

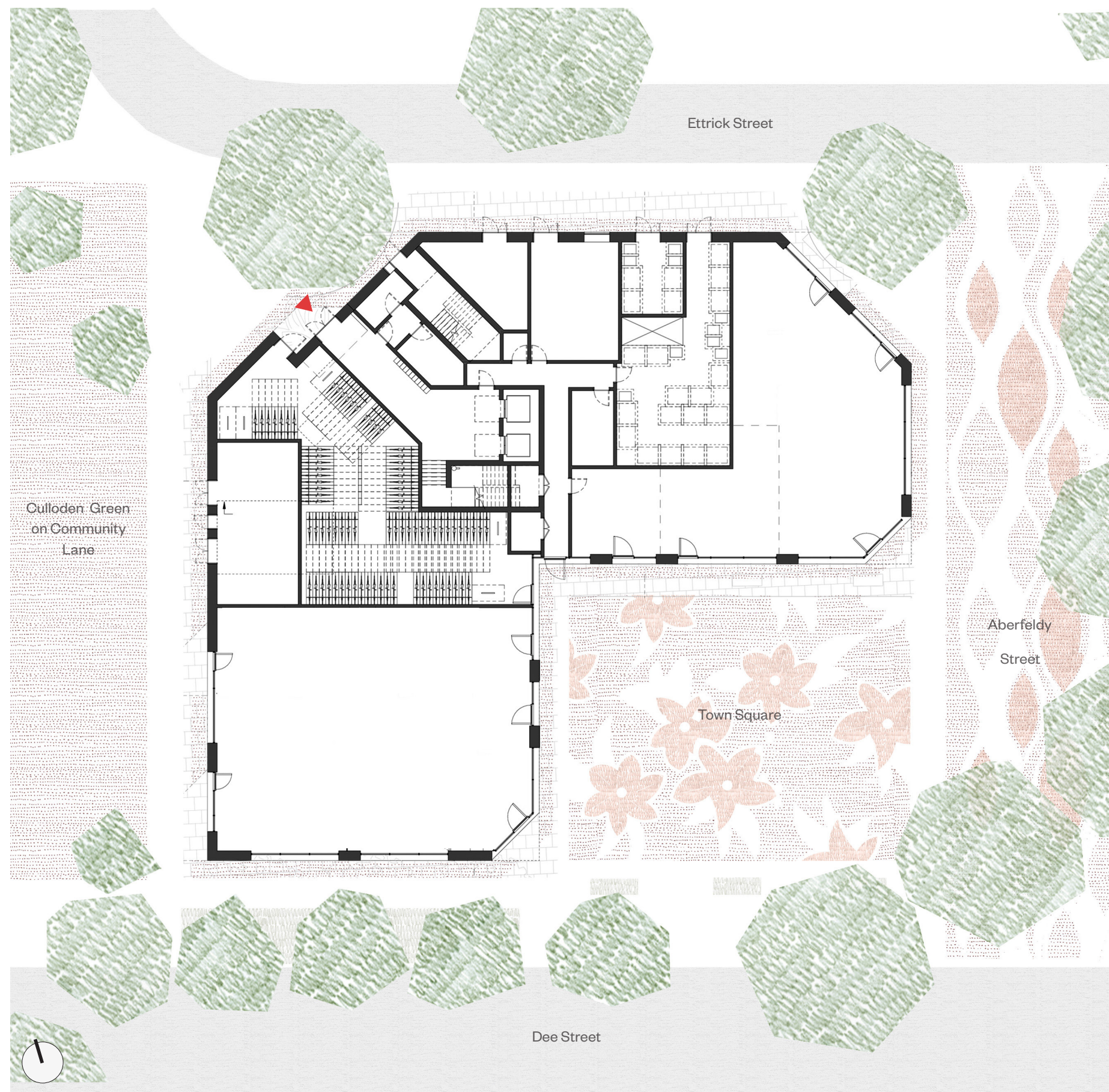
Streetscape

Plot Plan

The adjacent plan represents the proposed arrangement for the Plot F. During the design process, key coordination has taken place with the landscape and masterplan architects to devise a generous and diverse public realm. The building stands at the centre of this, with a series of notable key moves including the creation of the new Town Square; the stopping up and pedestrianisation of Aberfeldy Street; and the future delivery of Community Lane / Culloden green. In response, the programmatic arrangement of the ground floor creates public facing activity through the articulation of its mass and defined entrances, seeking to address the numerous adjacent townscape and connectivity considerations. To the building, x2 primary points are provided for the residential portions, accessed off the new square and Ettrick Street; the latter providing the main arrival lobby. For the retail portions several entrance points are located to the building perimeter served off Aberfeldy Street, Dee Street, Town Square and Community Lane. Notably, these retail portions have been used to further the sense of public permeability and address the notable adjacencies of Millennium Green (to the North East) and Culloden Primary Academy (to the South West). These will be key points of pedestrian connectivity.

The landscape strategy has sought to unite the building with its proposed environs and similar to the façade strategy, sought to reference existing Aberfeldy patterns across the proposed hardscaping to provide a unique, playful, and animated street presence. Alongside this, portions of planting, greening and furniture have been used to create a lush and functional heart for the community whilst retaining large extents of existing mature trees. Parking has been distributed along Dee and Ettrick street for blue badge and residents' spaces, with additional provision for a delivery drop off and services parking bay to the north.

For the boundary and phasing extents of Phase A and its respective plots, please refer to the Design and Access Statement: The Masterplan prepared by Levitt Bernstein Architects.



Proposed Plot F Plan

General Arrangement

Ground Floor Plan

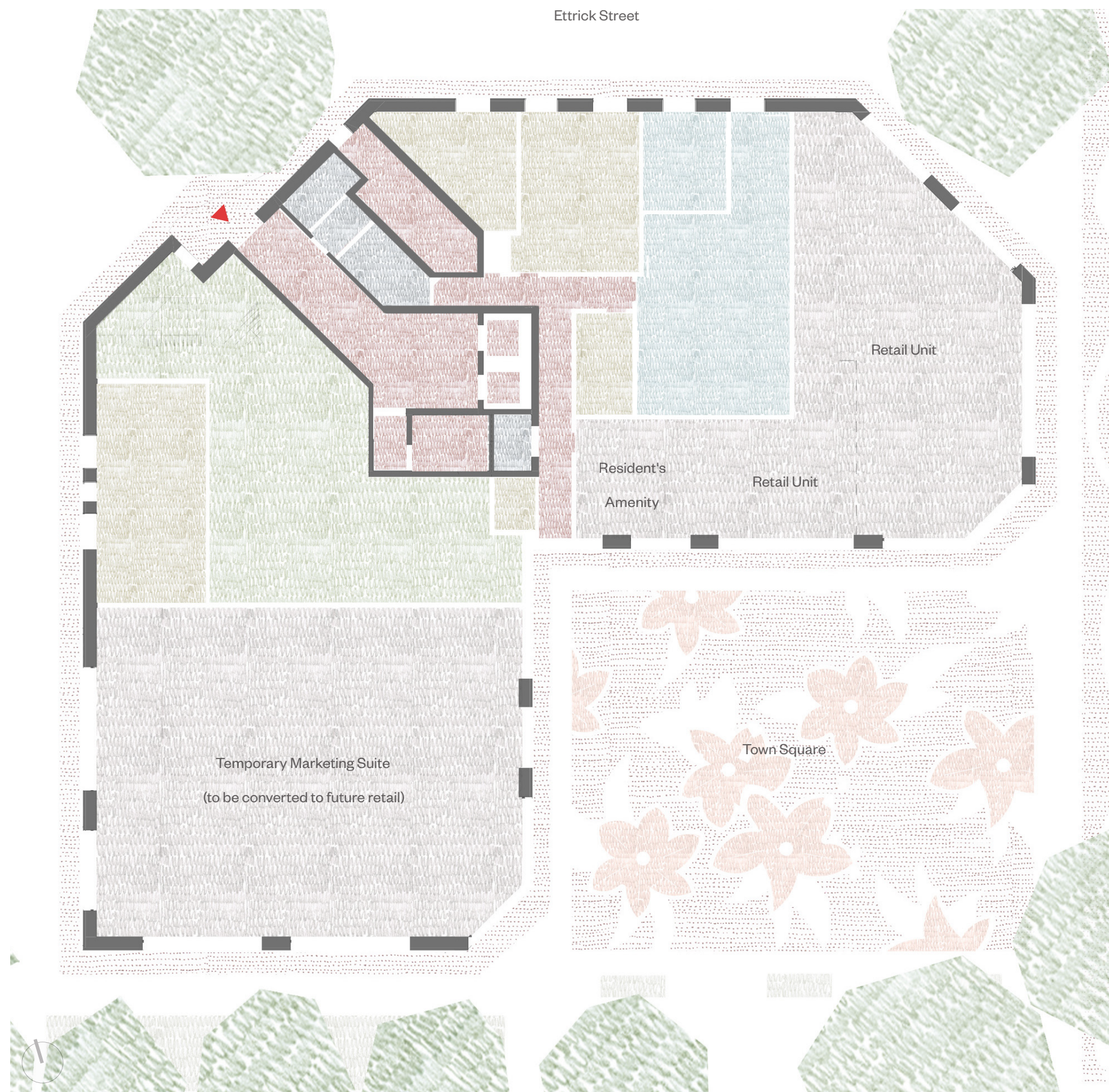
Retail

In total x3 retail units have been coordinated across the ground floor extents, with the 2 largest volumes occupying the triple aspect frontages to the East and Southern extents of the floorplate. The wealth of community engagement has informed the proposed uses across all retail portions of Phase A, including specialist consultant input from 'AND'. This has resulted in the eastern volume intended as a food and beverage offer, benefiting with prime triple aspect frontage to both the Town Square and Millennium Green. The temporary Marketing Suite holds the southern gable with off street access and will be adapted to future retail use post sales completion. Finally, a third smaller unit addresses the Town Square and targets a form of artist hub that may integrate with the educative emphasis across the masterplan and poplar works. A degree of flexibility is inherent within the design to permit divisibility in the units subject to future market and tenanted demand. Alongside this a dedicated residents' amenity space has been accommodated to allow a flexible space for co-working, events etc.

Residential

The principal entrance lobby is positioned to the North West portion of the building, directly facing community lane. The latter which once delivered, will provide a prime residential north-south route through the masterplan and enable the residential experience of Plot F to be embedded within these public realm improvements. Crucially, as part of the chamfered mass a mature tree frames the arrival sequence and increases the sense of shelter and greening to the entrance of the building. Sheltered, off street access also lies adjacent to the cycle store. The majority of back of house, refuse and servicing functions have been consolidated to the less trafficked, northern and western elevations of the building, to optimise the retail frontages elsewhere. Notably, a secondary access is provided from the Town Square to allow flexibility in the building management and futureproof connections between both sides of the building. A residents' office will also be accessible off community lane to the West (as part of the Marketing Suite) to provide ongoing residential support. A second stair is also located to the North West portion of the plan to provide an alternative means of escape for all residents over all floors of the building.

- Residential Lobby
- Cycles
- Parcels + Security
- Retail + Residents Facilities
- Plant
- Refuse



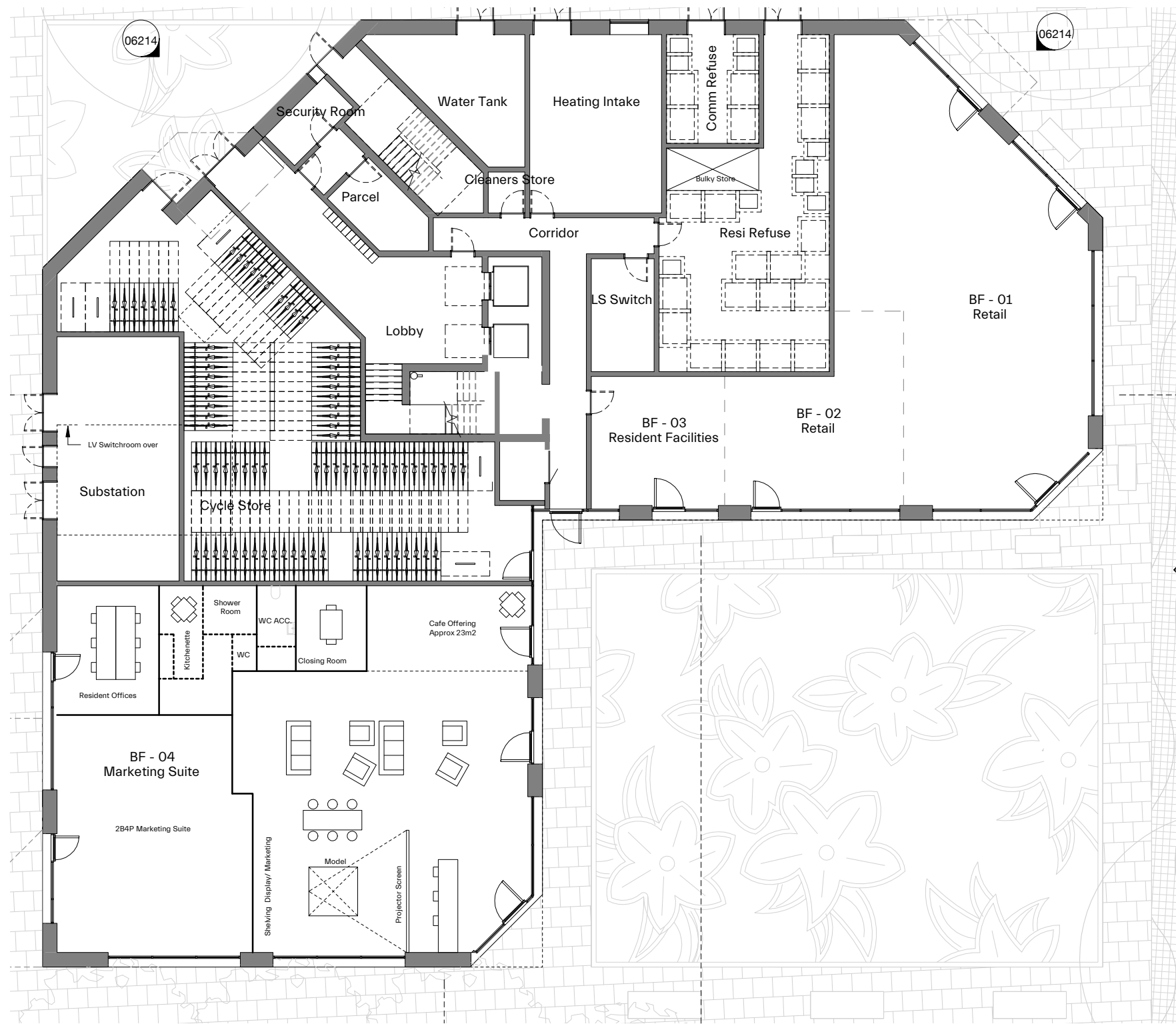
Proposed Ground Floor Plan Plot F

General Arrangement

Ground Floor Plan

Market Bikes: 166 double stacked spaces
10 accessible spaces

Retail GIA: 542 sqm



Proposed Ground Floor Plan Plot F

General Arrangement

Access Sequence

Residential Access

Upon arrival from the north west lobby, a dedicated security office (facing street) and parcel store is accessible. When passed the communal core is present, with twin lift providing vertical circulation to the floors above, alongside an open stair case for visual permeability. Secondary access is provided from the Town Square which connects through the secure corridor to the primary core and entrance lobby to future proof connections.

Cycles





The residential cycle store can be accessed externally from either the North West aspect (Community Lane) or to the East (Town Square). This through route provides both flexibility and safe access/egress for the users. Spaces have been apportioned in line with policy targets. Dedicated retail cycling space and sanitary facilities are provided at H block.

Servicing + Refuse

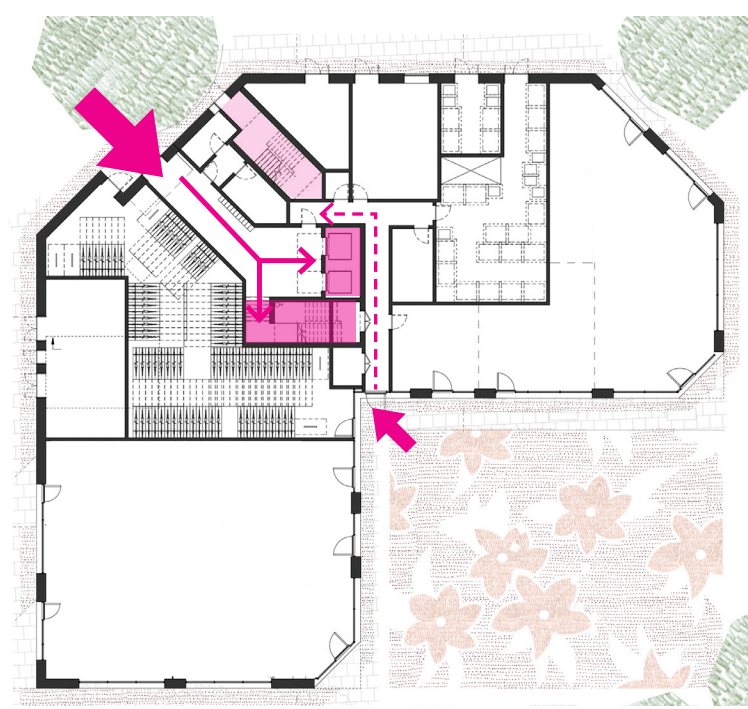
Residential and commercial refuse stores have been located to the North, enabling direct, generous access to Ettrick Street for on-street collection. These have been agreed with the waste officer on a traditional bin store arrangement and coordinated to meet local policy storage requirements. The commercial bin collection will be liaised by estate management, with both stores arranged to permit sufficient circulation and manoeuvrability of bins at capacity. Internally, a secondary corridor provides connection for the residents from the core for ease of waste disposal. Plant rooms lie adjacent to allow both off-street and internal access for maintenance and replacement. To the West a dedicated energy sub-station is directly accessed from the street.

Retail and Loading

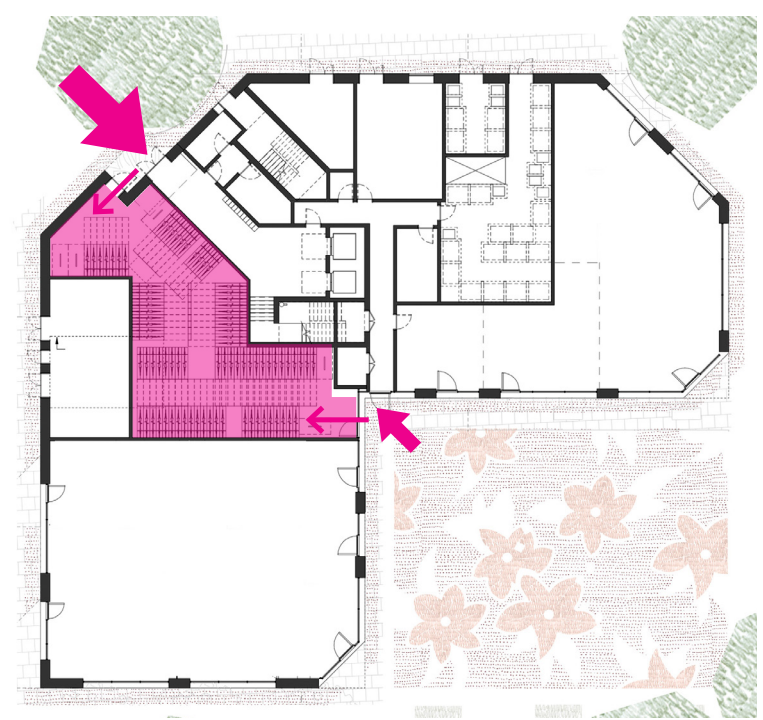
Primary entrances to the retail portions have been articulated to the East, South and Western frontages, with emphasis off Town Square and chamfered elevations to aid visual wayfinding. Loading and servicing will be located off Ettrick Street to the north.

-  Public Acces
-  Residents Access
-  Servicing and Maintenance
-  Connecting corridor

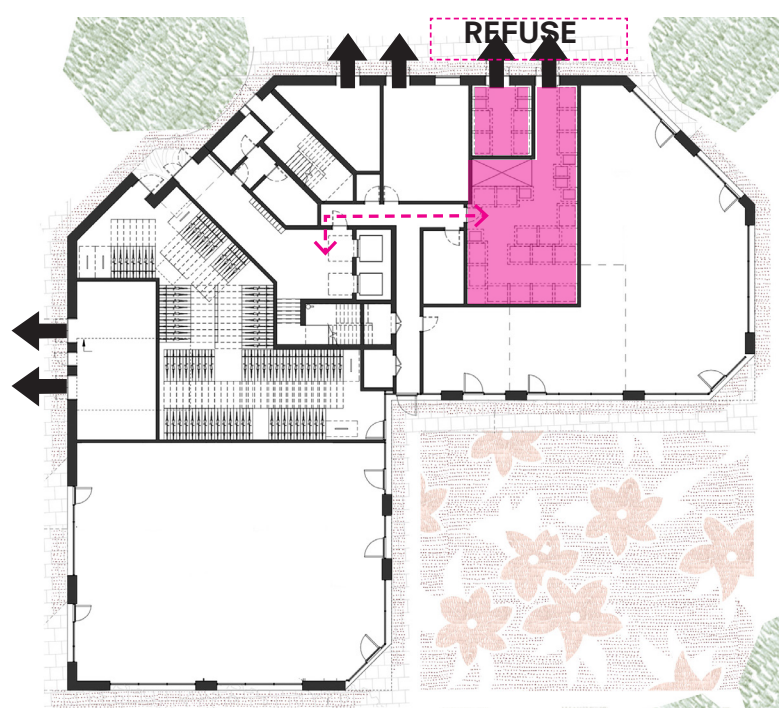
Further information on the refuse plan is set out in the **Waste Management Strategy** prepared by Velocity which supports this application.



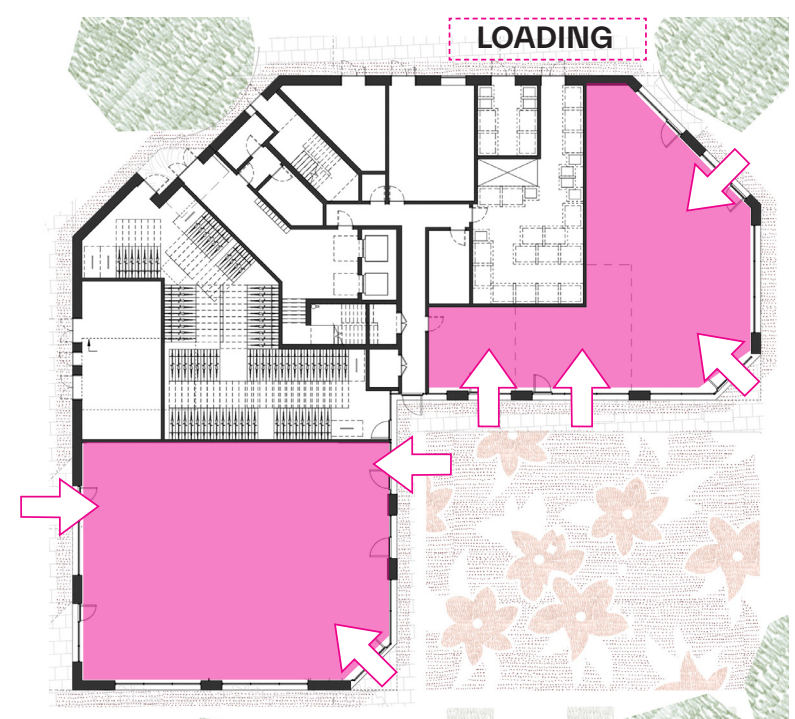
Residential Access



Cycles



Servicing + Refuse



Retail + Loading

Residential Design

Key Principles

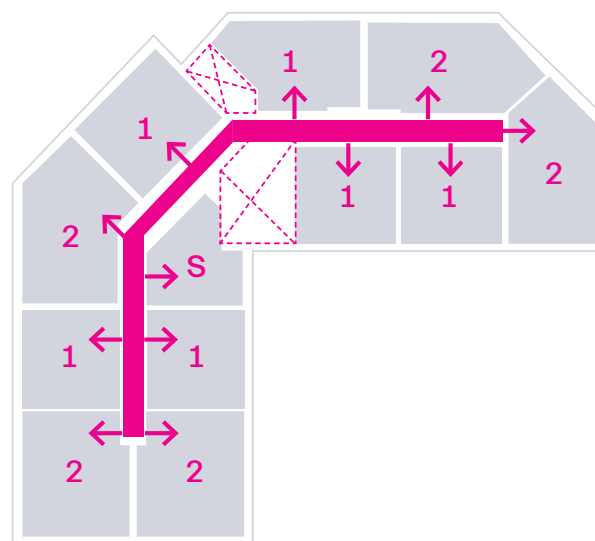
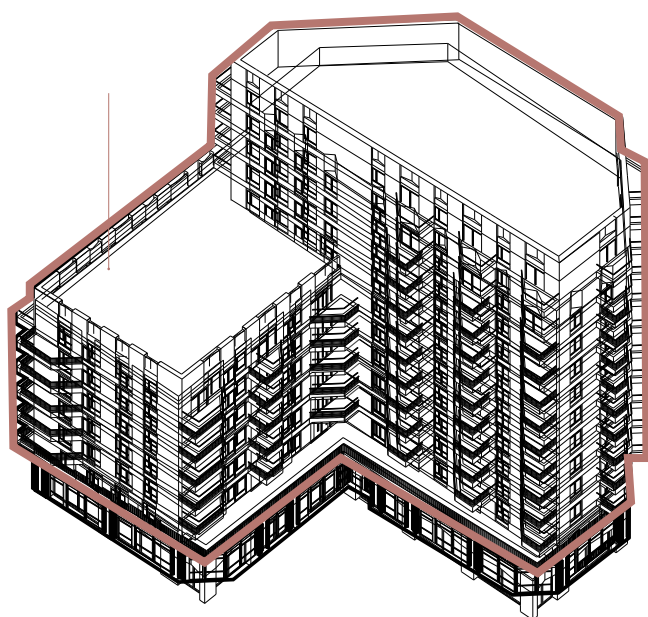
The adjacent diagrams reflect the key layout principles that have been employed across the floorplates to deliver good quality, generously articulated homes.

Block F is 100% market tenure and due to the massing eroding at the upper volume, x2 typical residential plans are present across the building; L02-L06 and L07-L011.

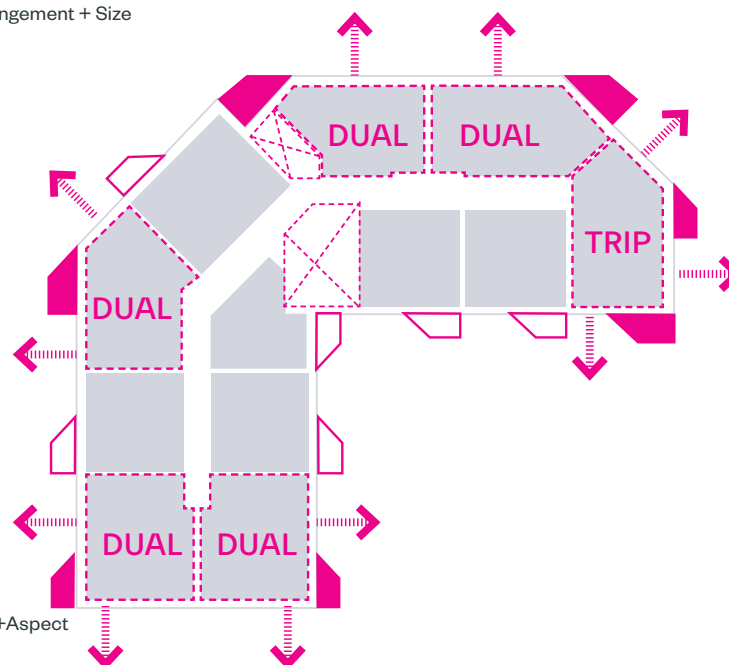
At the lower levels, x12 homes varying from studio to 2bed units are arranged around the floorplate. The primary core & secondary staircase is centrally located with x2 winged corridors to mitigate length of access and improve a personalised experience to the residents' front door. Subsequently, a maximum of x6 units are ever served by one length of corridor to improve privacy and access to each dwelling. All homes benefit from projecting balconies for generous private demised amenity, served directly off the living space for a spatial extension of the indoors. Dual aspect corners host the larger homes to optimise internal experience, with chamfered arrangements to the north successfully omitting any single aspect north facing units.

To the upper floors similar principles are employed, however the smaller floorplate gives rise to a reduced x6 homes per core. 3 beds are introduced on these floors and located to the SW to benefit from triple aspect arrangement. Notably a communal roof terrace is provided at the seventh floor for use by all residents of this block. This is verdantly landscaped with integrated furniture to allow workspaces and break out. The arrangements for which are detailed in chapter 07.

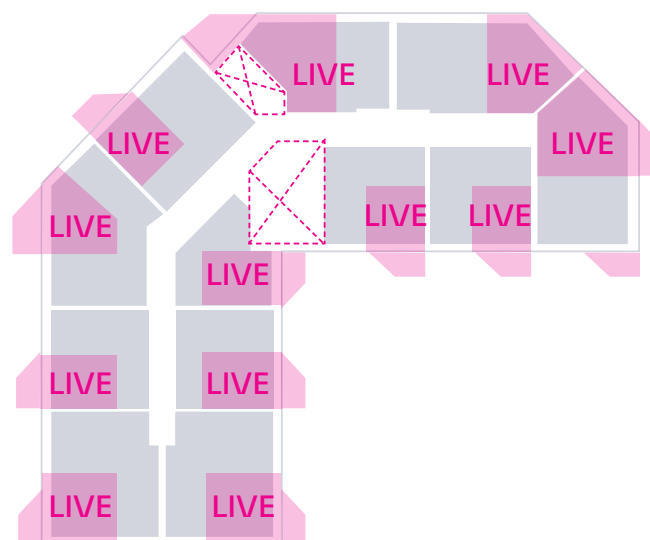
L01-L12 100% Market Tenure



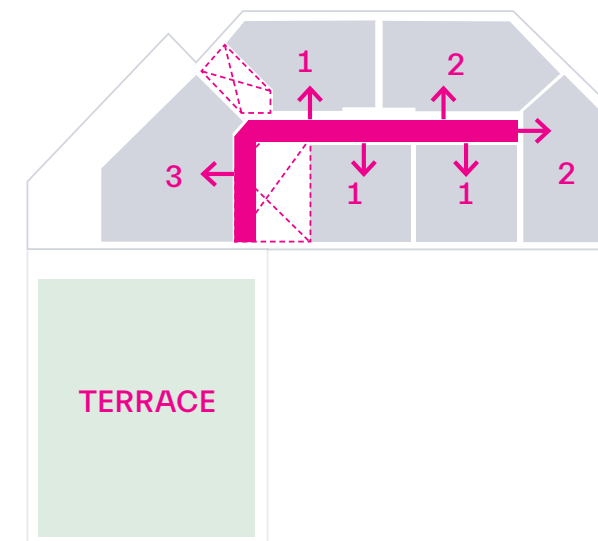
Typical: Unit Arrangement + Size



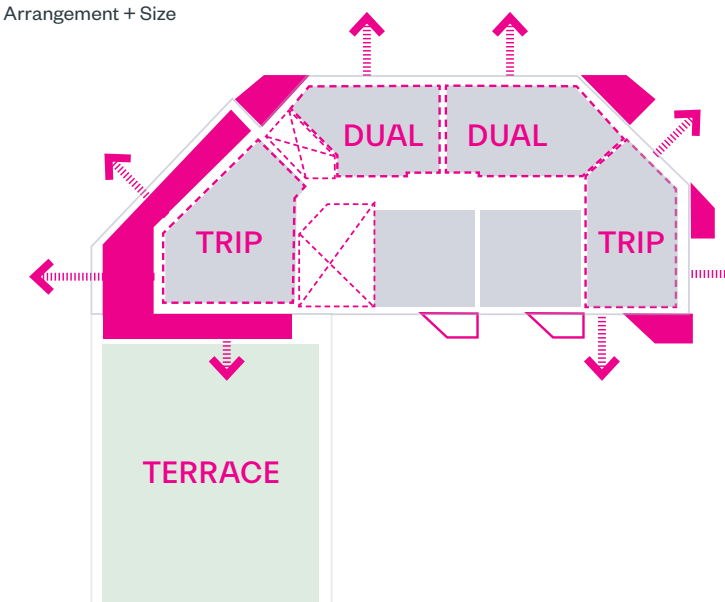
Typical: Amenity+Aspect



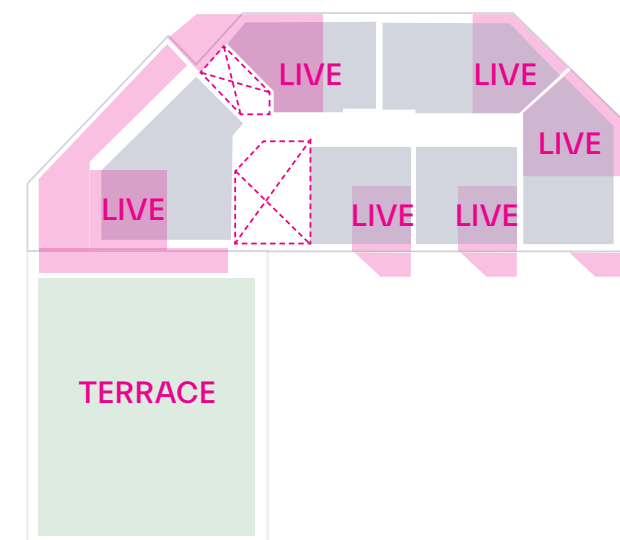
Typical: Living



L07: Unit Arrangement + Size



L07: Amenity + Aspect



L07: Living



Residential Design

Typical Floor

Levels 02 - 06

The adjacent plan demonstrates the spatial strategies delivered across the typical floors L02-L06. All units have been carefully articulated around the floorplate to maximise views and optimise dual aspect, with the additional massing at these lower levels providing multiple corners around the envelope for further benefit. Larger units occupy the corners, with living areas in the optimal location for daylight and connection to external amenity space. Wet spaces and kitchens have been located to the deeper, darker portions of plan to benefit habitable rooms, with instances of secondary circulation to practicably buffer habitable zones and provide storage away from the primary living areas. Most apartments follow a generous, open plan arrangement, with all meeting if not exceeding NDSS space standards. Over 55% of the units are dual aspect, which does not include additional dual aspect balconies where relevant.

To the common corridor, services are centrally located within the landlord demise, easily accessed via riser cupboards to minimise effect to the residents. Well-proportioned lift lobbies are located away from unit entrances to separate circulation and aid privacy.

Note: Level 01 is consistent with the adjacent plan bar a localised plant room which gives rise to a special 1bed unit type.

Secondary Staircase

The adjacent typical plan (& wider building) has been revised to incorporate a secondary, protected stair case in response to the emerging policy set out by the government mandate in July 2023 for all buildings over 18m in height. Mechanically ventilated central core allows primary access as a fire fighting shaft, with secondary access / egress facilitated via a secondary stair to the mechanically ventilated corridor. This stair discharges directly to the outside at ground floor.

Further measures of dedicated evacuation lift, EVC call panels, evacuation alert systems, disabled refuges etc have all been incorporated and critiqued in detail. All matters of fire safety and escape are explained in further detail in the accompanying fire statement supporting this application.

- Studio
- 1Bed
- 1Bed WuD
- 2Bed
- 2Bed WuD
- 3Bed
- 3Bed WuD
- 4Bed
- 4Bed WuD
- 5Bed
- 5Bed WuD
- 6Bed
- 6Bed WuD



Proposed Floor Plan Level 02-06



Accommodation Mix

Summary

The adjacent figures detail an area and mix summary reflective of the previous pages and coordinated arrangement for Plot F. Please refer to chapter 9.0 for full Phase A accommodation schedule.

	Studio	1 Bed	2 Bed	3 Bed	No. of units	Hab Rooms
Market Total	<u>06</u> 5.9%	<u>52</u> 51%	<u>39</u> 38.2%	<u>05</u> 4.9%	<u>102</u>	<u>247</u>

	Residential GIA	Residential GEA	Non Residential GIA Retail
Total	<u>8,981</u> sqm 96,674 sqft	<u>9,552</u> 102,816	<u>492</u> 5,295

	M4(2)a Homes	M4(3)2(a) Adaptable Wheelchair Homes	M4(3)2(b) Accessible Wheelchair Homes
Total	<u>86</u> % of block 84.1%	<u>16</u> 15.9%	<u>0</u> 0

Unit Aspect	Single	Semi	Dual	Triple
Total	<u>46</u> % of block 45%	<u>0</u> 0%	<u>40</u> 39%	<u>16</u> 16%

Introduction:

The amendments reflected in this chapter were previously actioned and submitted as part of the Design & Access Statement: Detailed Proposals Addendum Rev A - January 2023. These amendments were in response to the Government's mandate for all buildings above 30m to incorporate two staircases and resulted in changes to the arrangement and accommodation offer of Plot F.

A3

PLOT I: BRAITHWAITE PARK

Streetscape

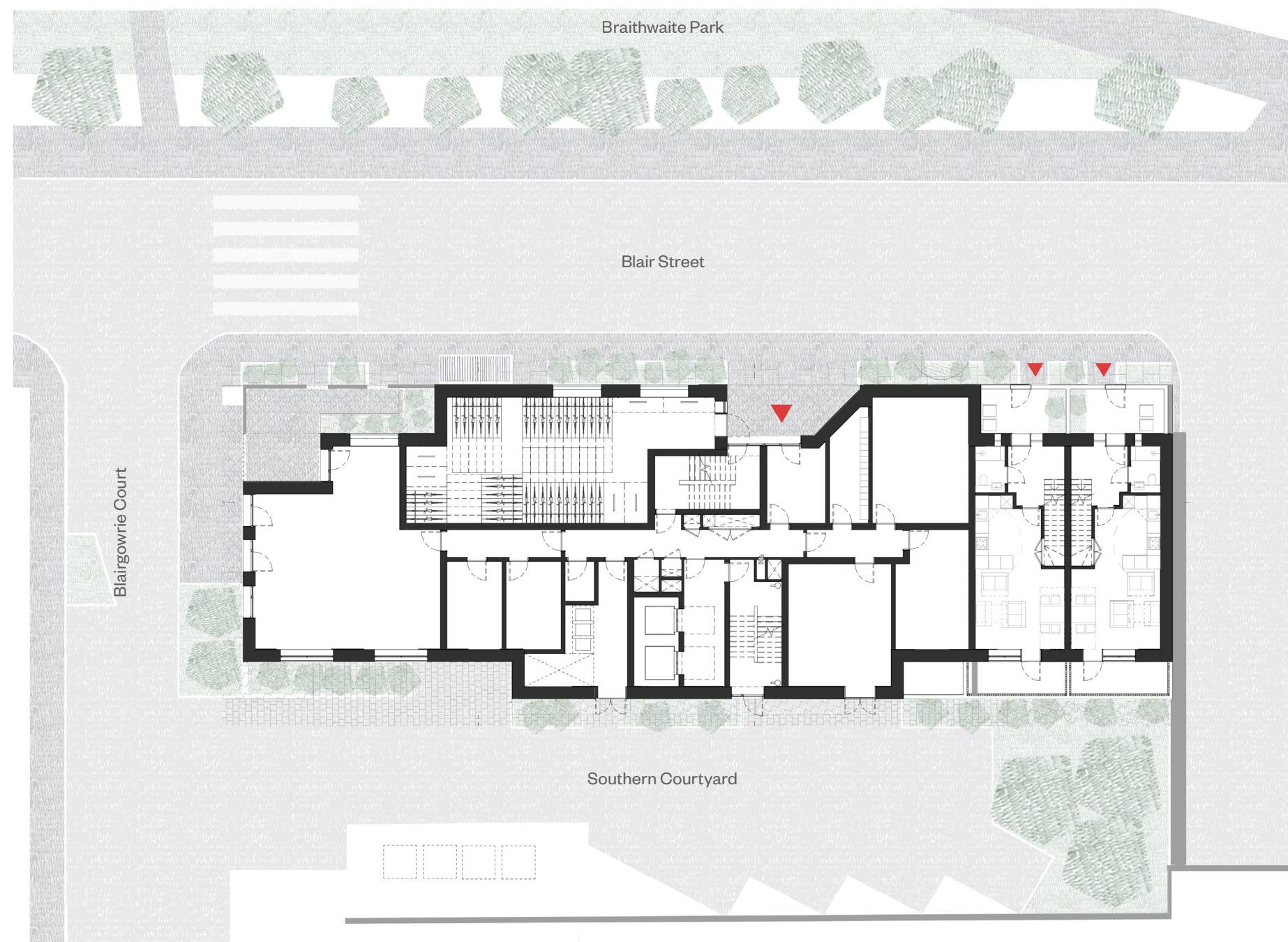
Plot Plan

The adjacent plan represents the proposed arrangement for Plot I. Given the extents and constraints of the existing Blairgowrie Court building and its context, the proposed building footprint extents is much akin to the existing. However, the façade articulation, landscape strategy, access routes and ground treatment have all been improved to suitably complete the experience of public realm at this key juncture in the masterplan. Notably, the steps and cut backs in the massing allow more generosity at the building perimeter, with articulated edges and entrance points that benefit the activity and visual permeability to the street.

The primary entrance to the building is located to the North, visually addressing the park, and served from Blair Street which represents the primary route of footfall. From this street x2 ground floor maisonettes also are present to the Eastern extents – activating the street and providing passive surveillance to the adjacent park. The western gable hosts a dedicated amenity space which is utilised to activate the wider public realm and particularly draw a public facing presence to the north-south connection between East-India Green and Braithwaite Park. This is currently lacking and operates more as a vehicular service route than a pedestrian connection.

To the South, the existing hardscaped courtyard has been retained, whilst reduced to introduce a large portion of greening and subsequently soften the currently hostile environment. Part of this is dedicated to public access, with greening and localised furniture to encourage a space for all. With also a portion demised to private external amenity of the maisonettes.

Resident's parking has been distributed along the courtyards length and the existing SULO bins increased to x4 number (from x2) to provide improved capacity waste provision for the building. This would be collected by vehicle as per the current arrangement via the Westerly service road, Blairgowrie Court. For the boundary and phasing extents of Phase A and its respective plots, please refer to the Design and Access Statement: The Masterplan prepared by Levitt Bernstein Architects.



Proposed Plot Plan Plot I