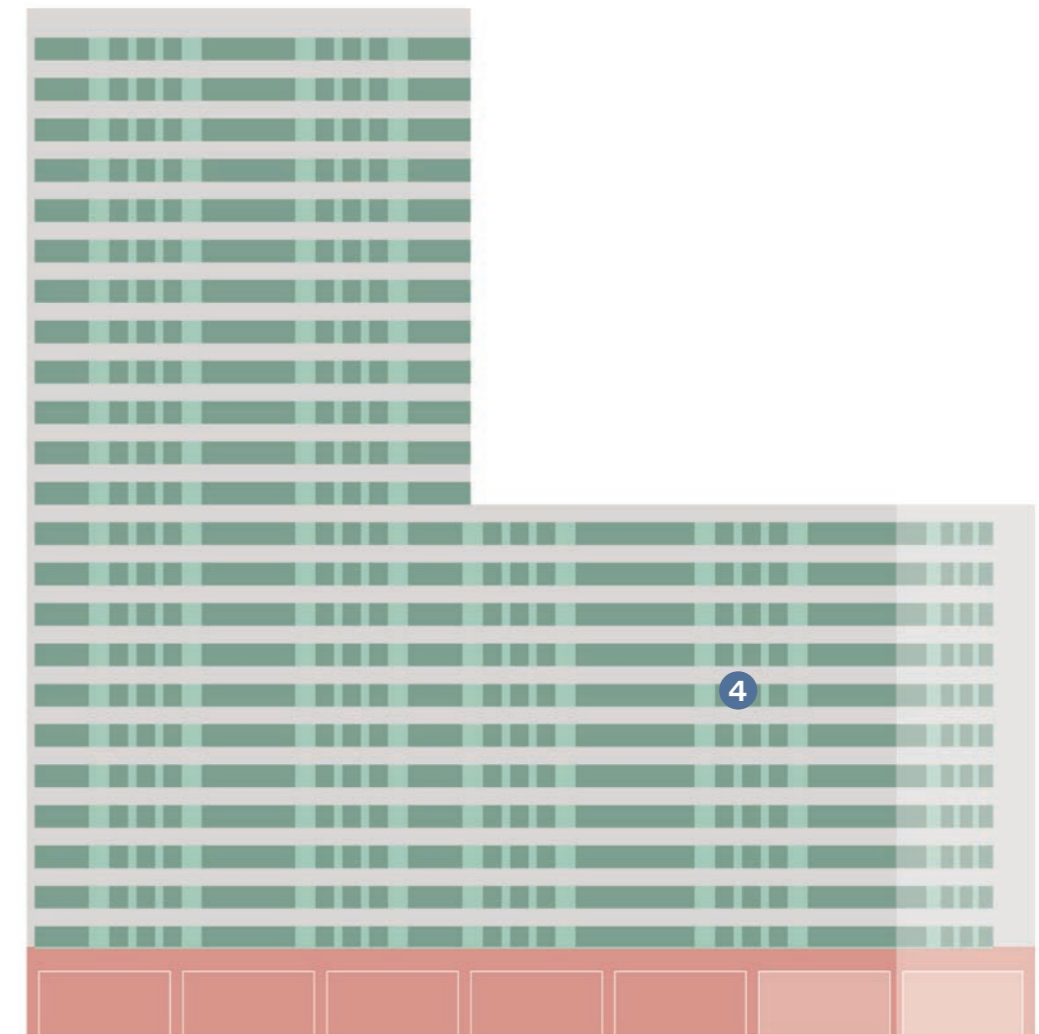


Fig.387 Building C (Enterprise Yard) Facade Principles - O3



# Building E2 and E3

## Illustrative proposals

The appearance description of Building E2 and E3 for the illustrative masterplan, within the Outline Proposals, is set out on pages 188 and 189. The materials, images and text description provided are illustrative only and are provided to show one possible way of fulfilling the requirements of the masterplan's Design Code and Parameter Plans.

Building E is located to the south of the Proposed Development and addresses Enterprise Yard, Community Lane and East West Links and existing Culloden Primary Academy.

The eastern facade facing onto Community Lane is predominantly in brick with a warm grey-brown tone to compliment the brick to be used on Enterprise Yard. The uppermost storey is recessed, reducing the impression of scale on the street.

Window openings are expressed with a recessed window surround in a pale concrete. This detail will be repeated along Community Lane.

At the base of the building, a two storey recess groups the openings of each maisonette together, distinguishing homes of this type from the apartments above and defining each dwelling.

Entrances are recessed and finished in a glazed green brick. This glazed brick detail can form part of the language of Community Lane and distinguishing it from other character areas and threads.

Garden walls are low to facilitate interaction between neighbours and activation of the public realm, encouraging a sense of community and improving safety.

The facade principles and material description above applies to all eastern facade facing onto Community Lane, including Buildings A2, C2 and C3

### Key

- |   |   |
|---|---|
| <b>1</b> Paired recessed entrances in glazed brick            | <b>6</b> Brown-grey brick                           |
| <b>2</b> Anodised aluminium windows in dark bronze            | <b>7</b> Concrete coping                            |
| <b>3</b> Expressed window surround                            | <b>8</b> Recessed upper level, brick to match below |
| <b>4</b> Projecting metal balcony in bronze finish            | <b>9</b> Concrete cill                              |
| <b>5</b> Recessed brick detail expressing maisonette frontage | <b>10</b> Garden wall, brick to match facade        |

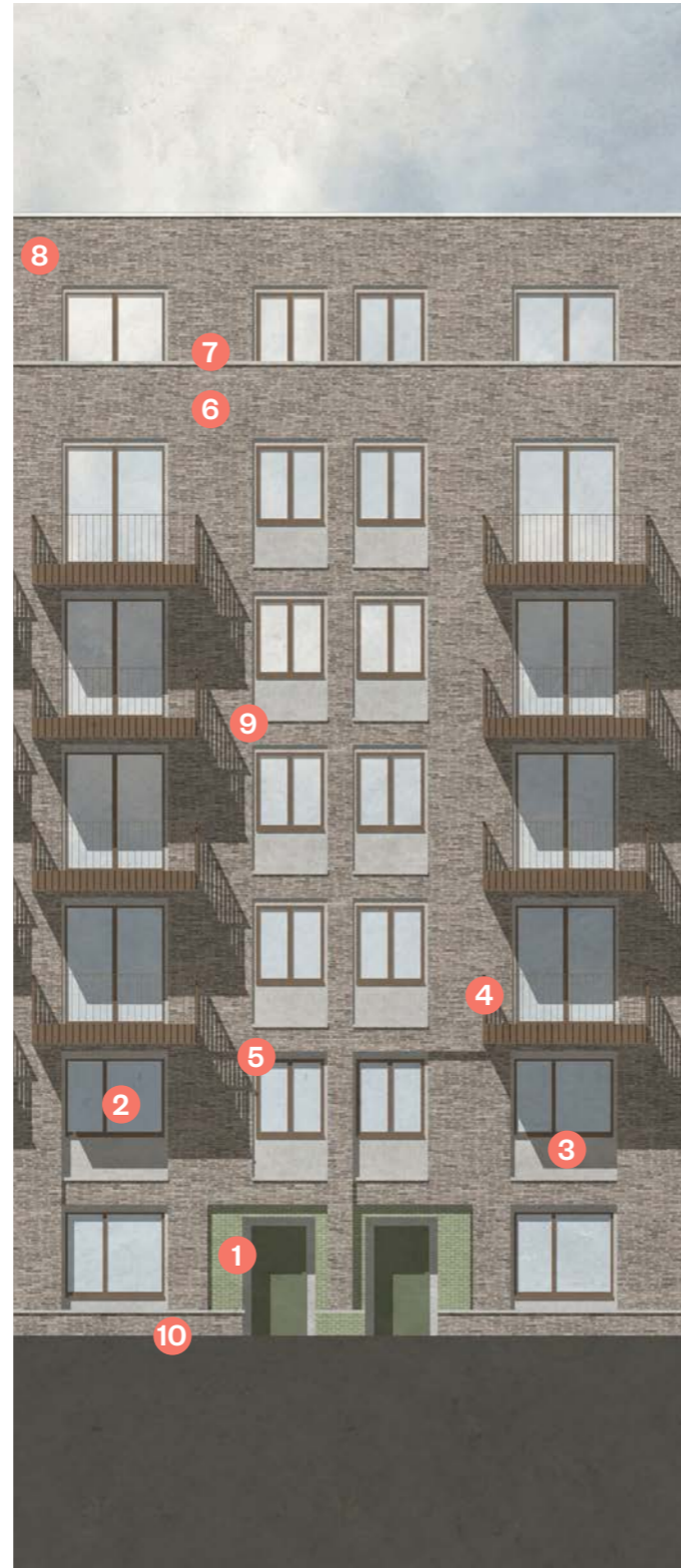


Fig.390 Partial east elevation of Building E (Community Lane)

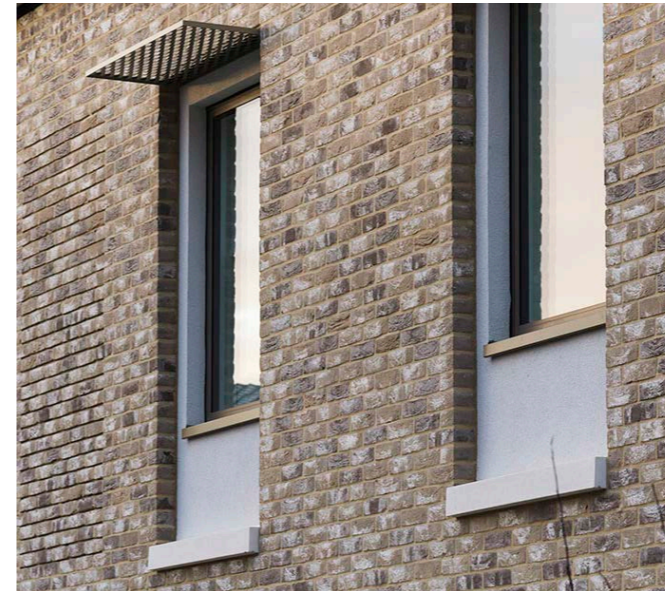


Fig.388 Expression of window surround in contrasting material



Fig.389 Entrances to maisonettes on Community Lane



Fig.391 View of Community Lane looking south



# Building E2 and E3

## Illustrative materials and elevation principles

### Materials

Facade principles and materials on this pages refer predominantly to the Community Lane façades.

The predominant facade material will be brick with window openings expressed with a recessed window surround in a pale contrasting material. Balconies will be open sided and should be in metal with a PPC finish.

Entrances to maisonettes must be expressed and recessed and should be in a material such as glazed brick to emphasise their importance.

### Facade principles

Facade principle 01 - The building form on Community Lane is predominantly horizontal with a 'book-end' at the north and south where Community Lane meets the East West Links. The north end of the building must be taller than the south.

Between the 'book-ends' the uppermost storey of the Community Lane elevation will be set back by a minimum of 2m.

Facade principle 02 - Maisonettes at ground and first floor level will be expressed as individual dwellings. A brick recess framing the openings of each home is an appropriate way to do this. Within these recesses, entrances to homes must be distinguished from other openings.

Facade principle 03 - Window openings should stack to create a sense of regularity and rigour. Punched openings should be expressed as oversized, with the window itself sitting within a larger frame formed by a change in detail or material.

Balconies should express a rhythm running along Community Lane. This rhythm should correspond to the rhythm of the maisonettes below.

#### Key

- 1 Predominately horizontal building
- 2 Taller 'book-end'
- 3 Setback top floor
- 4 Maisonettes expressed on the lower floors
- 5 Stacked window openings
- 6 Balconies responding to rhythm of maisonettes



Further information on Facade Principles and Materials is provided in the **Design Code** prepared by Levitt Bernstein.



Fig.392 Detail used to expressed oversized window opening



Fig.393 Projecting metal balconies



Fig.394 Paired recessed entrances



Fig.395 Glazed brick entrances in distinctive colour

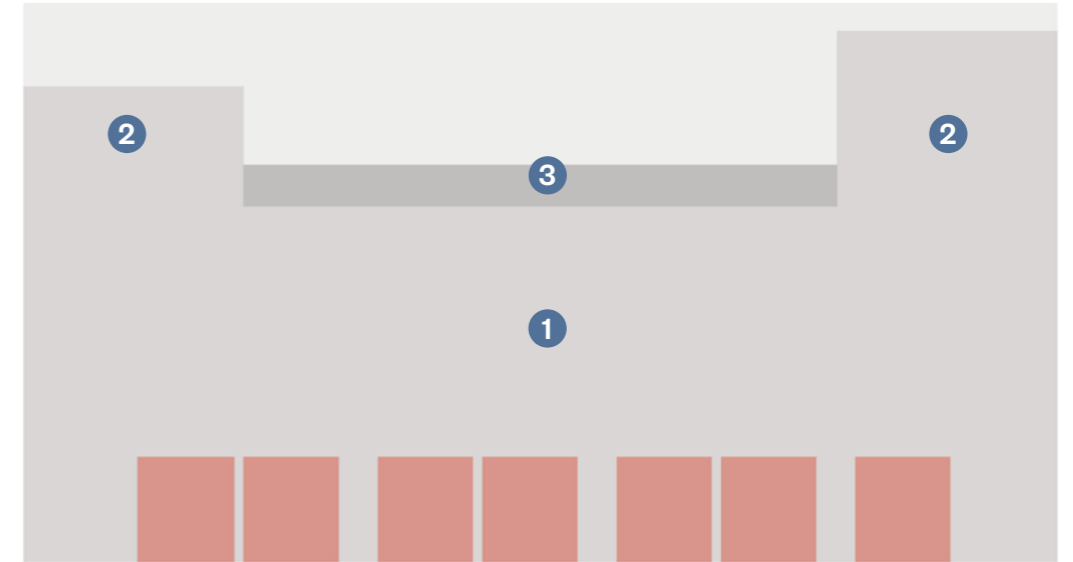


Fig.396 Building E (Community Lane) Facade Principles - 01

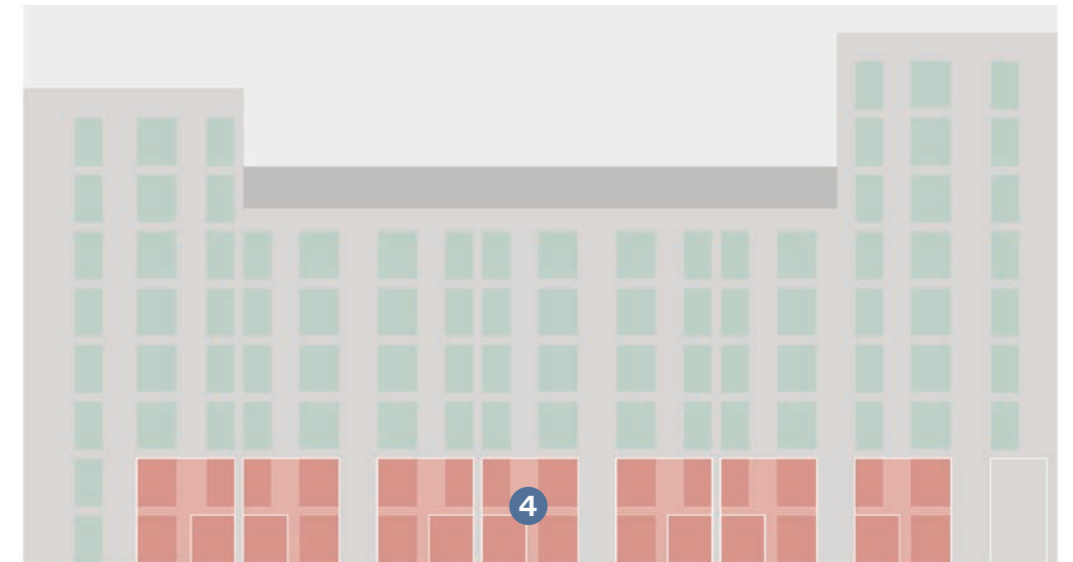


Fig.397 Building E (Community Lane) Facade Principles - 02

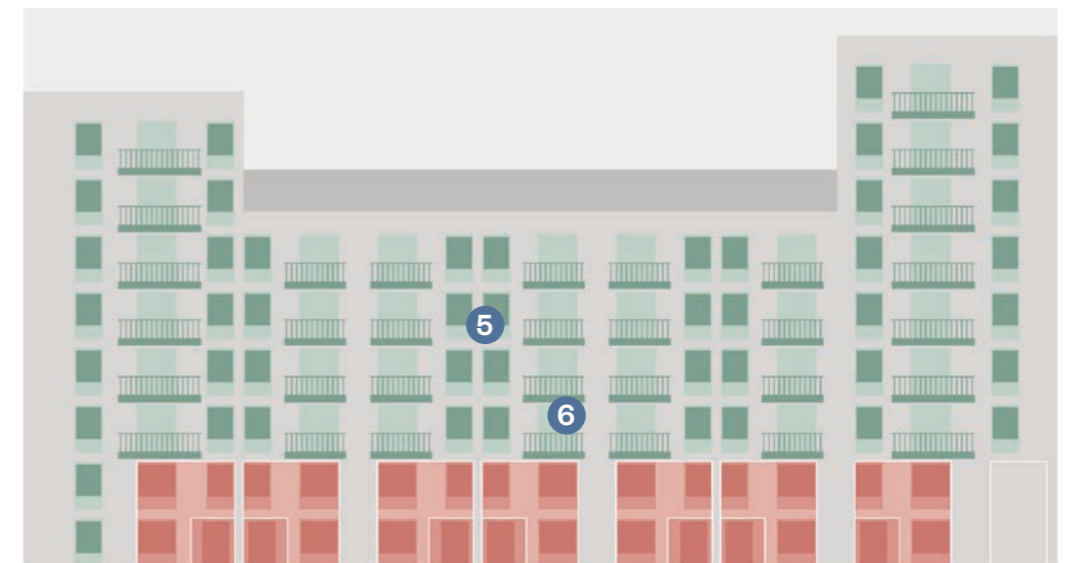


Fig.398 Building E (Community Lane) Facade Principles - 03



# Building D

## Illustrative proposals

The appearance description of Building D for the illustrative masterplan, within the Outline Proposals, is set out on pages 190 and 191. The materials, images and text description provided are illustrative only and are provided to show one possible way of fulfilling the requirements of the masterplan's Design Code and Parameter Plans.

Building D is located on Aberfeldy Street and takes cues from the Phase A buildings to the south, which form the remainder of the High Street character area. It sits at a pivotal moment in the masterplan where the different character areas converge around Highland Place. As such, this building's materials have been selected to carefully compliment the other buildings it will be seen alongside.

The building has a clear base, middle and top with a robust concrete base, a brick middle and a matching brick to the two storey set back top.

The plinth is in a pale concrete with a warm tone and textured surface. A simple diagonal motif is cast into the concrete which responds to, but is distinct from, the motif developed in the buildings at the southern end of the High Street which form part of Phase A.

Residential entrances are articulated by a reduction in scale of opening, achieved through a stepping or cascading of the concrete. This creates a sense of enclosure and alludes to a more domestic scale.

Windows, in anodised aluminium are grouped with concrete bands (paler still than the plinth) at the head and cill expressing a double order. Balconies and windows are paired, establishing a rhythm which repeats along the full width of the east facing facade.

A pale brick is used throughout, with change in orientation and a darker mortar used to group the windows vertically, emphasising the double order.

The upper two storeys are set back. This emphasises the horizontal proportion of the building and reduces the impression of scale, particularly at the north east corner where the building is also chamfered, to enable visual and physical connections between Millennium Green and Highland Place.

### Key

- |  |   |
|--|---|
| 1 Concrete plinth, textured with pale/warm tone                | 6 Metal balconies colour-matched to windows                   |
| 2 Concrete balcony at first floor level integrated with plinth | 7 Pale brick, stretcher bond                                  |
| 3 Recessed entrance with distinct architectural expression     | 8 Pale brick, vertical bond/soldier course with darker mortar |
| 4 Non-residential frontage                                     | 9 Pale concrete banding expressing double order               |
| 5 Anodised aluminium windows in dark bronze                    | 10 Pale concrete coping                                       |

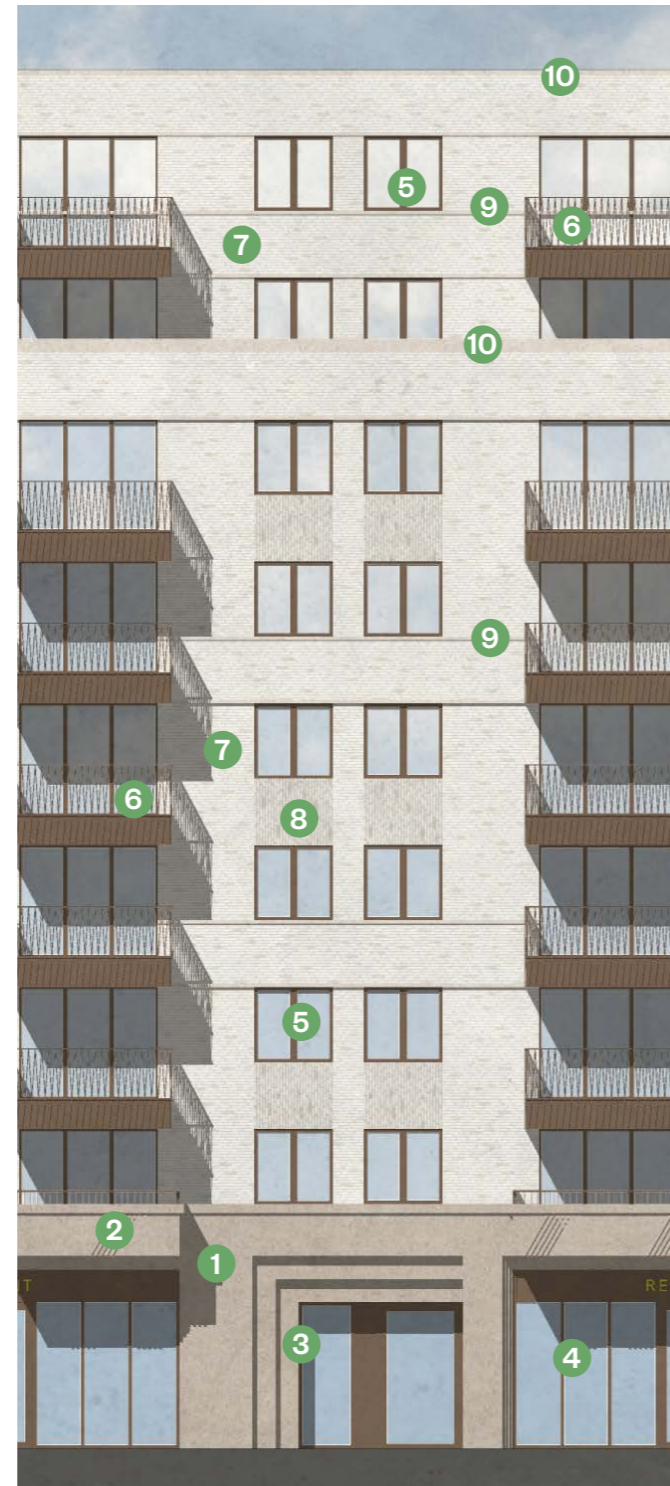


Fig.401 Partial elevation of Building D



Fig.399 Visualisation of the chamfered corner with colonnade emphasising connection between Highland Place and Millennium Green



Fig.400 Visualisation of the chamfered corner with colonnade emphasising connection between Highland Place and Millennium Green



Fig.402 Visualisation of the north east corner of Building D



# Building D

## Illustrative materials and elevation principles

### Materials

Building D will have predominantly brick façades at upper levels. The brick will be a pale light colour to compliment the Phase A buildings, particularly the neighbouring Building F, and act as a backdrop to the vibrancy of the trees and planting within Millennium Green.

The brick facade will be articulated with a variation in brick coursing, arrangement and detailing, with stretcher bond and soldier bond brickwork utilised to emphasis the facade principles.

Windows will be anodised bronze colour with balconies that will be predominantly open sided and will be in a matching PPC finish.

The single storey retail plinth will be a textured pre cast concrete finish with exposed aggregate and cast-in Katha motif as with the buildings in Phase A.

### Facade principles

The primary elevation of Building D is horizontal in proportion and will form a backdrop to Millennium Green.

Facade principle 01 - The building will be formed by three distinct horizontal volumes; the concrete plinth, the six storey middle of the building and the two storey set back brick top.

Facade principle 02 - The main body of the building will express a double order band wrapping from the south-east end of the building along the facade and around the chamfered corner into highland place. The facade should express single order bands at the upper (set-back) levels.

Facade principle 03 - Balconies will be paired to suggest verticality as a counterpoint to the primary horizontal geometry. Openings in the plinth will respond to balcony locations and emphasise the rhythm that they establish.

Facade principle 04 - Within double-order bands, windows will be grouped vertically and be in pairs, closely spaced to establish a rhythm along the facade in dialogue with the balconies. An entrance to the residential accommodation will be recessed into the plinth.

**Key**

- 1 Single storey concrete plinth
- 2 Six storey middle
- 3 Two storey setback
- 4 Double order horizontal band
- 5 Paired stacked balconies
- 6 Windows grouped vertically
- 7 Recessed residential entrance



Fig.403 Pale brick with variation in bond



Fig.404 Perforate metal balconies with PPC finish



Fig.405 Pale concrete base with sculptural residential entrance



Fig.406 Concrete in a warm tone with cast-in motif

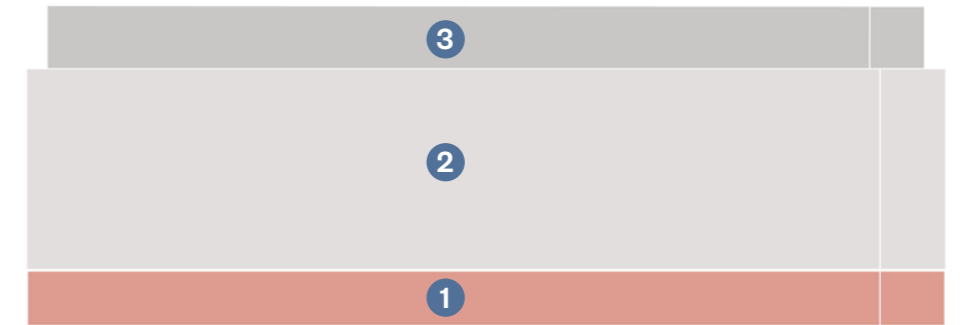


Fig.407 Building D Facade Principles - 01

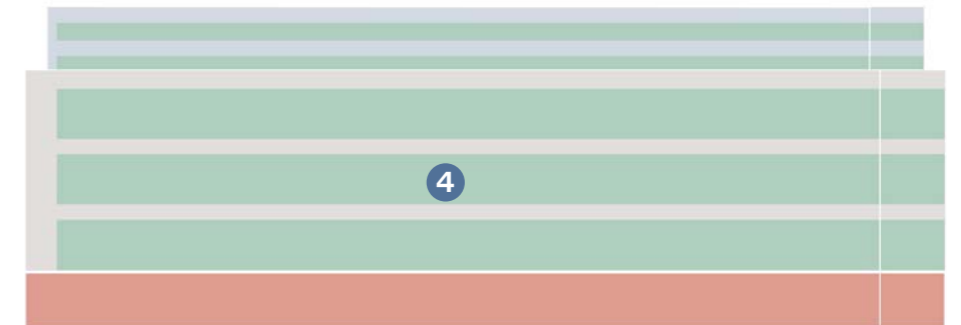


Fig.408 Building D Facade Principles - 02



Fig.409 Building D Facade Principles - 03

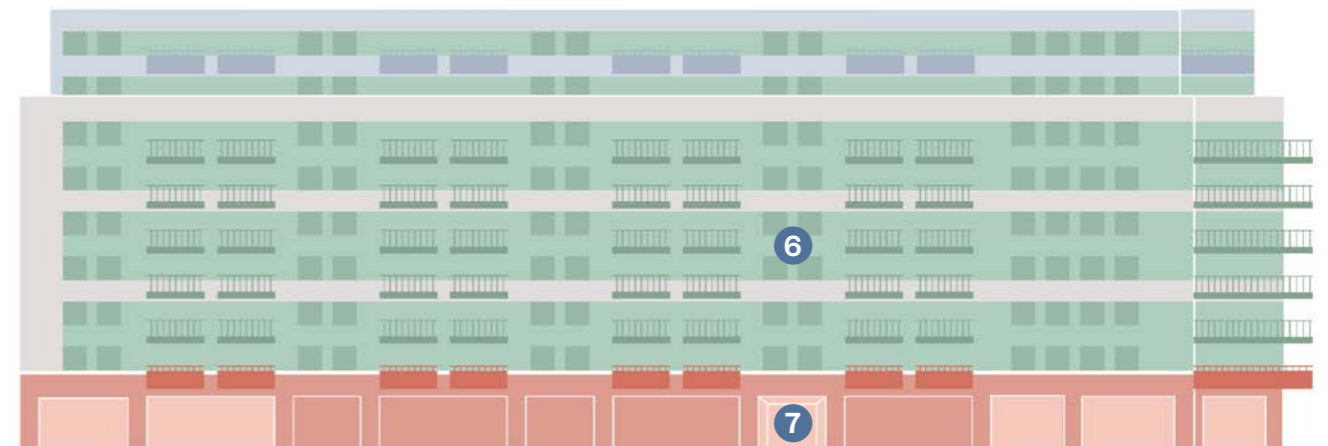


Fig.410 Building D Facade Principles - 04



Further information on Facade Principles and Materials is provided in the **Design Code** prepared by Levitt Bernstein.



# Building A3

## Illustrative proposals

The appearance description of Building A3 for the illustrative masterplan, within the Outline Proposals, is set out on pages 192 and 193. The materials, images and text description provided are illustrative only and are provided to show one possible way of fulfilling the requirements of the masterplan's Design Code and Parameter Plans.

To deliver much needed family homes within the masterplan, there are a number of houses proposed in the Outline Proposals along Community Lane. The houses on this page are located on Community Lane north, they are wide frontage and shallow and face a generous new public realm space.

The roof form is articulated to distinguish these homes from the other buildings on Community Lane, which are of a significantly larger scale. The building typology and design brings a sense of domesticity to this area.

The facade is in a pale brick with a warm tone. This will compliment the material palette of the facing buildings to the west.

Window openings are expressed with a recessed window surround in a pale concrete. This references the materials envisaged in the apartment buildings opposite, but here the detail and scale is more domestic.

Private amenity space is provided at roof level and the configuration of the buildings ensures that residents have sufficient privacy when using these terraces.

Metalwork and windows are coloured in a sage green to compliment the pale brick. This reinforces the identity of these homes as distinct from the apartment buildings.

Recessed entrances are celebrated with a green glazed brick to emphasise their importance and to compliment the metalwork colour palette.

Walls between the front curtilage and the public realm are low to overlook and encourage activation of the public realm and engender a sense of community and neighbourliness within this family focussed quarter of the masterplan.

### Key

- |   |   |
|---|---|
| 1 Pale brick with warm tone                 | 5 Low garden wall in brick                                    |
| 2 Window surround in pale concrete          | 6 Terrace amenity (steel balustrade in sage green PPC finish) |
| 3 Aluminium window in sage green PPC finish | 7 Pale concrete coping  |
| 4 Recessed entrance in green glazed brick   |   |



Fig.411 Illustration of Community Lane North looking north



Fig.412 Partial east elevation of terraced houses on Community Lane North



Fig.413 Illustration of roof profiles repeating along the street



Fig.414 Illustration of paired entrances emphasised using material change



# Building A3

## Illustrative materials and elevation principles

### Materials

The houses within the Outline Development will predominately be built of high quality brick, with the colour varying depending on the location within the Proposed Development.

The houses along Community Lane will use a pale light brick for the majority of the facade with a concrete coping detail to the parapet. Glazed brick will be used to express the entrances and concrete reveals will be used to articulate the windows.

Windows will be aluminium with a PPC sage green colour finish. All other metal work will match the finish and colour of the windows.

### Facade principles

Facade principle 01 - The houses on Community Lane North will use an articulated roof-line repeated along the street. This roof profile is be used to provide residential amenity space at the upper level. Individual entrances will be expressed and relate to the public realm and building curtilage.

Facade principle 02 - Curtilage walls on Community Lane will be low to encourage activation of the public realm and to facilitate interactions between neighbours. Oversized window openings will be expressed through details such as brick banding, or through a change in material or plane.

Facade principle 03 - Windows openings within these surrounds will not be full height in order to ensure privacy for residents. Windows and other metalwork should have a different colour to those of the apartment buildings and maisonettes in this quarter, to create a subtle variety within the character area.

#### Key

- 1 Articulated roof line
- 2 Individual entrances expressed
- 3 Oversized openings
- 4 Coloured windows and metal work

Further information on Facade Principles and Materials is provided in the **Design Code** prepared by Levitt Bernstein.



Fig.415 Pale brick with variation in bond



Fig.416 Window surround expression



Fig.417 Glazed brick entrances



Fig.418 Variation in roof form and use of colour metalwork to match window frame palette

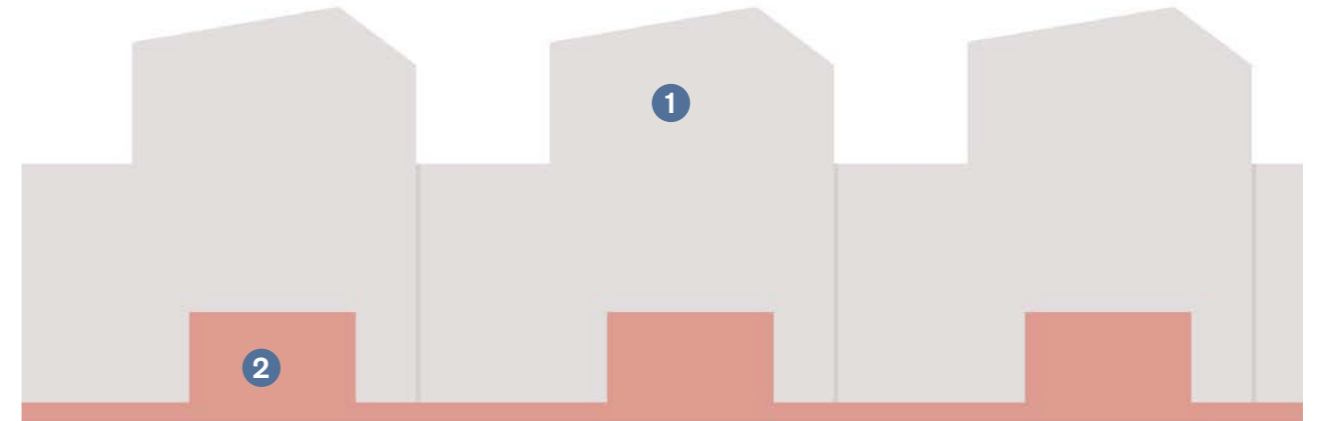


Fig.419 Terraced houses, design principles - 01

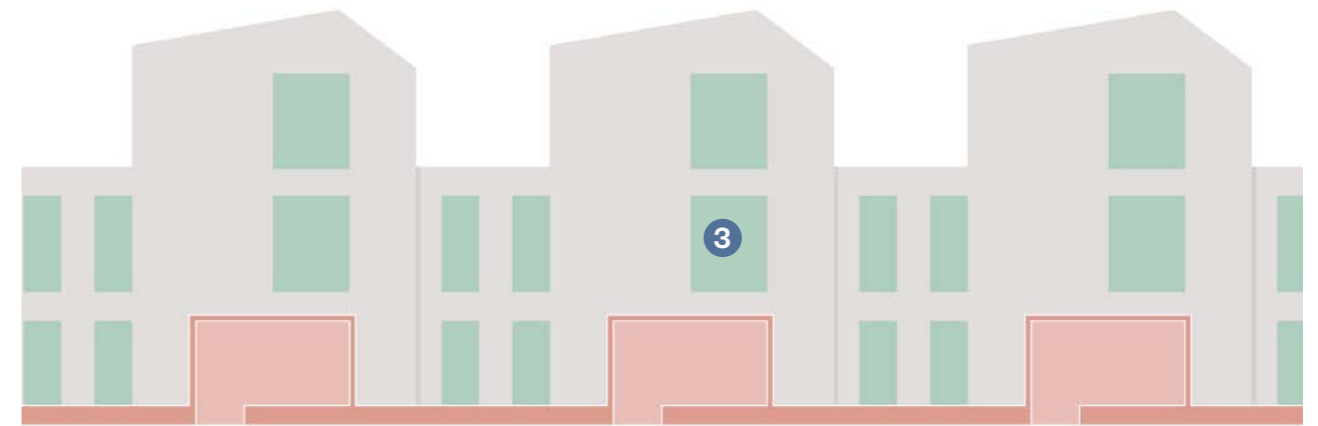


Fig.420 Terraced houses, design principles - 02



Fig.421 Terraced houses, design principles - 03



# Building B5

## Illustrative proposals

The appearance description of Building B5 for the illustrative masterplan, within the Outline Proposals, is set out on pages 199 and 200. The materials, images and text description provided are illustrative only and are provided to show one possible way of fulfilling the requirements of the masterplan's Design Code and Parameter Plans.

The new Poplar Works buildings which sit between the A12 and Enterprise Yard are distinct in type from any other buildings in the masterplan. They respond to the language established by the existing Poplar Works building at the north of the site, incorporating and developing elements of its form and colour palette.

There are three buildings of this type, which will follow the same principles but will express themselves slightly differently as they respond to different public realm conditions. These buildings are linear and are grounded in a strong, simple, public facing base. In contrast, the upper storey is playful and less regular, incorporating a more expressive roof form, signage and windows.

The base of the building is in pale concrete to match the non-residential plinth opposite. Regular openings frame workspace frontages which incorporate a version of the pleated concrete detail used in the columns elsewhere on Enterprise Yard.

Large single-pane glazed openings provide views into the workspaces and help to activate the street. Doors incorporate clerestory windows at high level with unit numbers in bronze metal. These frontages are conceived as a unifying framework to which tenants can apply their own identity to applied graphics and window displays.

The cladding at the upper level is a dark corrugated metal which lend the building a strong industrial aesthetic. The upper storey incorporates a saw-tooth roof, emphasising the industrial appearance of the building.

Windows of square proportion punch through the metal cladding. They have a deep reveal and a projecting surround and are coloured to match the windows below.

Large scale illuminated signage reading 'POPLAR WORKS' overlooks Highland Space and creates a very strong sense of identity. Behind this, a terrace can be used for events, helping to activate the public realm.

### Key

- |  |   |
|--|---|
| 1 Concrete base with pleated detail                    | 5 Window with projecting surround in anodised metal |
| 2 Large glazed frontage with bronze kick plate to base | 6 Saw-tooth roof form                               |
| 3 Metal unit number above door                         | 7 Large illuminated 'Poplar Works' signage          |
| 4 Dark corrugated metal cladding to upper level        |   |



Fig.422 View through the Underbridge from Highland Place



Fig.423 Partial Elevation of building B5 (Enterprise Yard)



# Building B5

## Illustrative materials and elevation principles

### Materials

The primary facade of these buildings will be to Enterprise Yard. The facade to the A12 (the west) should be seen as a secondary facade, with openings for admitting light rather than framing views.

The base of the building is in pale concrete to match the non-residential plinth opposite. Regular openings frame workspace frontages which incorporate a version of the pleated concrete detail used in the columns elsewhere on Enterprise Yard.

The cladding at the upper level is a dark corrugated metal which lend the building a strong industrial aesthetic. The upper storey incorporates a saw-tooth roof, emphasising the industrial appearance of the building.

### Facade principles

Facade Principle 01 - This building is long, low and linear. It will screen as much of the A12 from view as possible, both for pedestrians on Enterprise Yard and for residents west-facing homes.

Facade Principle 02 - Changes in height will be used as a counterpoint to the linearity of the building. This building should step up at the north and south and incorporate roof forms which provide interest and variety along the street. The base of the building must be in concrete and incorporate details common the rest of Enterprise Yard.

Facade Principle 03 - Openings in the plinth should frame small scale maker spaces. The language of these façades should borrow for traditional frontages of these types (a mix of small scale manufacturing and sales) such as tailors' shops. Large glazed openings are appropriate here, as are kick plates at lower levels.

**Key**

- 1 Long linear building
- 2 Changes in height
- 3 Entrances to small marker spaces
- 4 Large glazed openings with kick plates

Further information on Facade Principles and Materials is provided in the **Design Code** prepared by Levitt Bernstein.



Fig.424 Corrugated-perforated metal cladding



Fig.425 Contrasting building top with playful roof form

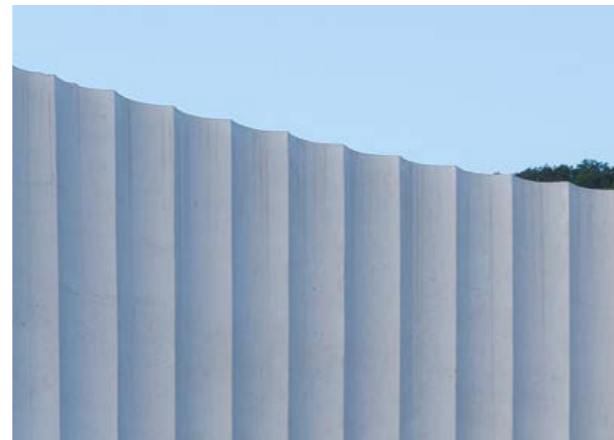


Fig.426 Pale concrete with pleated design



Fig.427 Concrete base with industrial aesthetic

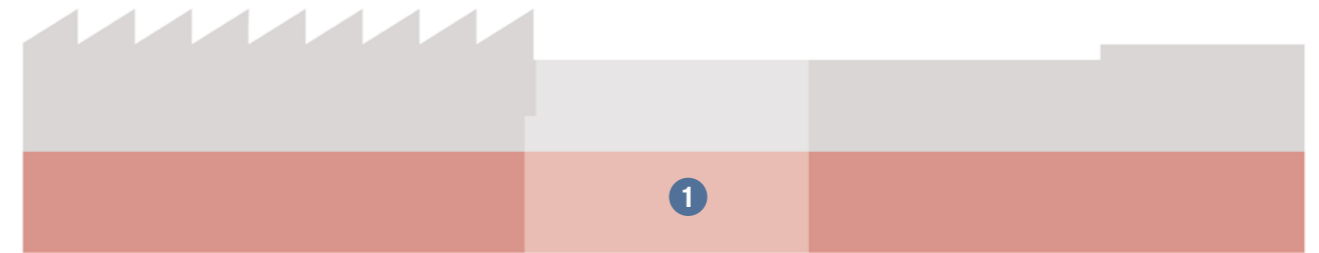


Fig.428 Building B5, design principles - 01

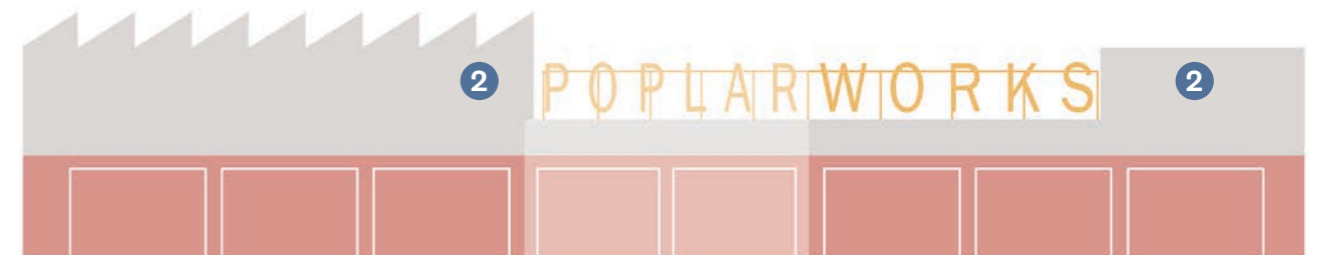


Fig.429 Building B5, design principles - 02



Fig.430 Building B5, design principles - 03



**7**

**PUBLIC REALM**





7.1

MASTERPLAN STRATEGIES



## Layout

### Illustrative masterplan

- 1 Lochnagar Street
- 2 Allotments
- 3 Enterprise Yard
- 4 Community Lane (North)
- 5 Slip Road
- 6 Works Square
- 7 Nairn Square
- 8 Repurposed underbridge
- 9 Jolly's Green
- 10 Highland Place
- 11 Healthy Street / Abbott Road
- 12 Community Lane (South)
- 13 Millennium Green
- 14 Ettrick Street
- 15 Leven Road Open Space
- 16 Culloden Green
- 17 Town Square
- 18 Dee Street underpass
- 19 Dee Street
- 20 School Square
- 21 Kirkmichael Road
- 22 High Street
- 23 Lansbury Gardens
- 24 Braithwaite Park



Fig.431 Illustrative Masterplan



# Landscape strategy

## Masterplan

**The Aberfeldy New Village LLP and the team are designing the masterplan and public realm with a holistic, whole-place approach to strengthen community and create healthier and happier places.**



Further detailed information can be found in the **Design and Access Statement: Detailed Proposals**, prepared by Morris + Company which supports this application.

### Understanding the bigger picture

Our response to London's fast changing nature and issues, such as: climate breakdown; increased challenges around loneliness; toxic air threatening life expectancies of children today, must be powerful, imaginative and effective.

The environment is an important part of the solution and London aims to be a carbon-free and zero waste city by 2050. Quiet, tranquil spaces and active travel have been pushed to the top of the agenda. Green and blue infrastructure - the parks, trees, gardens and water bodies - have become much more than a 'nice to have': they are the key building blocks of place, and fundamental to the quality of life for those who live there. Safe and easy walking and cycling connections between these new and existing green and blue assets have become vital to people's everyday lives, for both physical and mental well-being.

### The power of the landscape

The Proposed Development recognises that much of what will be special about Aberfeldy is the spaces and life between buildings. This is where the community - existing and new - can spend time together, something that in recent times has become even more precious. It will also be what makes the place successful, healthy and safe.

Landscape makes a place memorable and loved because of the shared open spaces and experiences that can happen there. Landscape prioritises and enlivens community, where everyone is welcome. In the new Aberfeldy Village Masterplan, these spaces will be what it's residents are proud to call home, enjoying all that it has to offer, including well-managed parks and open spaces.

In Old English, the word 'land' means home territory; 'scape' comes from 'scapan' meaning to create. Together they describe the process of making a place where people belong. This makes landscape the ultimate unifier. It will stitch Aberfeldy together through its threads to create a fairer, livelier place: connecting old communities with new, protecting and enhancing contact with nature, improving biodiversity, and building in greater climate resilience to create a truly special place.

### Landscape strategy

The following chapter describes the core landscape principles, the overarching strategies behind the illustrative landscape masterplan and the key moves behind each of the character areas in more detail.

Three overarching and important principles inform every decision that is made, and will be expanded on further over the course of the next pages:

#### 1 COMMUNITY

The public realm is for everyone who lives in Aberfeldy, and facilitates an invitation to communal engagement. Importantly, in this exemplar London scheme, the strategy places children at the very heart of the illustrative masterplan design process. Design that places children first - and embraces the four principles of child-centred design - results in placemaking that can be enjoyed and accessed by everyone within the community.

#### 2 CONNECTIVITY

It is the pedestrian and cycle connectivity of public space that allows its functional and leisure use, so that all spaces can be easily and safely accessed. At Aberfeldy, children are placed at the top of the user hierarchy. Designing connectivity that embraces independence for children is key to their happiness, safety, and development, and every opportunity has been taken to listen to their needs and bake this in to the proposals.

#### 3 NATURE

Increasingly we are understanding the importance of access to nature, and its role - both short- and long-term, in our lives. Research shows nature has an undeniably positive impact on our physical health and well-being. For this reason, nature is woven throughout the public spaces of the new Aberfeldy Village Masterplan.

These three overarching principles are delivered authentically to Aberfeldy through the following influences:

##### A PEOPLE

A range of people and cultural backgrounds influence what Aberfeldy represents today, and what it will look like in years to come. Now called home by a BAME population of nearly two thirds, and many from a Bangladeshi background, it is essential that these voices are heard and represented through consultation and the outputs of the illustrative masterplan.

##### B HISTORY

Aberfeldy and the ward of Poplar are both rich in local history layered over time. Like much of east London, the area originally flourished through trade and a close proximity to the docks, which informs an industrial aesthetic adopted within the illustrative masterplan. More latterly the history of immigration has become important.

##### C TOWNSCAPE DIALECT

The townscape dialect is shaped by many layers of development: Victorian dockers houses, industry, Festival of Britain buildings, trees, the 60s Balfron Tower and more recently the influence of the new community in the Kantha meanwhile intervention on the buildings in Aberfeldy Street.



# Design principles

## 'Love to Live - a place to belong'



Fig.432 Design principles

### A place to socialise, play and learn

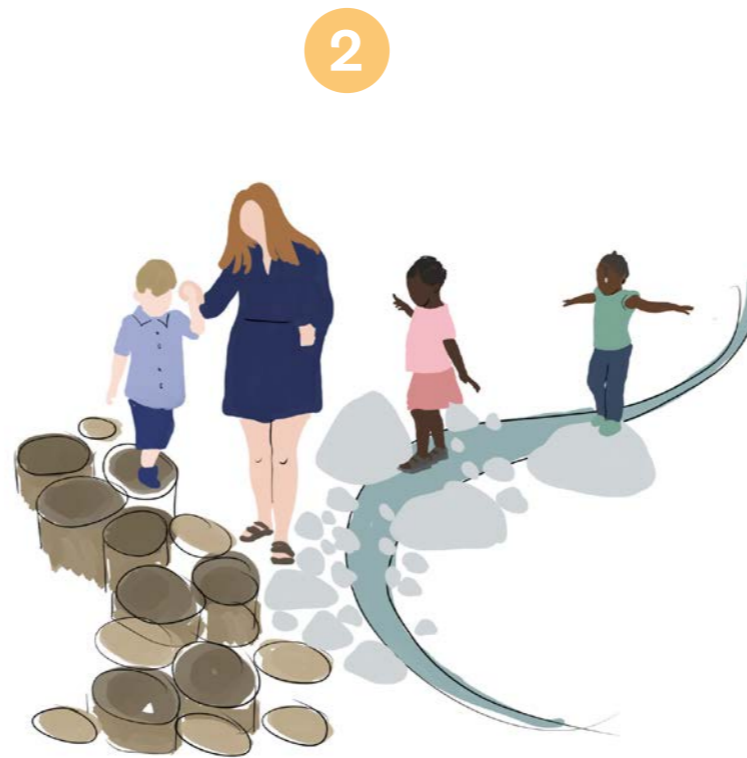
Community and local business is supported:

#### Passively

- Safe places designed to encourage dwelling and chance encounters.

#### Actively

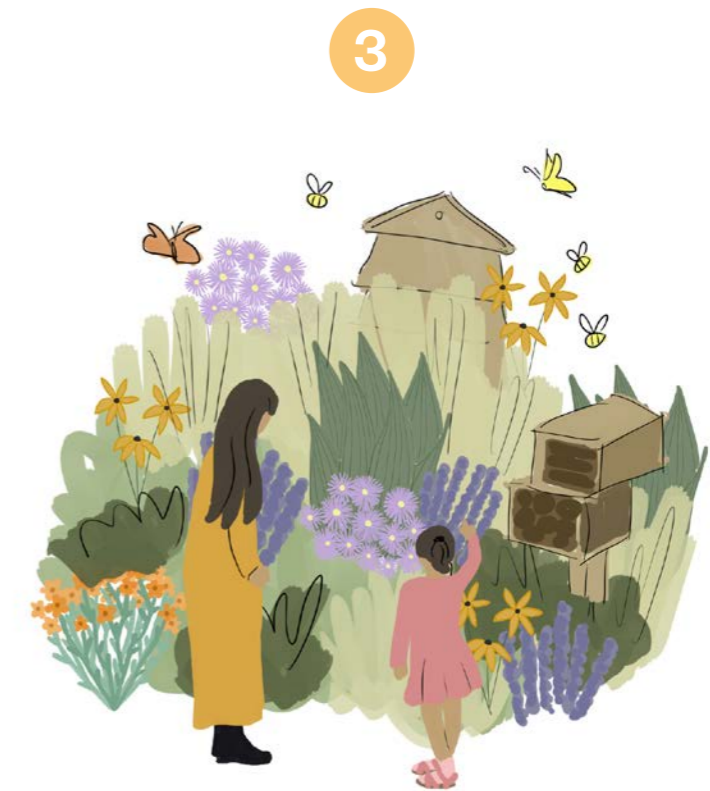
- Planning for active uses, exercise and events where children can be independently mobile;
- Central principles of child centred design:
  - Car free;
  - Connections;
  - Access;
  - Overlooking.



### A connected place

Easy and safe active travel enables the community to function and be connected to the wider area:

- Children, Pedestrians and Cyclists prioritised;
- Connect across infrastructure (A12, River Lea) to adjacent communities;
- Connect within the masterplan = coherent walkable neighbourhood;
- Encourage active lifestyles.



### A place for nature

Contact with nature should be woven into people's daily experience:

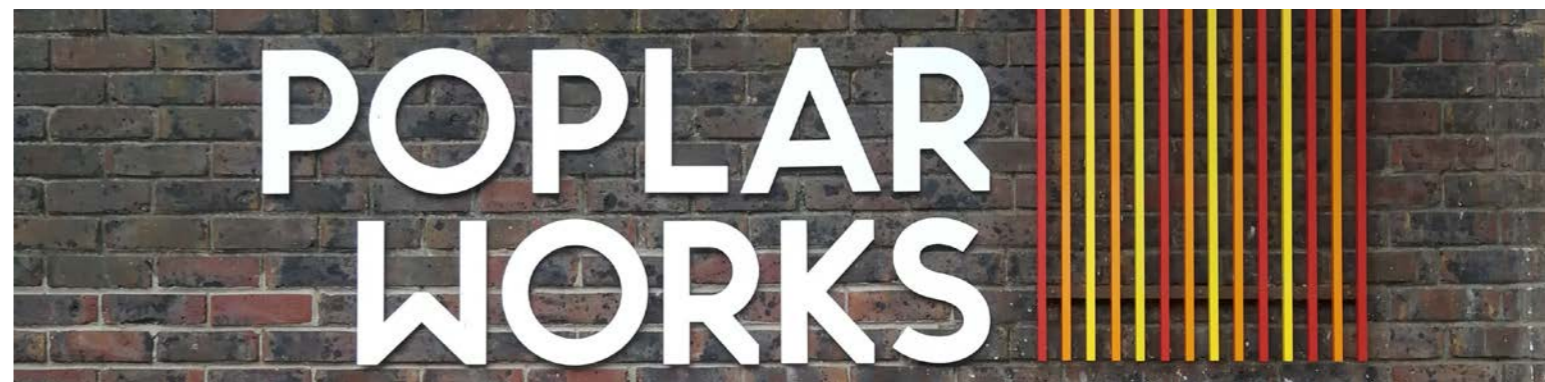
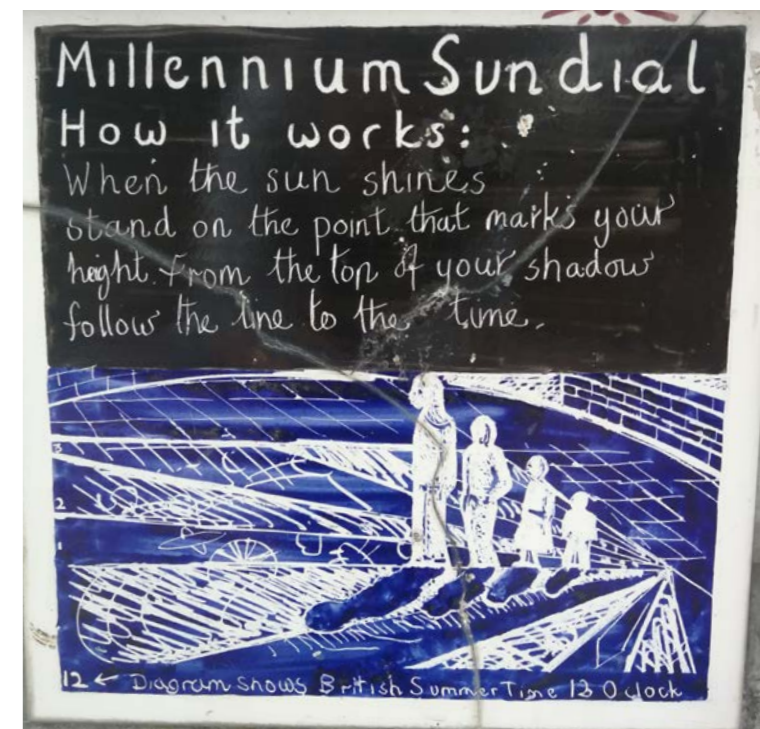
- "Address the threatened quality of life for people brought about by the fast evolution of the modern city and the substantial, rapid urbanisation of world population";
- Reconnecting people with natural systems enhances health and well-being;
- Creates natural capital, responds to the climate emergency.







Fig.434 A collection of photographs showing the existing Site





# Strategy

## First life, then spaces

### Life of the character areas

The character area themes weave through the illustrative masterplan influencing the character of the spaces which they touch. Our approach to each of these character areas holds life and activity at its core - the consideration of what can happen in these spaces and what it will feel like.

The threads of the illustrative masterplan weave through the Site, punctuated by lively episodes such as the Town Square where a Saturday market or performance could be held, and Culloden Green for a neighbours street party. These episodes will be designed to accommodate the flexibility that life and enlivenment needs.

### High Street

Aberfeldy Street continues to act as the important commercial centre of the community both for new and existing residents. It includes the Town Square, which can host events and market days, and runs parallel to Kirkmichael Road and School Square - designed as a car free school street with dedicated and playable features - before connecting through to Aberfeldy Square and the wider illustrative masterplan to the south.

### Healthy Street

Abbott Road is the primary vehicular route through the Site and it is also a primary green space connector, designed for pedestrian and cyclist enjoyment with wide pavements and avenue tree planting. It is designed to be embraced as a favoured pedestrian route, with options for seating, exercise and play along its length.

### Community Lane

Designed exclusively with pedestrians and cyclists in mind, and providing an opportunity for pockets of soft landscape, social spaces and play on the way to be established along its length. It includes Nairn Square, one of a series of smaller scale local squares, woven into the residential and workplace streets, and Culloden Green. Each node acts as a place for the community to gather, play, pause, and create memories, and is of a more intimate scale than the connecting streets.

### Enterprise Yard

A secondary street primarily for residents and Poplar Works, Enterprise Yard runs alongside the busy A12 but importantly is buffered with robust native corridor tree and shrub planting. Both Works Square and the improved connection to the Balfour Underpass benefit from substantial greening, and are designed to have their own unique character, whilst maintaining a strong sense of place and position within the illustrative masterplan.

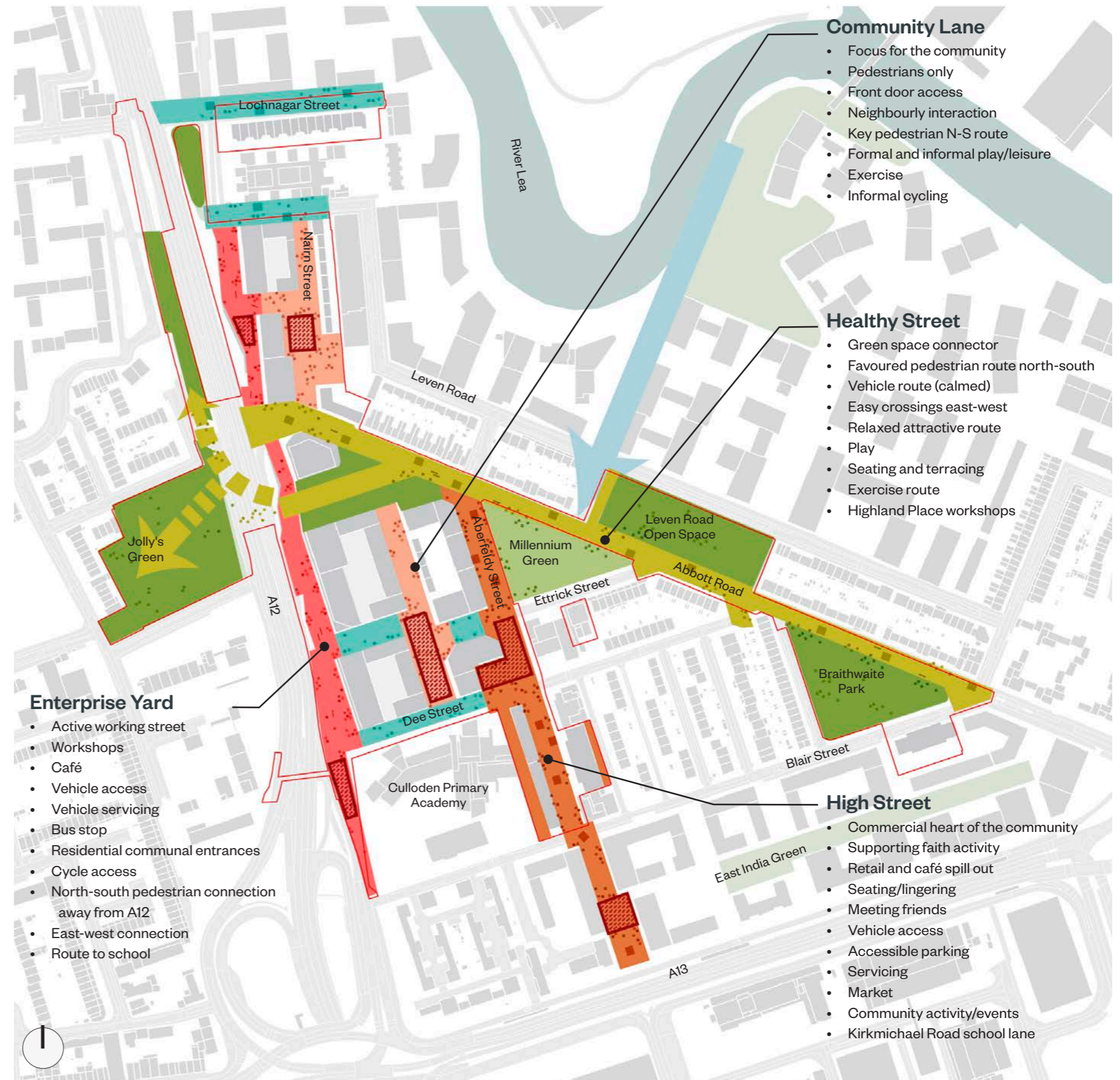


Fig.435 Life of the Character Areas diagram



# Strategy

## First life, then spaces

### Life of the green spaces

Each of the illustrative masterplan threads have their own unique characters which are informed by their uses, much the same as the green spaces that they connect. It is important that these green spaces provide a level of diversity, whilst also providing for the needs of their immediate neighbours.

### Highland Place, Jolly's Green and Slip Road

Highland Place is a new piece of public realm which embraces the character of a local park and provides direct and safe access to the wider neighbourhood to the west of the A12, including the Teviot Estate and Chrisp Street, via the underbridge, Jolly's Green and the Slip Road. It connects to Millennium Green and all the threads of the illustrative masterplan, creating a social focus for the area.

Jolly's Green enhancements will substantially improve its connectivity, with a new segregated footpath/cycle way connecting to the underbridge, and offer a new community vision for the space. It is currently an isolated flat area of grass with some play facilities and mature tree planting, and will benefit from substantial improvements, including new play, gym and fitness; social terraces; tree planting and wildflower meadows; new surfacing and furniture. This vision would be developed through engagement with the immediate community.

### Allotments and Plot J

To the north of the Site, allotments and pockets of play space will be activated on the doorstep of Plot J residents and users of Poplar Works, offering a unique and naturalistic community-led experience for all residents whilst contributing to the wider green spaces network.

### Improved existing open spaces

Braithwaite Park, Leven Road Open Space (Phase A) and Millennium Green (improvement works are envisaged to be secured by planning obligation) are each to benefit from substantial improvements, including new play, gym and fitness; tree planting and wildflower meadows; new surfacing and furniture, all in direct response to community consultation.

### Other green spaces

To the south, East India Green successfully emerged as part of the previously approved Aberfeldy Village Masterplan, and is now a much-enjoyed East-west link, with access to Braithwaite Park and its new proposed play area. To the north, consented scheme Poplar Riverside will contribute a large public Park, with further play, seating, fitness, and social opportunities as well as sizeable ecological improvements.

Please note, enhancement works for these spaces do not form a part of the Proposed Development, and they have been included for context only.



Fig.436 Life of the green spaces diagram

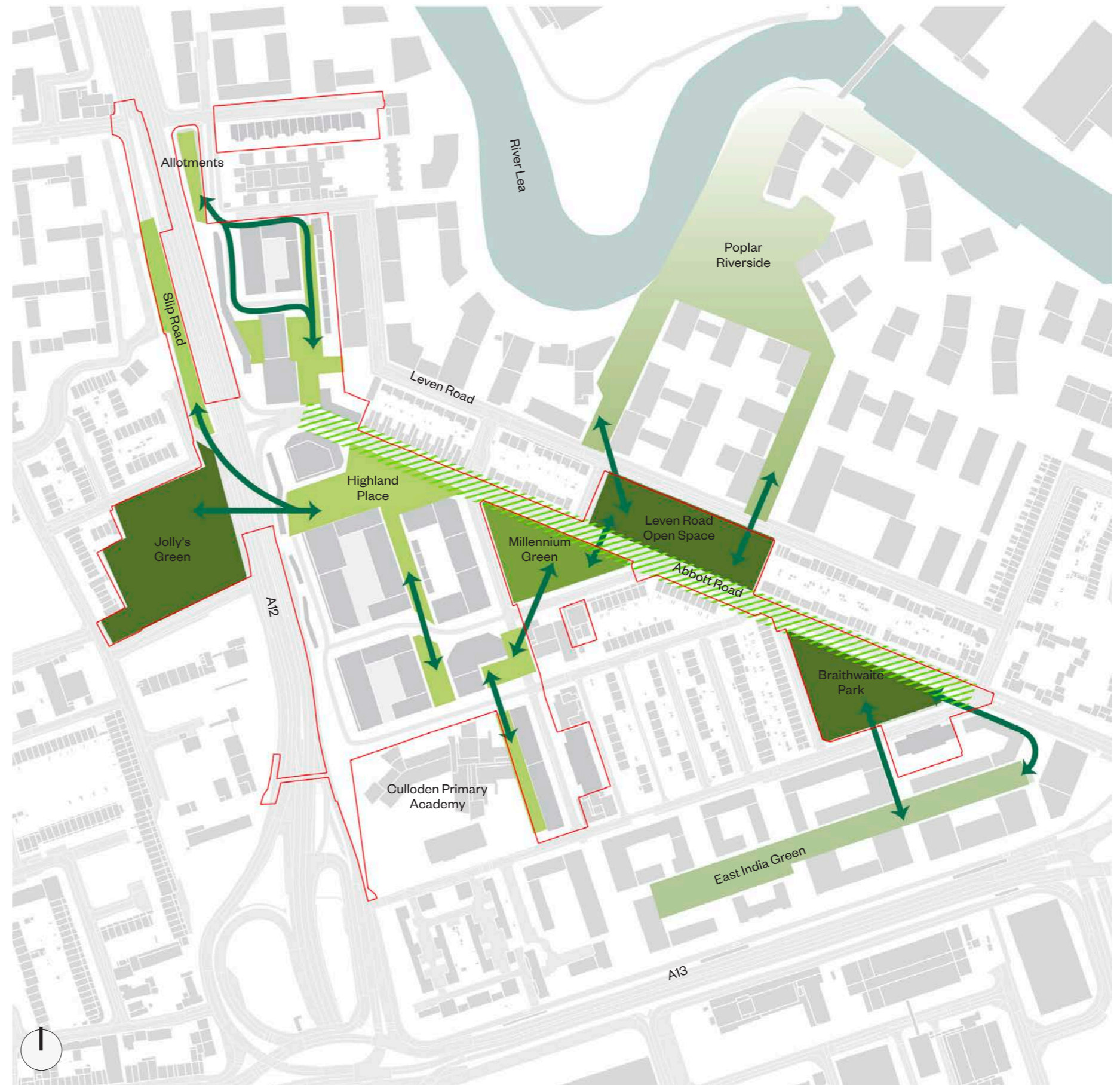


## Strategy

### Connecting green spaces

Each green space is designed to embrace its own distinct character whilst working equally hard to contribute to one overall holistic network of green space across the masterplan.

With regard to Braithwaite Park, Leven Road Open Space and Millennium Green, Aberfeldy Big Local have taken and continue to undertake consultation with residents which is shaping and will inform both the uses and design.



- Site Boundary
- New green space
- Existing green spaces improvements (application boundary)
- Existing green spaces improvements (Section 106)
- Green space context
- ▨ Park Connector
- Key green connections

Fig.437 Connecting Greenspaces diagram



# Strategy

## Sunny streets

The illustrative masterplan layout takes full advantage of the sunlight through the creation of North-South routes through the neighbourhood. This maximises the sunlight in to these spaces during the middle of the day. Aberfeldy Street and Nairn Street / Community Lane get greater morning sunlight, whilst Enterprise Yard particularly catches the afternoon and evening sun. This helps to encourage the notion of a comfortable, walkable neighbourhood. The East-West connections will still benefit from the afternoon sun.

Specific areas, such as the existing green spaces of Braithwaite Park, Leven Road Open Space, Millennium Green and Jolly's Green, will be the best lit areas, where it will be possible to enjoy direct sunlight for most of the day throughout the year.

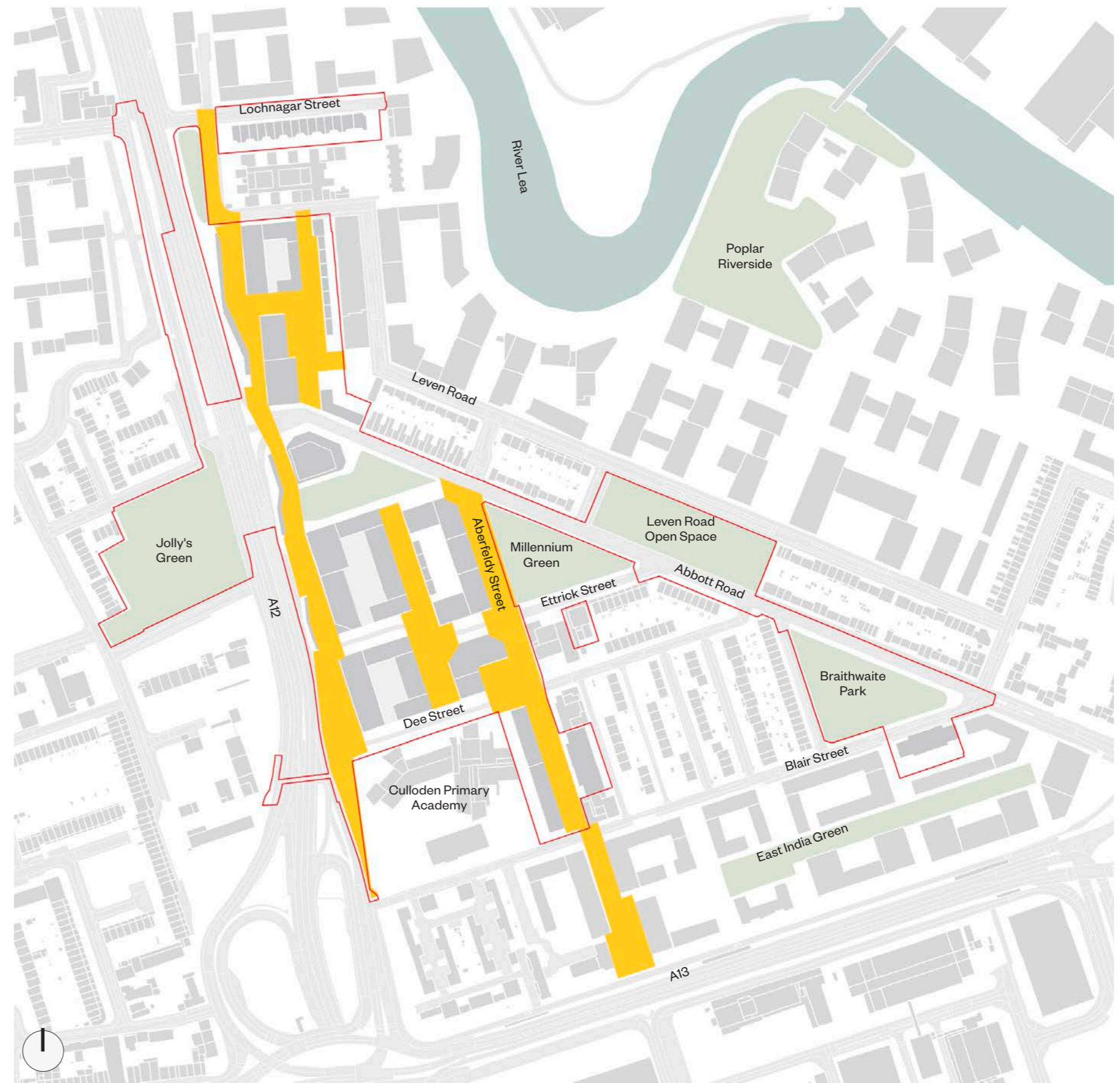


Fig.438 Sunny Streets diagram

- Site Boundary
- Sunny Street



# Strategy

## Activity circuits

### A Layered Approach

Building on the safe play loops of the child friendly neighbourhood we have created a layered movement strategy for all ages and abilities, which requires the understanding of possible daily movement loops.

Here we have suggested potential playable, walking and fitness routes which can be used by the proposed and existing communities to explore the neighbourhood.

Play loops, Walking loops and Fitness loops are stitched in to the illustrative masterplan to respond to and inform daily movement.

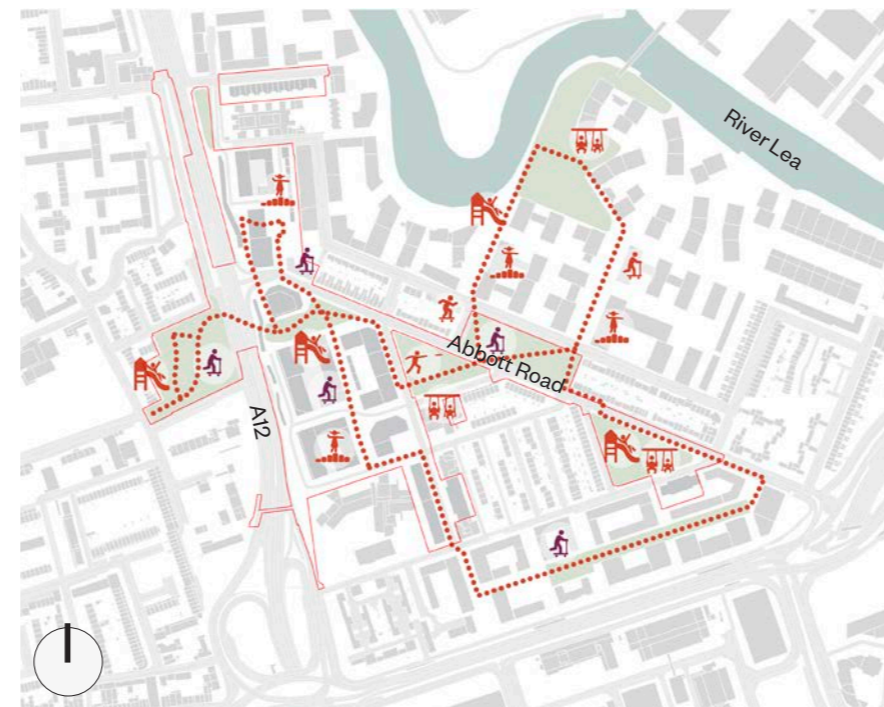


Fig.439 Play Loops

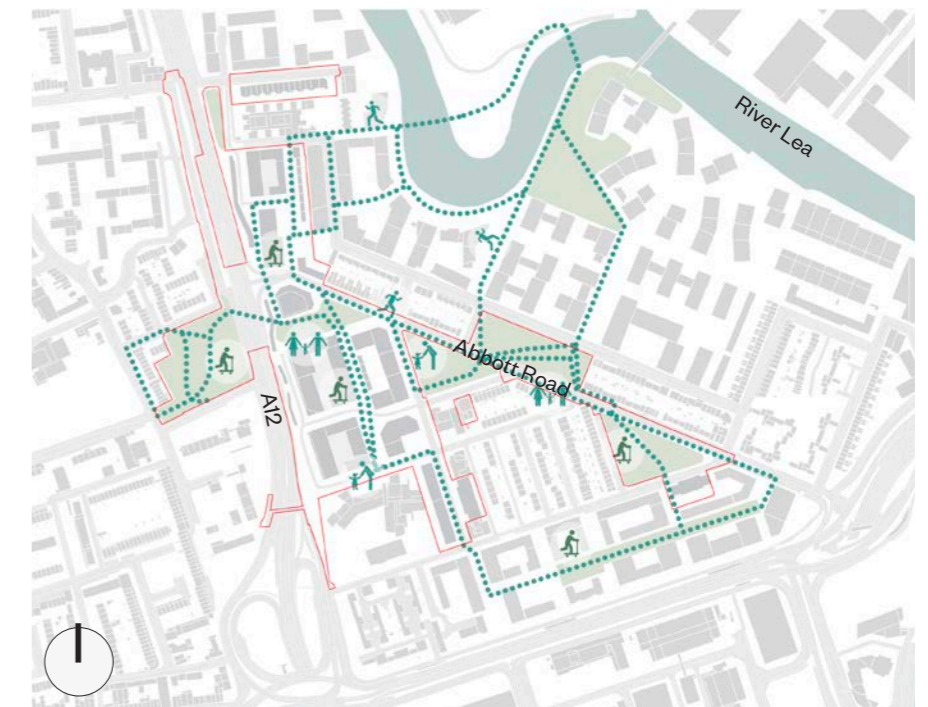


Fig.440 Walking Loops

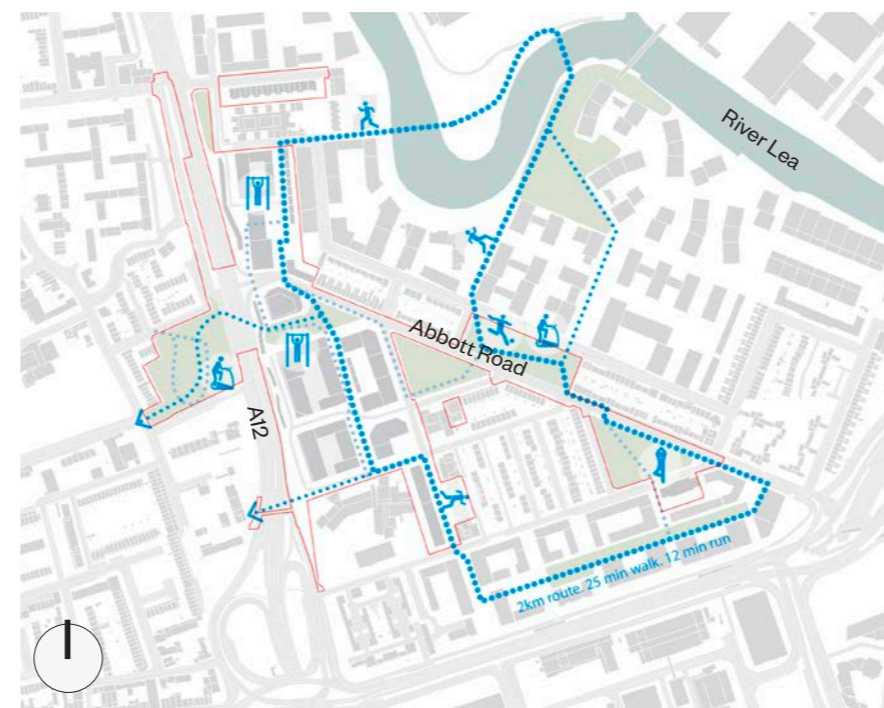


Fig.441 Fitness Loops



## Strategy

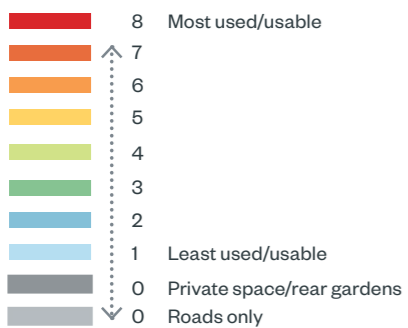
### Child friendly public space



Fig.442 Existing Heat Map diagram



Fig.443 Heat Map of Masterplan Proposal diagram



The assessment principles are developed from extensive observational research, and are based on whether a space is:

- Car free
- Overlooked
- Accessible
- Connected.

It has been found that in spaces that have all four of these principles in place, children tend to play outside and for longer periods of time than in other spaces. The heat maps visualise these principles, with the warmer, redder spaces scoring the highest for all four of the principles and the cooler blue spaces scoring the least.

The heat map of the masterplan proposal shows a marked improvement on the spaces around Aberfeldy Village. It shows the potential of the green spaces on Abbott Road as they become more connected to each other and accessible from adjacent homes. It shows how the courtyards will be well linked to the streets which will be explored in greater detail in the next stages. The map also illustrates the benefits of the car free route along Community Lane in delivering child friendly space. Overall it will be easy for children and indeed everyone to get about and meet their friends in all the spaces within their local area.



## Strategy

### Connected episodes

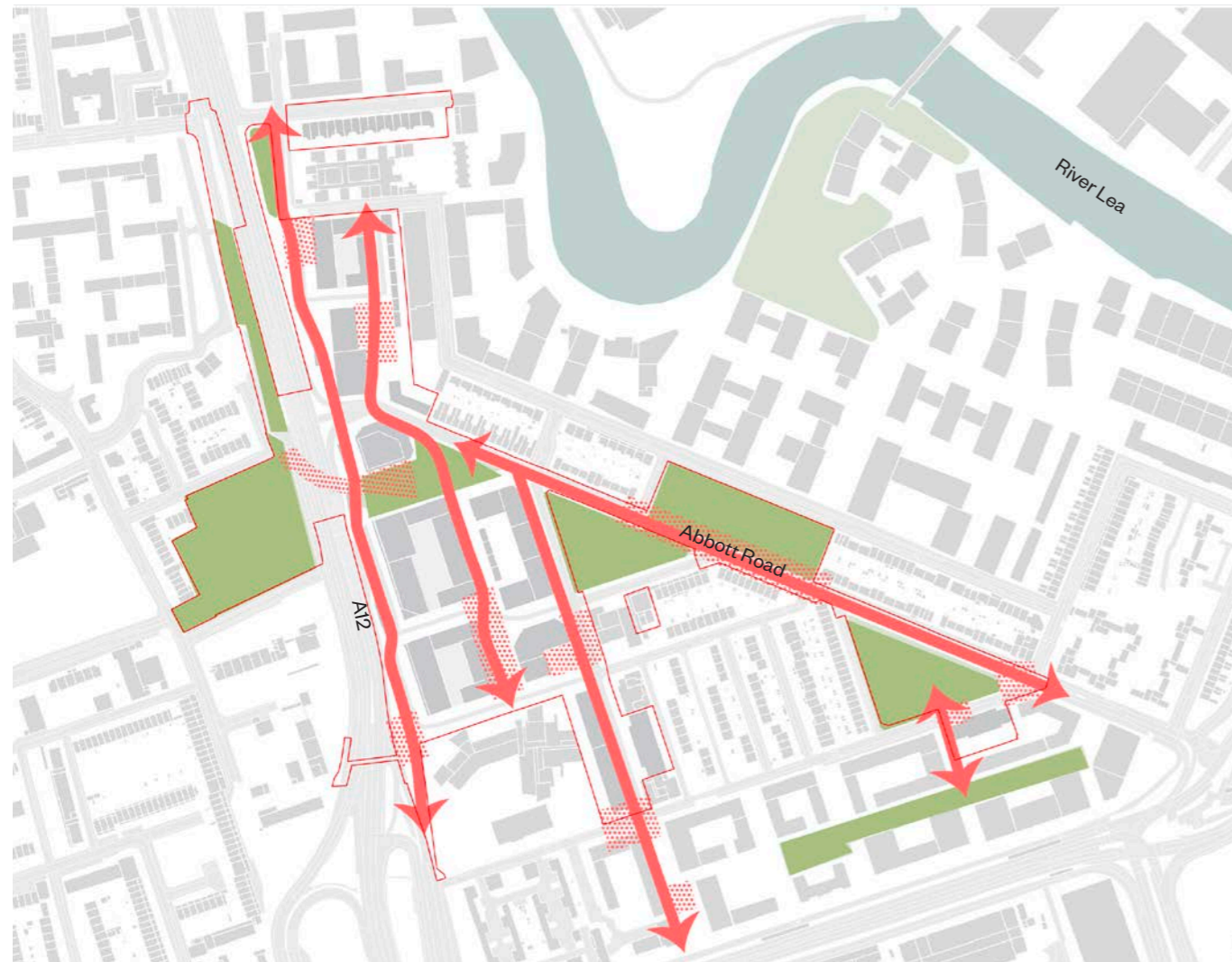


Fig.444 North-South Movement diagram

#### An Episodic Public Realm

Episodes, or nodes, in the masterplan are an interconnected series of public spaces that provide a variety of social opportunities, enhancing external life. Each episode in the masterplan provides a different role at a different scale - from community gardens to a civic square.

Connecting streets link the public spaces together and provide key routes through the masterplan. The North-South routes create greater permeability through the masterplan and help link into existing cycling routes, assisting with legibility and direct access.

The public realm has been developed as an episodic piece of landscape and public realm.

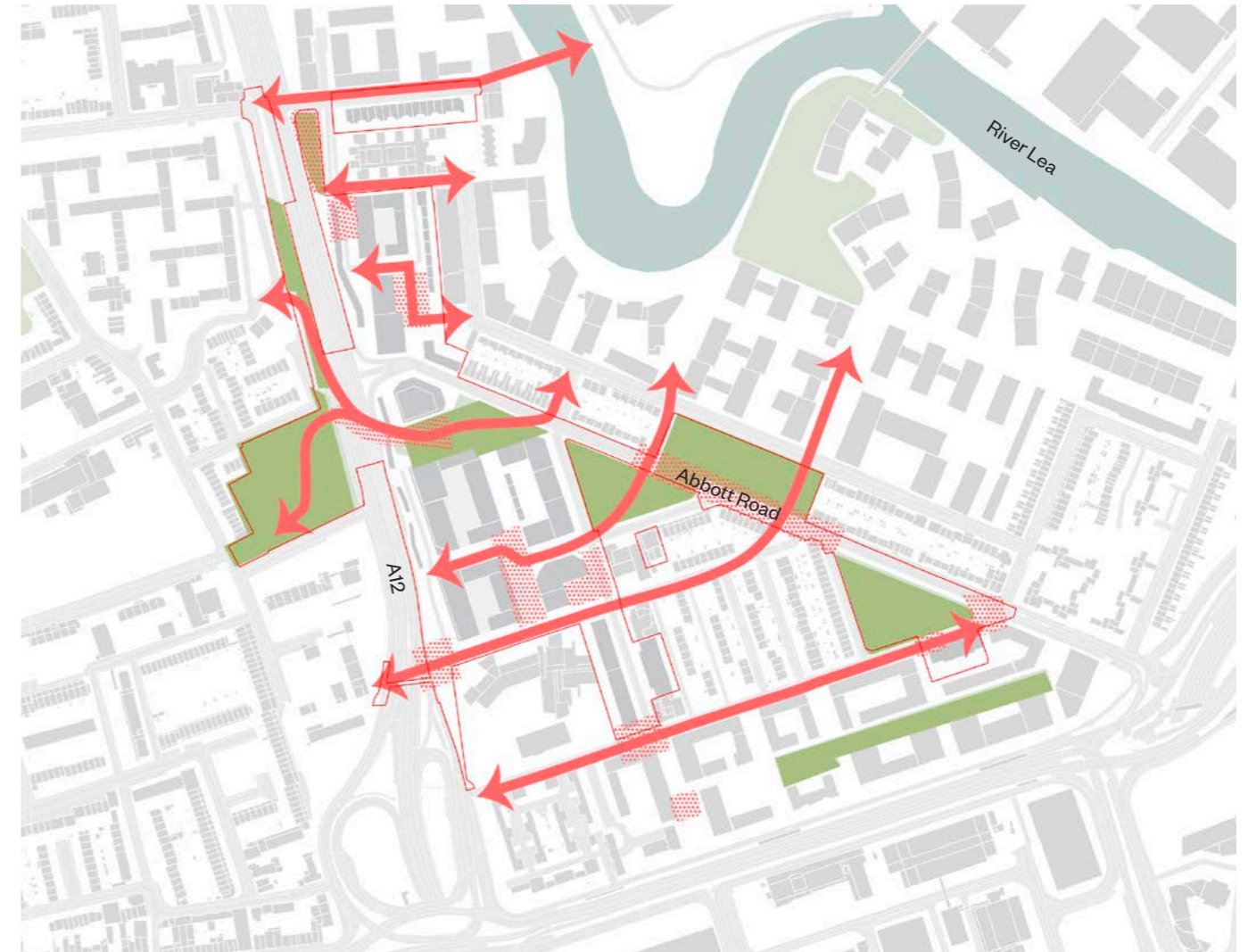


Fig.445 East-West Movement diagram

At the same time, the new masterplan unlocks the strength of the East-West connections via the repurposed Underbridge, Dee Street and Ettrick Street, which become important routes connecting the development east to, and across, the river and west through to Jolly's Green and other parts of Poplar, the Teviot Estate, and Chriss Street Market.

- Episodes
- Key movement connections
- Open space