

## 5.6. East West Links

### Thresholds

5.6.20. Thresholds within the East West Links character area **should** include both "type 3 - planted threshold" and "type 4 - clear threshold".

5.6.21. Residential entrance to apartments **must** be clearly marked.

5.6.22. Planting opportunities **should** also be included.


 More information on threshold types can be found in section "4.5 Private amenity and thresholds" on page 86 of this Design Code.



Fig.273 East West Link threshold

### Key streets

#### Etrrick Street and Dee Street

5.6.23. All the streets within this character area are secondary streets, including pedestrian, cycling and private vehicle movement.

5.6.24. On street parking and loading bays **should** be provided along the East West Link.

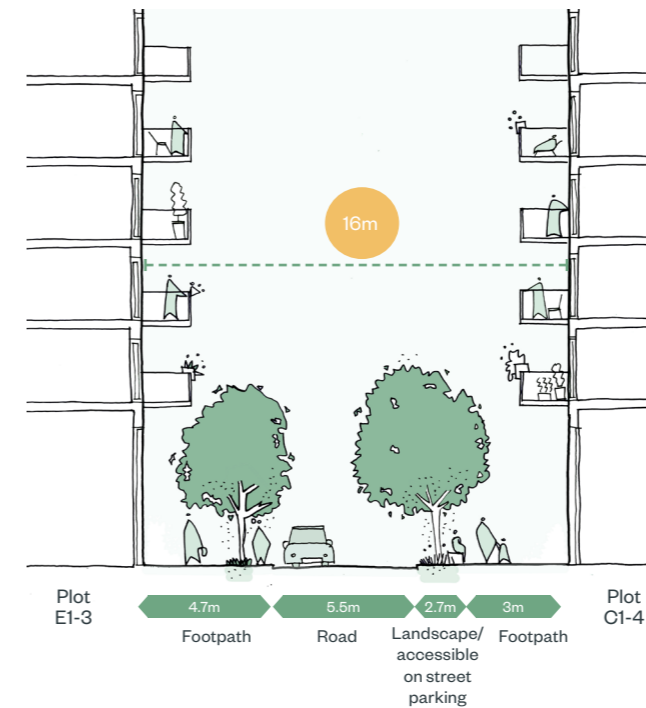


Fig.274 Illustrative street section AA - Etrrick Street



Fig.275 Illustrative street section BB - Dee Street

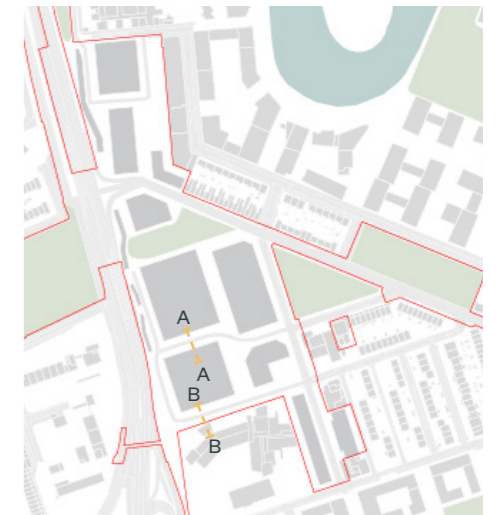


Fig.276 Illustrative street sections - key plan



Fig.277 Safe for cycling, Mini Holland Scheme



Fig.278 Street furniture, King's Crescent, Hackney



Fig.279 Softening of roadside edges for pedestrian enjoyment and biodiversity

## 5.6. East West Links

### Key public spaces

#### Principles and character

5.6.25. Principles applying to both Ettrick Street and Dee Street:

- The streets **must** be designed with pedestrian priority and 'liveable neighbourhoods' at the core of the design.
- Both Ettrick and Dee Street **must** also facilitate two-way vehicular movement, and parking or loading where necessary.
- Junctions with Community Lane **must** provide formal crossing points for ease of pedestrian and cycle mobility, and safety for children. These junctions **should** be defined by a change in road materiality to further emphasise them as pedestrian priority.
- Street furniture **should** be encouraged where it adds accessibility and livability to the street, but restricted to locations near to key entrances e.g. school visitor entrance, lobbies and workshops, to avoid cluttering the street and constraining pedestrian movement.
- Parking spaces **should** be located within the carriageway wherever possible to constrain the width of roads and maximise space for pedestrians.
- Parking spaces **must** respond to key entry/access points e.g. resident lobbies, podium access stairs and public spaces, to leave gaps for informal opportunities to cross the road and room for pedestrian movement.

Principles specific to Dee Street:

- The southern pavement adjacent to Culloden School is currently restricted in width due to large existing trees which act as 'pinch points', specifically limiting the ability for families and people to walk side-by-side safely. Therefore the pavement **must** be widened to ease pedestrian flow between Aberfeldy Street and the Dee Street underpass.
- Parking **must** be located on the northern side of the street.

**Key**

- |   |                                 |   |                                 |
|---|---------------------------------|---|---------------------------------|
|    | Main pedestrian footway         |    | Suggested locations for loading |
|    | Pedestrian footway              |    | Node                            |
|    | Two way road                    |    | Active landscape zone           |
|  | Lobby entrances                 |  | Planting opportunity            |
|  | Servicing entrances             |  | Flexible lawn area              |
|  | Retail entrances                |  | Meadow                          |
|  | Commercial spill out zone       |  | Play area                       |
|  | Suggested locations for parking |  | Existing trees                  |

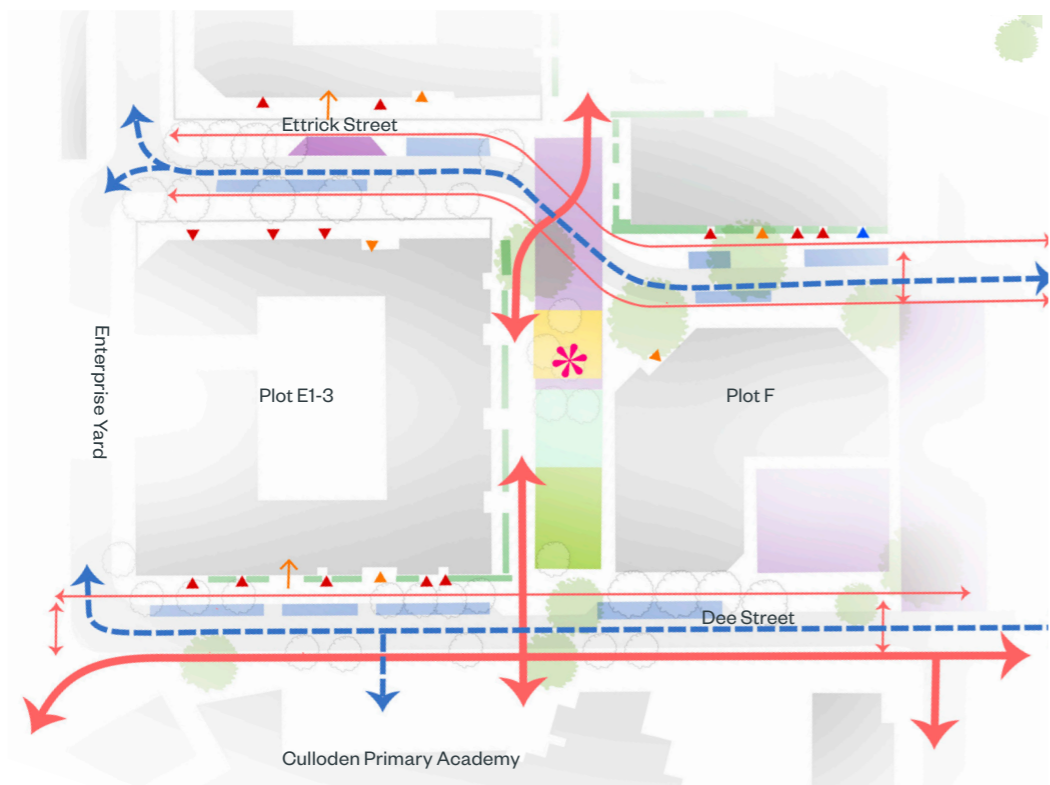


Fig.281 Illustrative view of Dee Street



Fig.282 Illustrative view of Ettrick Street

### Soft landscape

5.6.26. Trees and ground flora planting **must** be included in the streetscape and square.

5.6.27. Tree Species **must** be a mix to ensure biosecurity and **should** be selected from the following species:

- Liriodendron tulipifera, Tulip tree
- Quercus ilex, Holm Oak
- Prunus padus, Bird Cherry
- Pyrus calleryana 'Chanticleer', Callery Pear
- Quercus palustris, Swamp Spanish oak
- Prunus avium, Sweet cherry
- Tilia cordata, Small-leaf lime



More information on soft landscape can be found in section "4.3. Green space and infrastructure" on page 76 of this Design Code.

## 5.6. East West Links

### Material palette

#### Materiality and detail

5.6.28. The East West Links are typically façades at which mediate between Enterprise Yard and Community Lane and, as such, they **should** incorporate elements of the language and materiality of each.

5.6.29. Non-residential façades **should** wrap into the East West Links. As in Enterprise Yard, pleats and folds are appropriate.

5.6.30. Where the residential façade meets Enterprise Yard, any articulation, material or detailing specific to that location **should** be terminated in an appropriate place.

5.6.31. The transition between the language of Enterprise Yard and the language of Community Lane **must** be carefully considered

5.6.32. Where the façade meets Community Lane, the elevation **should** be expressed in brick, with any articulation of the façade to respond to the Community Lane facade.

5.6.33. Ancillary spaces such as refuse stores and plan spaces **must** be simple and discreet and **should not** dominate the façade. Where access or ventilation to these spaces is required, doors and louvres **should** be in metal with a colour to match window framed and other metalwork.

5.6.34. Where East West links provide stepped access to podium amenity space, the materiality of these steps **must** be integrated with the landscape proposals and materials palette.

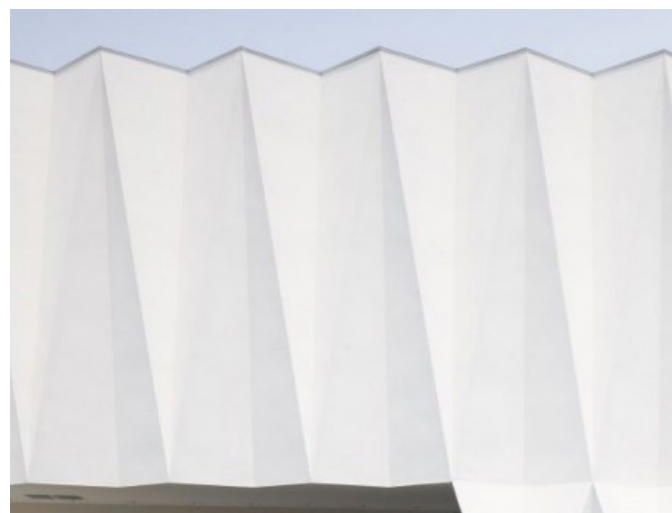


Fig.283 Pleated/folded panel detail



Fig.284 Residential façade with brick detailing



Fig.285 Paired residential entrances

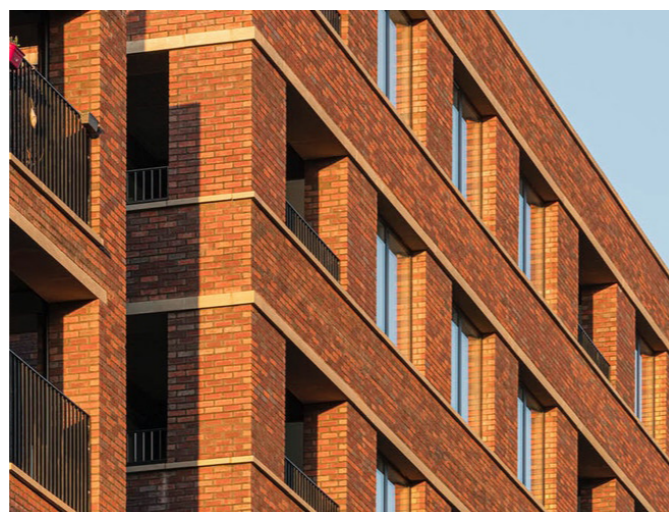


Fig.286 Brick with banding detail

#### Public realm material palette

5.6.35. The material palette in the public realm **should** be as follows:

1. Carriageway: Asphalt
2. Footways: Dutch Clay pavers
3. Kerbs: Granite kerbs (silver grey)
4. Carriageway at intersections and parking spaces: Concrete tegula Block paving



More information on material selection can be found in section "4. 8. Hardscape" on page 92 of this Design Code.

6

**PLOTS AND BUILDINGS**

## 6.1. Plots and massing overview

### Plot typologies

6.1.1. The 15 plots have been classified into four types: courtyard, standalone, residential only and workspace plots. Plots F, H1-2, H3, I and J are part of Phase A, the Detailed Proposals of Aberfeldy Village Masterplan.

6.1.2. Plot typologies cover the vision, location, massing, yards and courtyards. These also show how the character areas, public realm and buildings typologies come together and apply to each individual plot of the masterplan.

6.1.3. These typologies have been designed in response to the existing context, street hierarchy, key connections and character.

Plots, including Maximum Development Zone, Maximum Development Footprint and public realm are defined in the Parameter Plan "Building Plots", "Building heights", "Principal Public Realm Areas", "Proposed Site levels - Lower Ground Floor" and "Proposed Site levels - Basement Level". Proposal **must** comply with them.



Further information on plot typologies can be found in Chapter 6 "Buildings" of the "Design and Access Statement: The Masterplan".

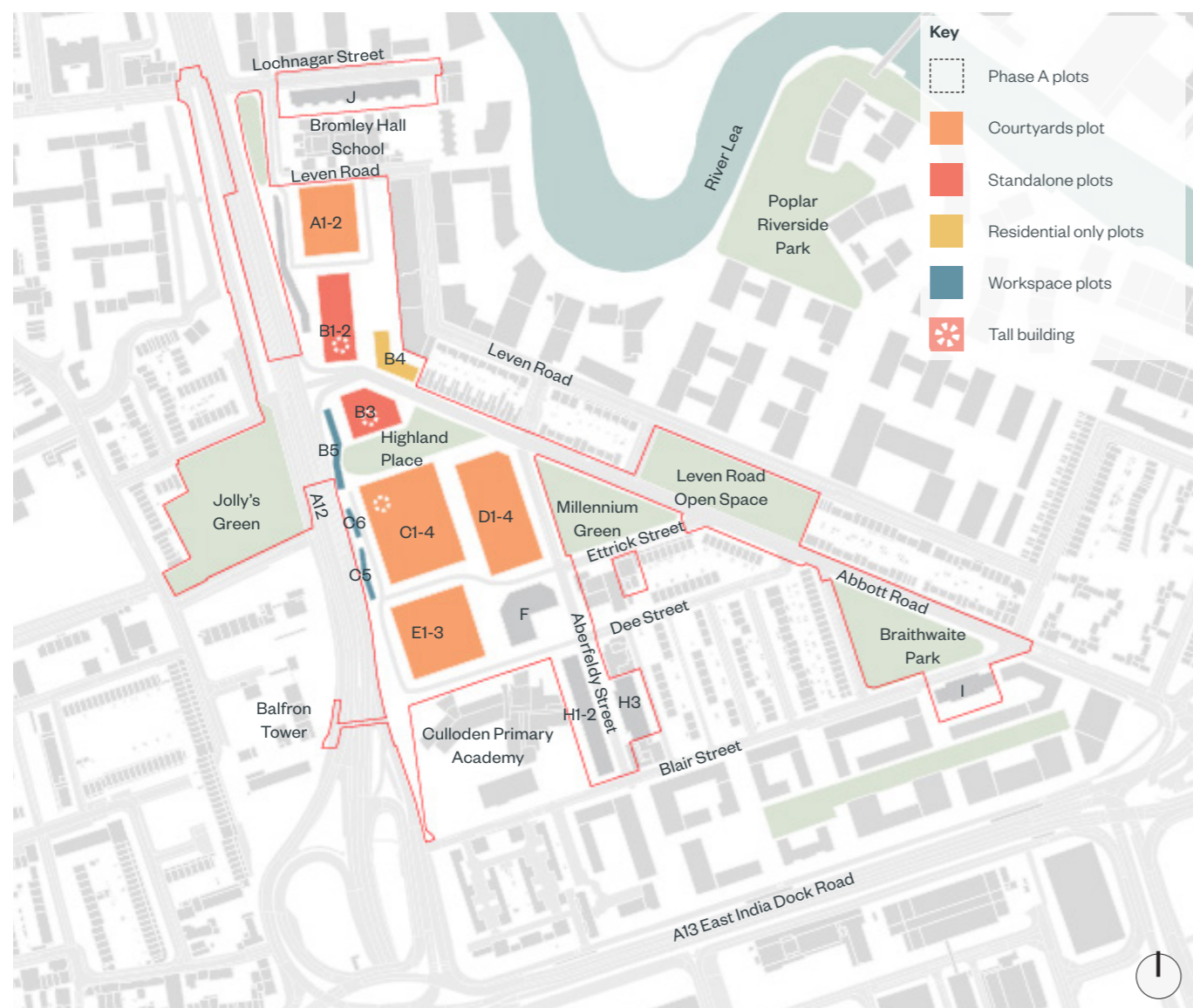


Fig.287 Diagram to illustrate plot typologies (illustrative plan)

### Courtyard plots

6.1.4. Courtyard plots represent the majority of the plots. Plots C1-4 and E1-3 are mixed use, and include non-residential uses along the western edge along Enterprise Yard. Generally courtyard plots include a podium car park with private communal amenity space on top. Above the ground floor, massing **must** be broken to allow sunlight into the courtyard. Taller elements are located to the north of the courtyard plots.

### Standalone plots

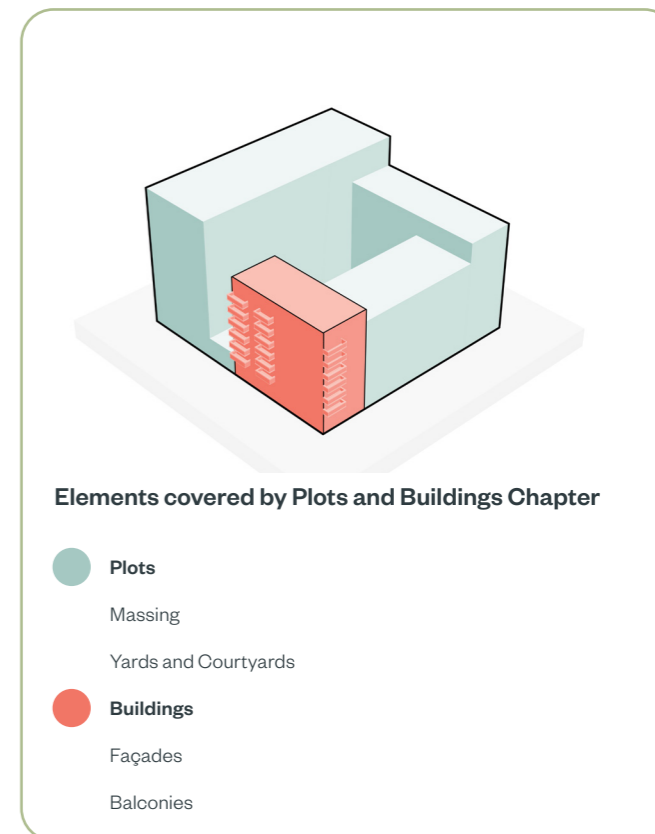
6.1.5. Standalone plots (B1-2 and B3) are where the tallest buildings of the masterplan are located. These plots act as marker buildings, highlighting the main pedestrian, cycle and vehicular routes to and from the Site. They include some non-residential uses at ground floor and lower ground floor. Plot B3 includes the tallest element of the masterplan, and within plot B1-B2 the taller element is located to the south, with a lower leg to the north sharing an architectural language with plot A1-2.

### Residential only plots

6.1.6. Residential only plots are located to the north of the masterplan and address the Community Lane character area. They include lower density family houses and are set within a pedestrian and cycle area.

### Workspaces plots

6.1.7. B5, C5 and C6 are narrow workspace plots and address Enterprise Yard. They overlook the key pedestrian and cycle routes and animate the entrance to the new Underbridge (Highland Place). They follow the positive precedent of the existing Poplar Works buildings to the north of the Site.



### Response to Balfroon Tower

6.1.8. The detailed design of the scheme, particularly the taller buildings, should respond to and create a dialogue with Balfroon Tower. This response should be subtle and elegant and should be based on a detailed understanding and analysis of the existing building.



Elevational analysis of Balfroon Tower can be found in Appendix B of the Design and Access Statement: The Masterplan.

# 6.2. Development envelope

## Identifying key roof conditions

### Access and plant

6.2.1. The illustrative scheme incorporates three principal roof conditions allowing for access to amenity space and the provision of large plant and small plant respectively. These conditions affect the maximum parameter heights and so their locations **must** be controlled.

6.2.2. Where plant spaces are taller than parapet height, they **must** be designed to minimise their impact. Irregular shapes that jar with the geometry below **must** be avoided. Plant **should** be screened in a cladding material that is in keeping with the architectural language of the building and **must** be set back from the face of the building below by a minimum of 1.8m

6.2.3. The extent of any 'pop-up' providing access to amenity space at roof level **must** be limited to avoid an increased impression of mass. The height and extent of 'pop-ups' are controlled through the parameter plans and sections.

6.2.4. Where a designated plant space is not shown above parapet level. Allowance has been made for lower plant (such as smoke extract fans) to sit below parapet level.

Further information on building heights can be found on Parameter Plan - Building Heights and Parameter Sections.

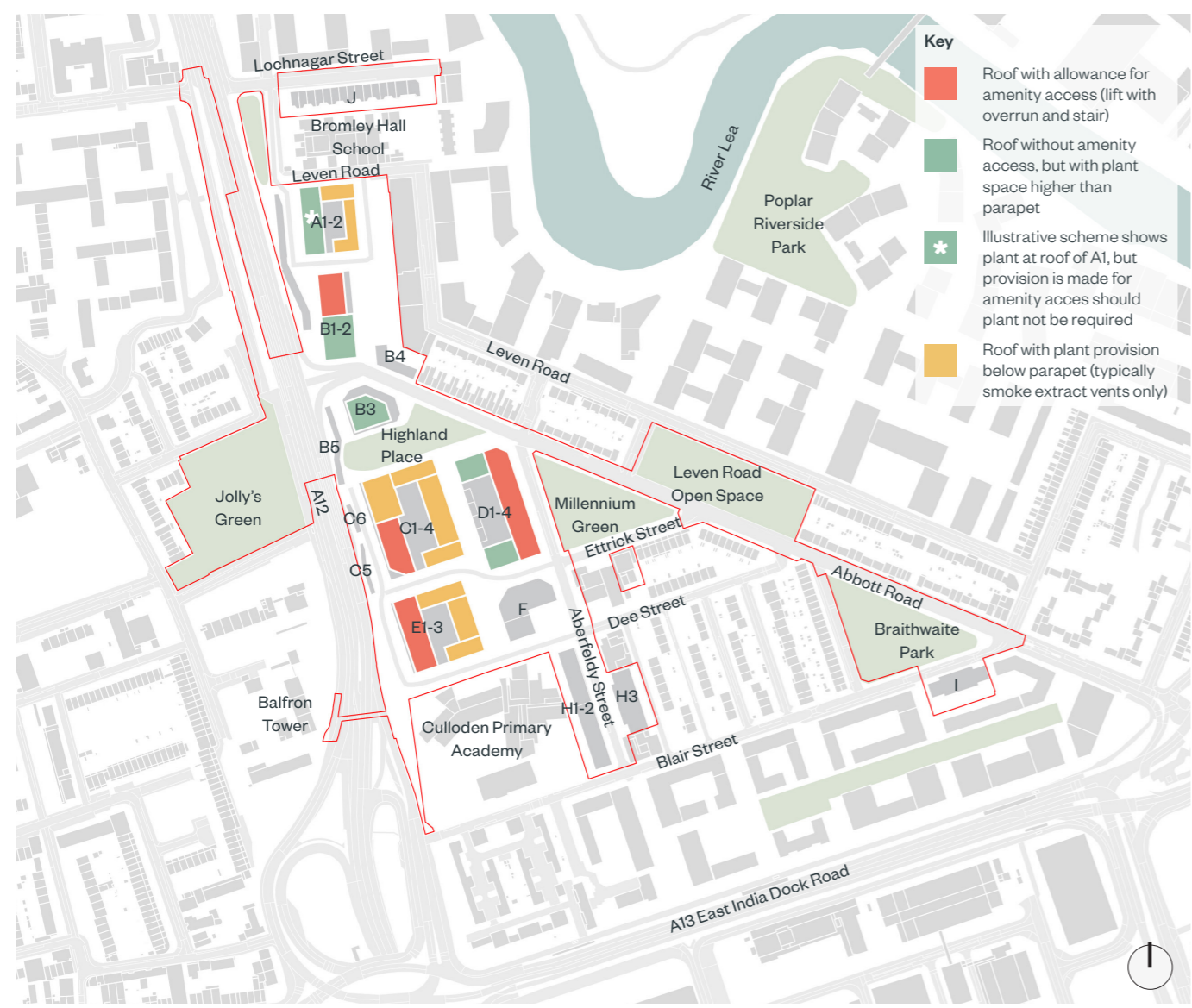


Fig.288 Diagram to illustrate key roof conditions (illustrative plan)

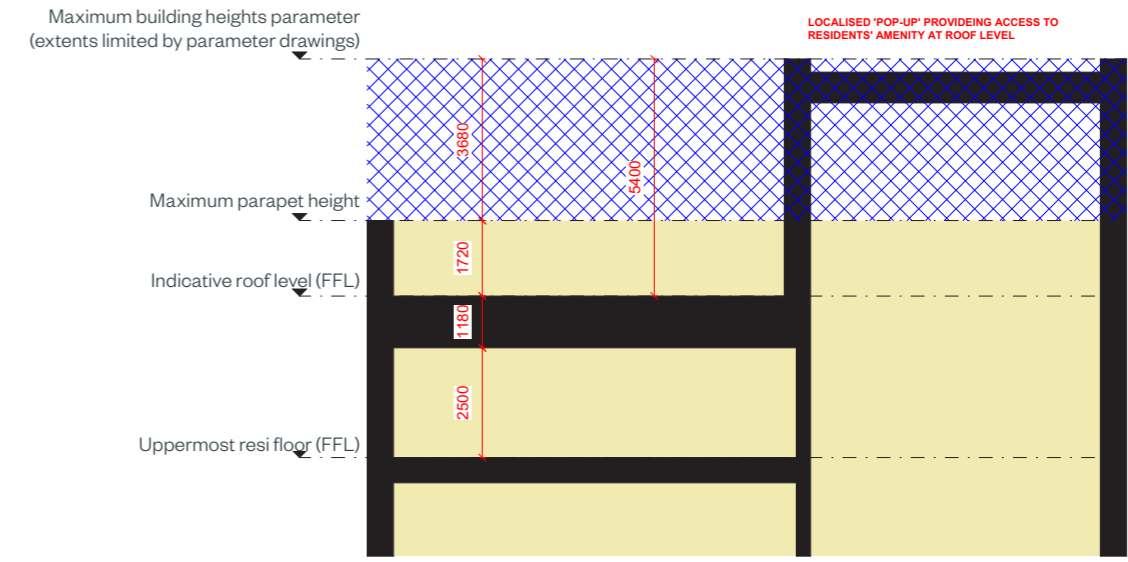


Fig.289 Roof level - with access to residents' amenity

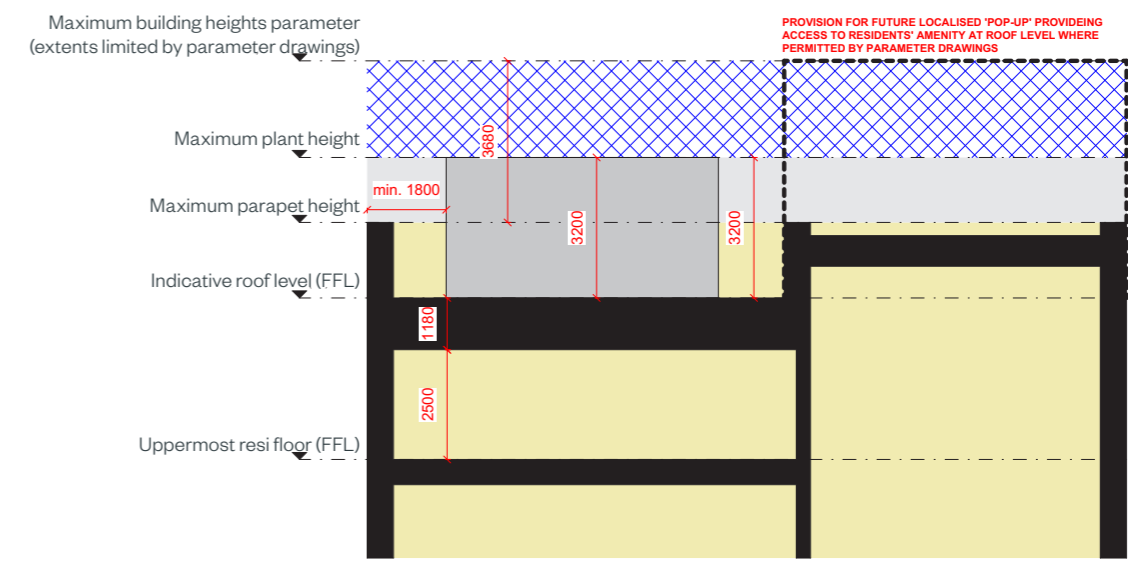


Fig.290 Roof level - plant space protrudes above parapet

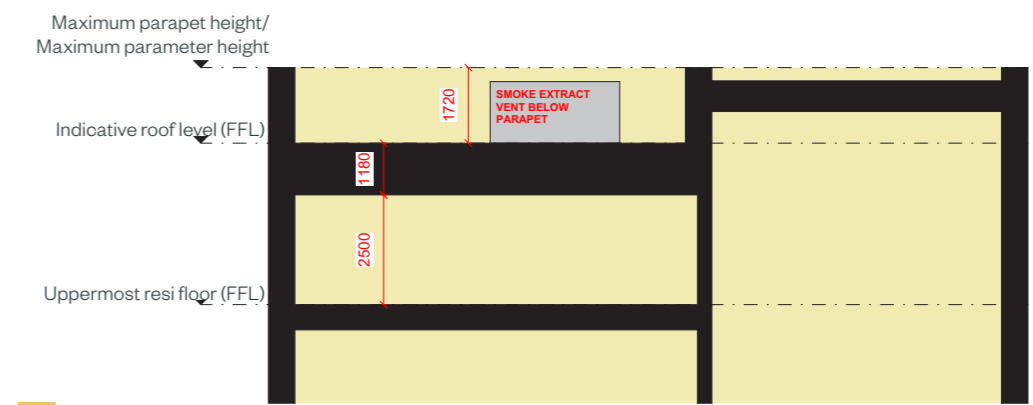


Fig.291 Roof level - with plant below parapet only

## 6.3. Building typologies overview

Sensitively designed buildings respond to a number of varying conditions while making the most of aspect and outlook to provide highest quality homes.

6.3.1. Building typologies are designed to respond to the existing context and to help define new and improved public spaces and character areas. The design of each building type, as well as architectural treatments and internal layouts make the most of the distinct opportunities presented by each part of the Site and mitigate the affects of specific constraints.

6.3.2. To the west of the Site, the A12 is a key constraint and buildings will be designed to provide protection from noise and pollution from this major route.

6.3.3. To the east of the Site, the height of the buildings reduces in response to the scale of the existing homes on adjacent Sites. The masterplan makes the most of its proximity to existing open spaces and seeks to define their edges and improve their setting.

6.3.4. The tallest elements of the scheme are located in a cluster marking the new pedestrian and cycle connection between Highland Place and Jolly's Green.

Further information on plot typologies can be found in Chapter 6 "Buildings" of the "Design and Access Statement: The Masterplan".

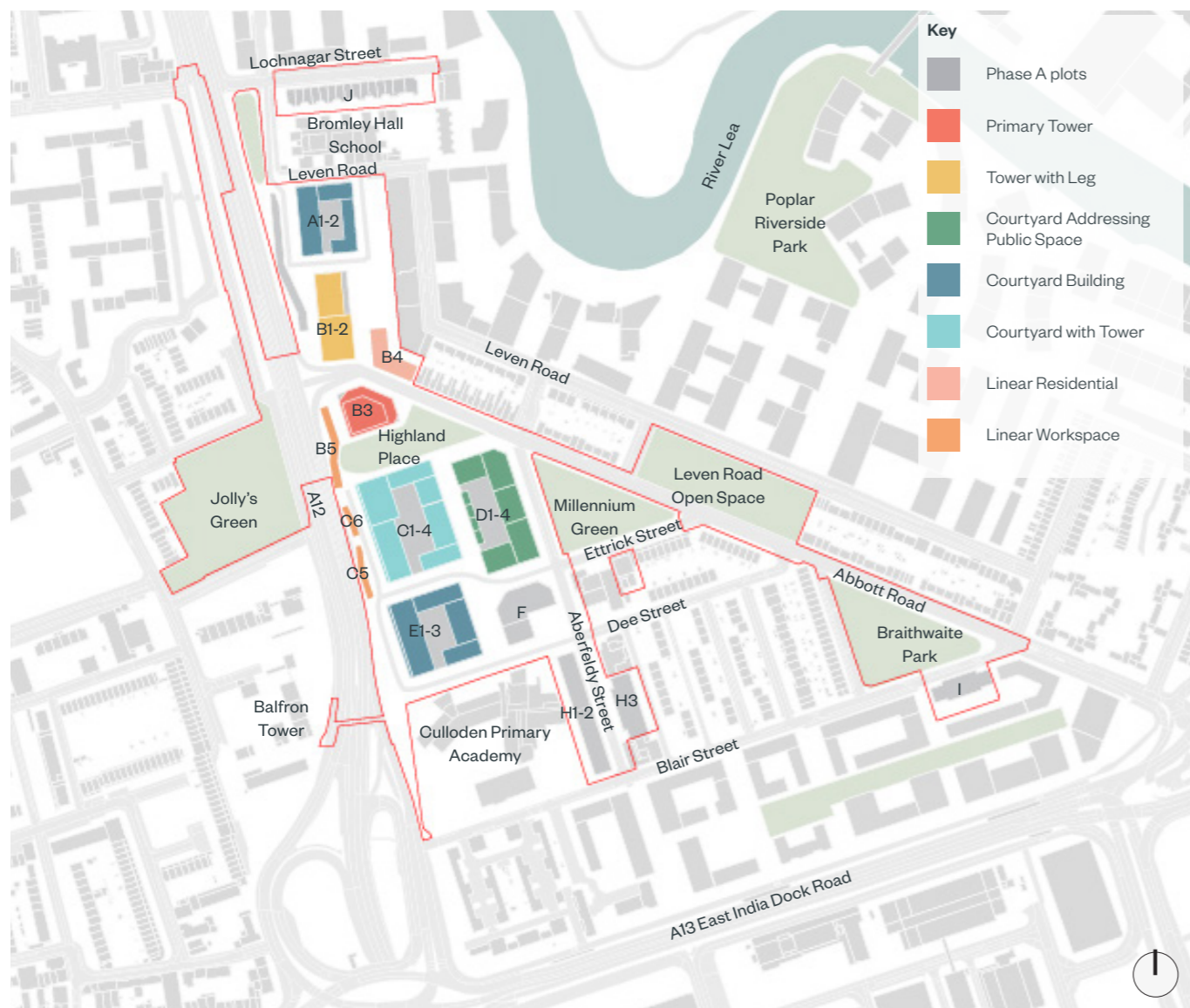
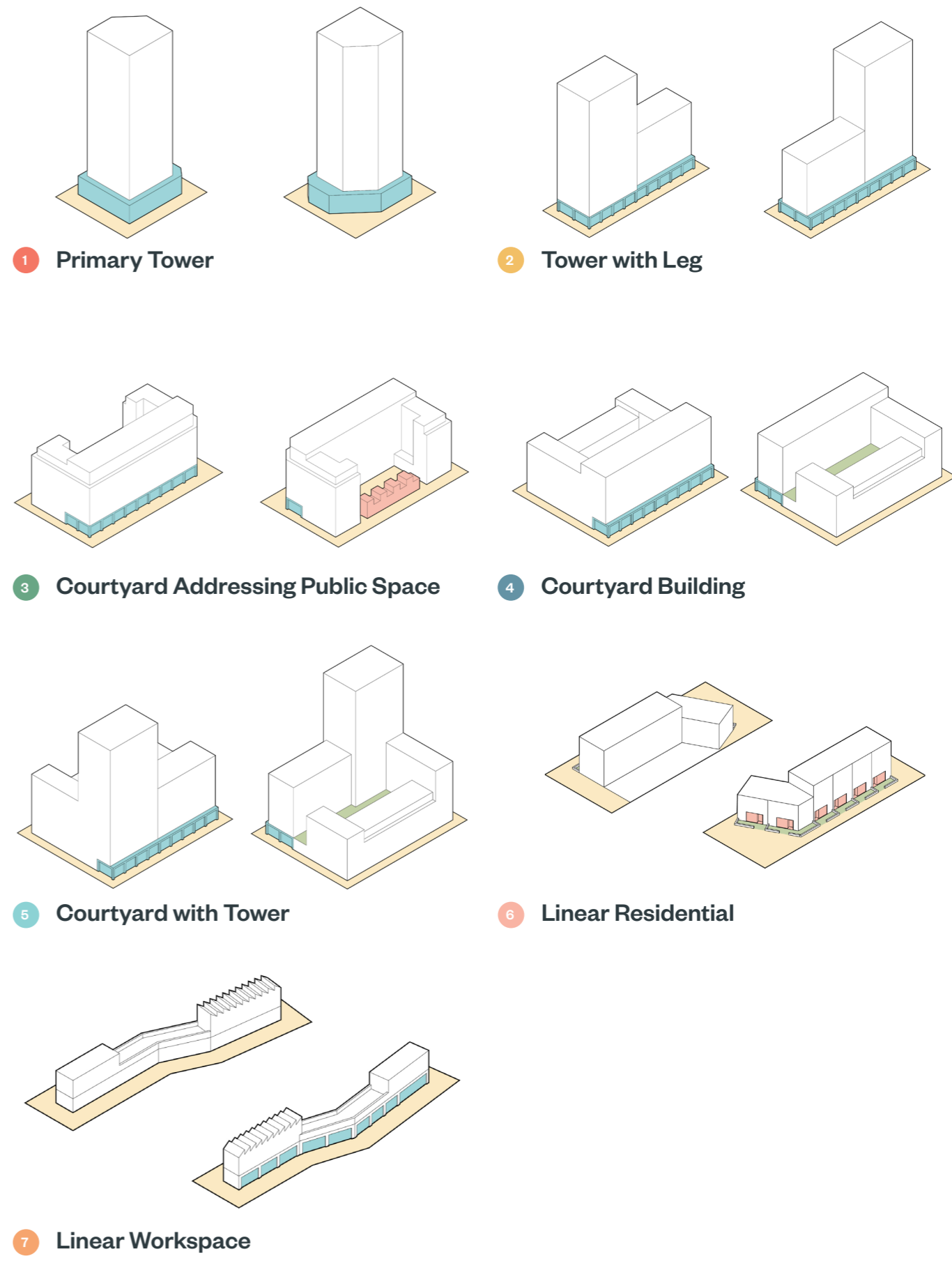


Fig.292 Diagram to illustrate building typologies (illustrative plan)



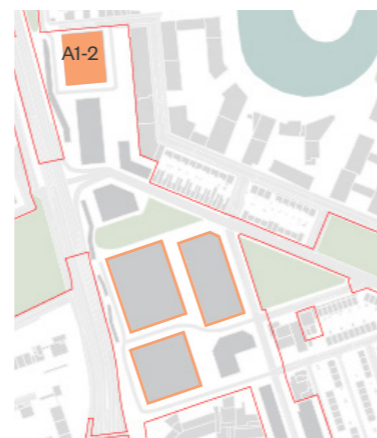
# 6.4. Plots and massing

## Courtyard plots

### Plot A1-2

#### Massing

- 6.4.1. Scale and massing: plot varying between 49.5m AOD along Enterprise Yard and 26.5m AOD along Community Lane, with a medium scale of 33.5m AOD addressing Leven Road.
- 6.4.2. Plant is to be located on the roof of the leg facing Enterprise Yard. All roof terraces and plant spaces, along with access, **must** be contained within the maximum development envelope.
- 6.4.3. The northern leg **must** be designed to respond to Bromley Hall School.
- 6.4.4. Individual private entrances **must** be located to animate Community Lane.
- 6.4.5. Projecting balconies are encouraged along the East West Link, Community Lane and Leven Road. Projecting balconies **must not** be introduced along Enterprise Yard.
- 6.4.6. Pedestrian access to podium **must** be provided from the East West Link and vehicular access to podium **must** be provided from Enterprise Yard.
- 6.4.7. All roof terraces and plant spaces, along with access, **must** be contained within the maximum development envelope.



Location: within Community Lane, Enterprise Yard and East West Links.

Refer to building typology 4 courtyard block. More information on page 230 of this Design Code.

- Key**
- - - Maximum development zone
  - Maximum development envelope (as shown on parameter plan)
  - Illustrative scheme
  - Indicative residential entrance
  - Indicative workspace entrance
  - xxm AOD Maximum AOD (as shown on parameter plan)
  - xx Maximum building height (storeys) - refer to parameter sections for further detail

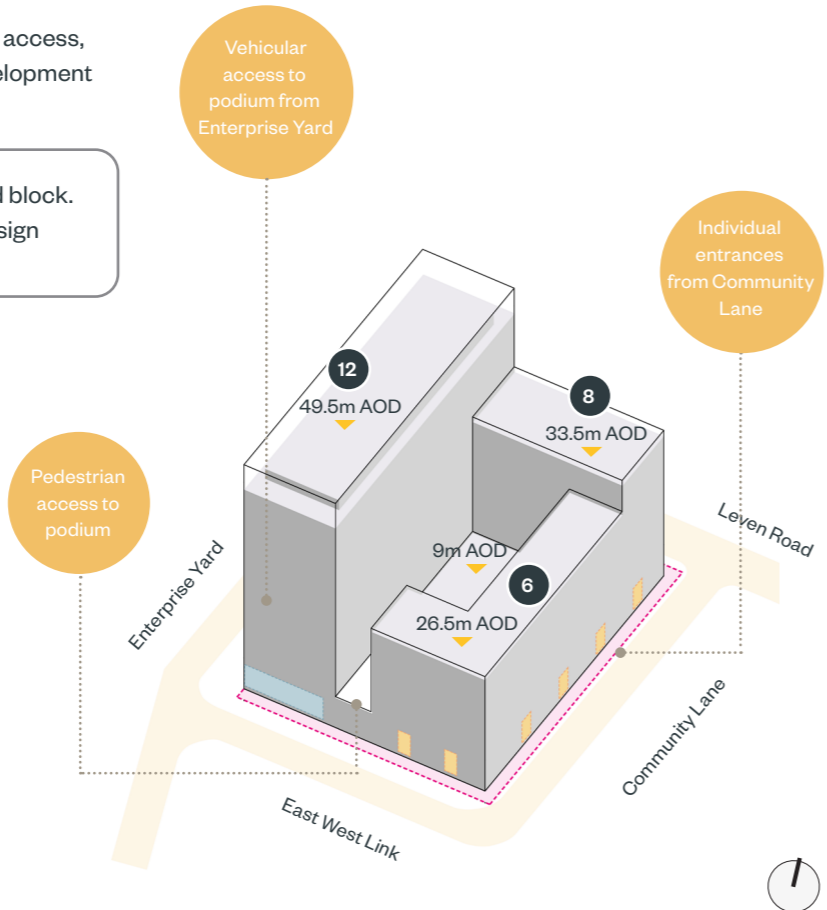


Fig.293 Massing diagram - plot A1-2

## Yards and courts

- 6.4.8. Courtyard **must** provide communal amenity space in accordance with the current LBTH policy. In this location this **must** include playable landscape and dedicated play.
- 6.4.9. Plot A1-2 **should** include a raised semi-private courtyard with stepped access from street level (along the East West Link).
- 6.4.10. As per the 'Building Heights' Parameter Plan (3663-LB-ZZ-ZZ-DR-A-000031), the minimum dimensions of the courtyard **must** be 17m (east-west) and 29m (north-south).
- 6.4.11. For rear private gardens, privacy between immediate neighbouring properties **should** be encouraged through the use of limited screening with planting.
- 6.4.12. For all private amenity spaces soft planted boundaries without high walls and fencing **must** be used on borders with the podium.



Fig.296 Typical podium illustrative sketch

- Key**
- - - Maximum development envelope (as shown on parameter plan)
  - Indicative footpath
  - Indicative landscaped area including playable landscape and dedicated play
  - Indicative lawn area
  - Indicative private garden

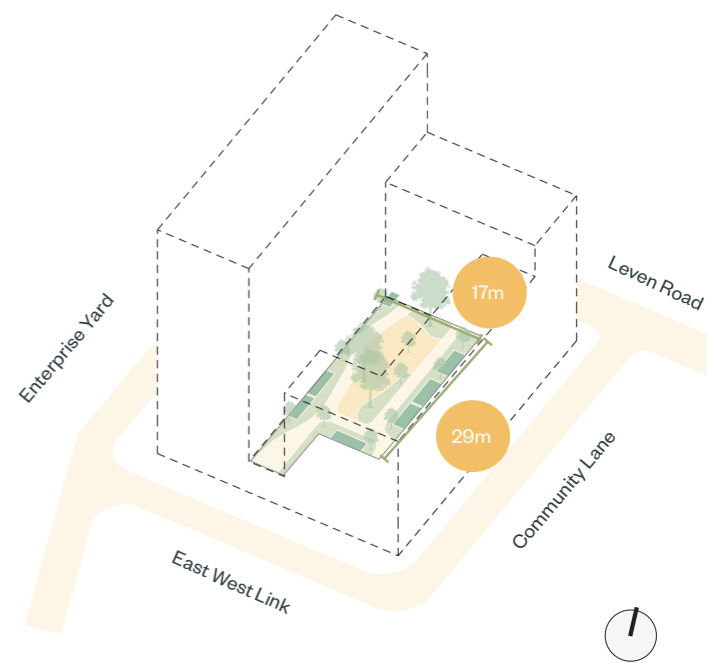


Fig.297 Courtyard diagram - plot A1-2



Fig.294 Planting at a variety of heights and scales



Fig.295 Use of natural play edge

Refer to sections "4.4 Play and independent child mobility" on page 82 and "4.6 Podiums" on page 88 of this Design Code and Chapter 7 "Public realm" of the "Design and Access Statement: The Masterplan" for more information on courtyards.



# 6.4. Plots and massing

## Courtyard plots

### Plot C1-4

#### Massing

6.4.13. Scale and massing: plot varying between 26.5m AOD along Community Lane and the southern East West Link, 33.5m AOD along the northern East West Link and 49.5m AOD along Enterprise Yard.

6.4.14. A double height plinth (11m AOD) **must** be introduced along Enterprise Yard.

6.4.15. Courtyard plot **must** include non-residential uses at ground floor along Enterprise Yard.

6.4.16. The taller leg **must** be located along Enterprise Yard and the lower element along Community Lane. A taller building **must** be located to the north west corner of the plot along Highland Place and relate to tall building within plot B3 and B1-2. The tall building **should** overlook the roof top amenity spaces to be provided on the lower legs.

6.4.17. The parameter plan shows a top floor set back from the façade to reduce the building massing and to respond to the character of Community Lane.

6.4.18. The north wing uses gallery access to minimise single aspect homes and eliminate single aspect north-facing homes in these locations.

6.4.19. Projecting balconies are encouraged along the East West Link, Community Lane and Highland Place. Projecting balconies **must not** be introduced along Enterprise Yard.

6.4.20. All roof terraces and plant spaces, along with access, **must** be contained within the maximum development envelope.



Location: within Community Lane, Enterprise Yard, East West Links and the Healthy Street

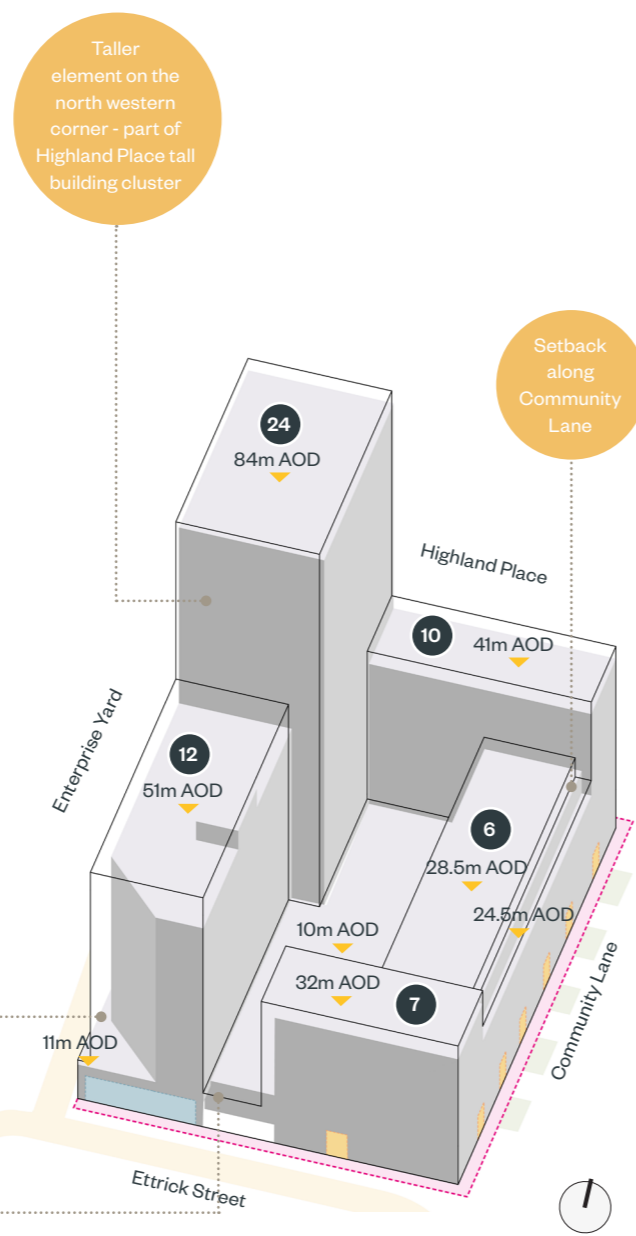


Fig.298 Massing diagram - plot C1-4

Refer to building typology 5 courtyard with tower. More information on page 236 of this Design Code.

- Maximum development zone
- Maximum development envelope (as shown on parameter plan)
- Illustrative scheme
- Indicative residential entrance
- Indicative workspace entrance
- Maximum AOD (as shown on parameter plan)
- Maximum building height (storeys) - refer to parameter sections for further detail

#### Yards and courts

6.4.21. Courtyard **must** provide communal amenity space in accordance with the current LBTH policy. In this location this **must** include playable landscape and dedicated play.

6.4.22. The raised semi- private courtyard **must** include stepped access from street level. Pedestrian access to podium **must** be provided from the southern side and vehicular access to podium from Enterprise Yard.

6.4.23. As per the Building Heights Parameter Plan (3663-LB-ZZ-ZZ-DR-A-000031), the minimum east west width of the courtyard **must** be 18m to the north at the narrowest point and 23m to the south.

6.4.24. As per the Building Heights Parameter Plan (3663-LB-ZZ-ZZ-DR-A-000031), the minimum dimensions of the courtyard **must** be 17m (east west) and 29m (north south).

6.4.25. For rear private gardens, privacy between immediate neighbouring properties **should** be encouraged through the use of limited screening with planting.

6.4.26. Lawn **should** be provided where sunlight levels and space allows.

Refer to sections "4.4 Play and independent child mobility" on page 82 and "4.6 Podiums" on page 88 of this Design Code and Chapter 7 "Public realm" of the "Design and Access Statement: The Masterplan" for more information on courtyards.

- Maximum development envelope (as shown on parameter plan)
- Indicative footpath
- Indicative landscaped area including playable landscape and dedicated play
- Indicative lawn area
- Indicative private garden



Fig.301 Courtyard diagram - plot C1-4



Fig.299 Range of spaces from intimate to more open



Fig.300 Playful paths and loops