

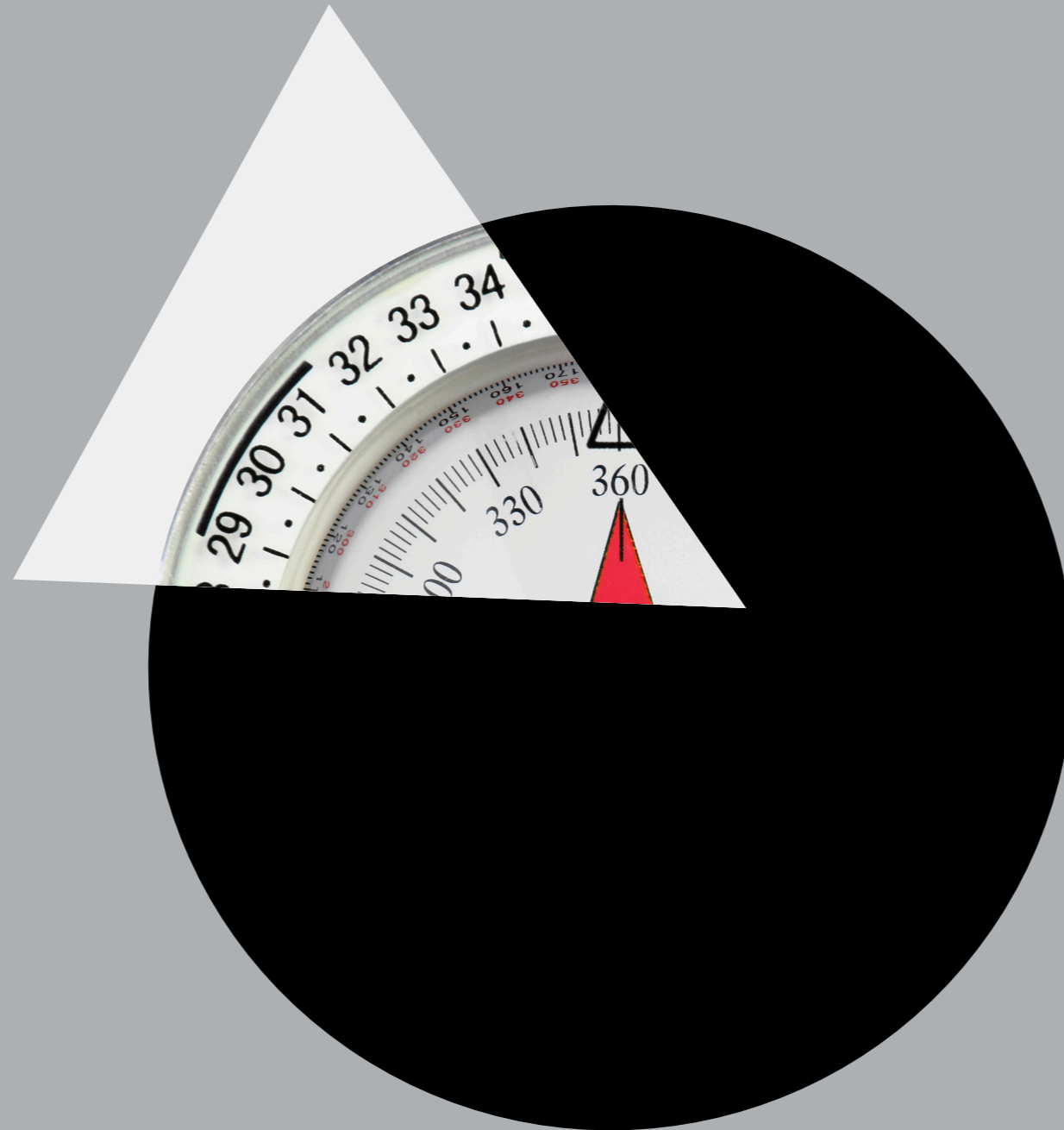
Appendix 4: Supplementary Documents

**Revised Redline
Winter Garden Plan
Playspace Plan
Revised Principal Public Realm Areas Map
Revised Indicative Demolition and Construction Programme
Wind Microclimate Note
Jolly's Green Ecology Addendum
Climate Change Note
Revised Cumulative ZVI
Air Quality Technical Note**

Aberfeldy Village Masterplan, London E14

Zone of Theoretical Visibility

April 2022



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Aberfeldy Village Masterplan, London E14

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Client

The Aberfeldy New Village LLP

Architect

Levitt Bernstein and Morris + Company

Townscape Consultant

The Townscape Consultancy

Heritage Consultant

KMHeritage

Visualisation

Millerhare

1 Zone of Theoretical Visibility Study

Introduction

1.1 The following Zone of Theoretical Visibility (ZTV) has been prepared in support of the development by The Aberfeldy New Village LLP (The 'Applicant') at Aberfeldy Village.

1.2 A ZTV, also referred to as a Zone of Visual Influence or Viewshed, objectively calculates the theoretical visibility of a development across a defined study area. It then illustrates locations within the study area from which any part of the development is theoretically visible.

1.3 The analysis does not assess the qualitative nature or magnitude of visibility and should therefore be supported by other methods of visual impact assessment.

Methodology

1.4 A 3D representation of the terrain, buildings and other built structures across the study area is assembled. The data used in this analysis is derived from commercially available 3D models licensed to Millerhare and is typically accurate to within 0.25m-0.50m.

1.5 The terrain model is extracted from the data and is raised by 1.6m to simulate the average eye level of a pedestrian. Typically, the screening effect of trees, hedges or fences is not taken into account; nor is the impact of curvature of the earth.

1.6 Typically trees are not included in the analysis as 3D tree data has several limitations, which can result in over-represented visibility. The size, profile and location of tree canopies has a low level of accuracy, and no account is taken of the seasonal change in canopy density.

1.7 These context models are combined with a model of the development being studied. A series of lights are placed at the upper extremities of the development and a record is made of areas on the raised ground plane that are illuminated by one or more of these light sources. These areas are then overlain onto an OS plan and shown in a coloured tone.

1.8 Eight Zones of Theoretical Visibility have been calculated. The first two assess visibility of the development within a 2km radius of the development site. Of these, one diagram assesses visibility in the context of existing buildings while a second factors in buildings included in the cumulative assessment scenario. Two diagrams then illustrate proposed and cumulative visibility from Silvertown.

1.9 The final four analyses calculate visibility from within the Maritime Greenwich World Heritage Site. Two studies assess visibility in the existing condition, while two assess visibility in the cumulative scenario. A version of each has been produced that takes the indicative impact of trees into account.

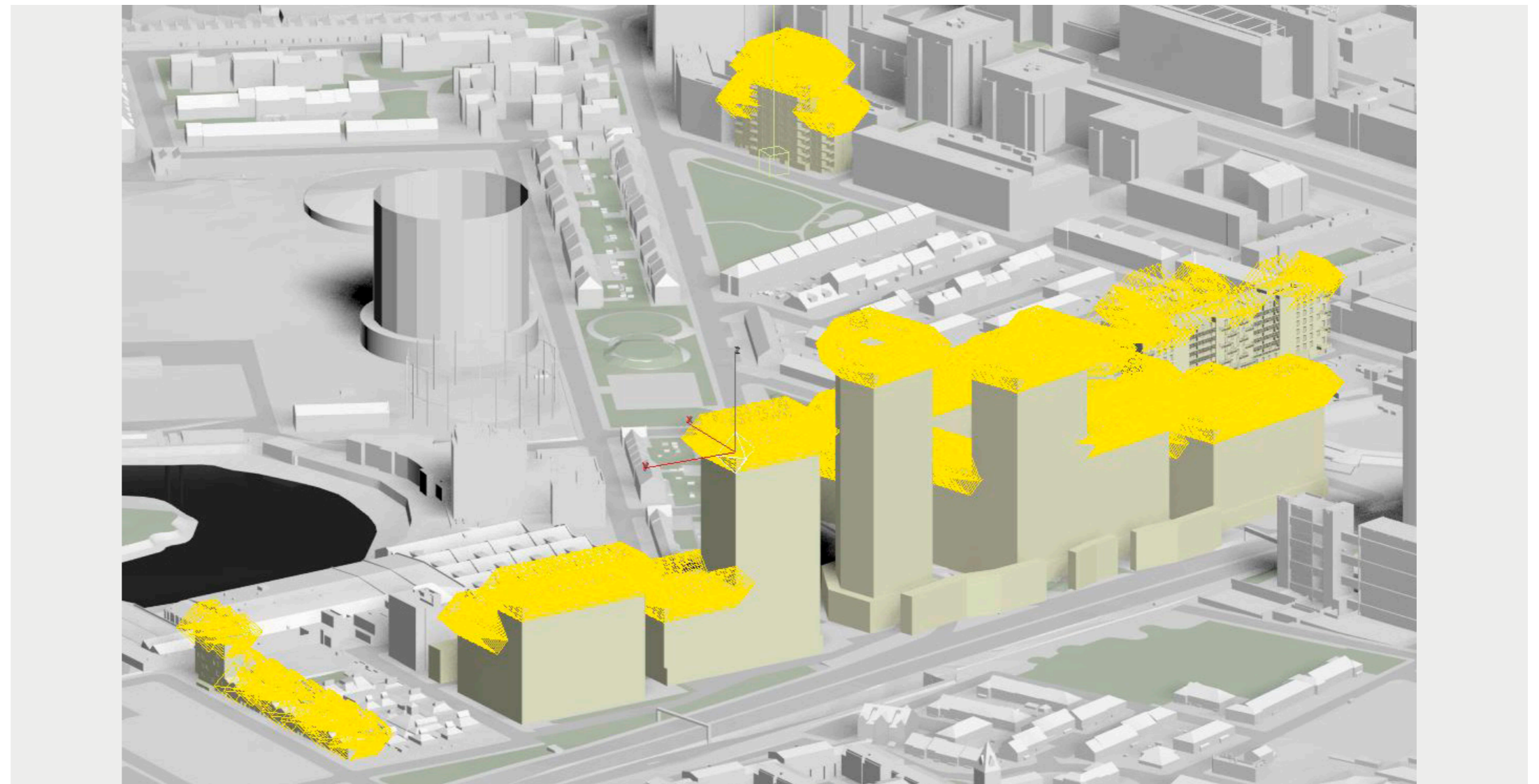
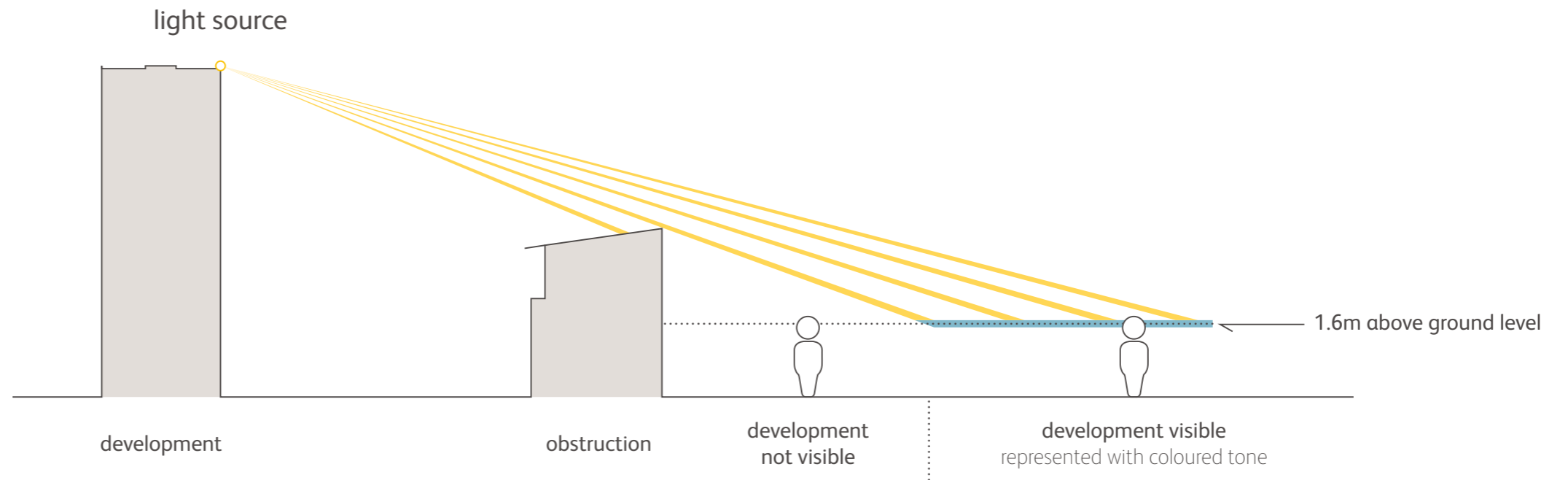


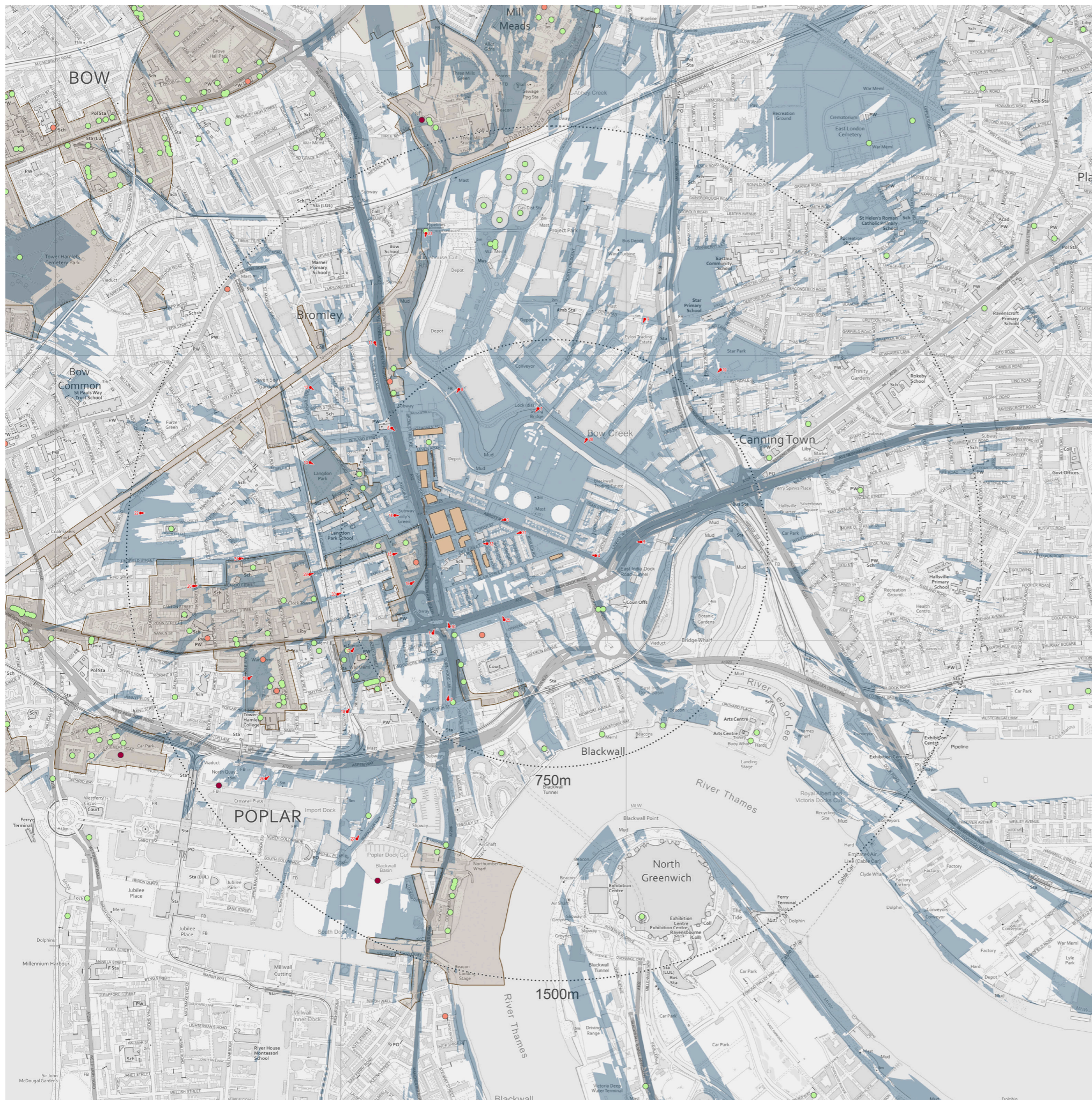
Fig 1: Model Overview (Millerhare ref: detail210831-lb-proposed-phasea)






TVIA Viewpoints

Number	Description	Number	Description
1	South of East India Dock Road	26	Upper Bank Street
2	Junction of Robin Hood Lane and Poplar High Street	27	Trafalgar Way
3	Abbott Road / Ettrick Street	28	South side of Bow Creek
4	Portree Street, junction with Abbott Road	29	Chrip Street, looking along Willis Street
5	LBTH borough designated view 6: View from East India Dock Road to Balfon Tower & Canary Wharf in the background	30	A12, junction with East India Dock Road, looking north
6	A12, junction with Zetland Street	31	Dee Street / Abbott Road
7	Riverside footpath north of River Lea / Bow Creek	32	Dee Street, midway
8	Bow Creek / River Lea bridge	33	Brownfield Street, outside no.30
9	Cody Road	34	Memorial Recreation Ground
10	Star Lane Park		
11	A12, junction with Teviot Street		
12	Uamvar Street		
13	LBTH borough designated view 5: View from Langdon Park to Balfon Tower & Canary Wharf in the background		
14	Jolly's Green		
15	St Leonards Road		
16	Pedestrian path from A102 / St Leonards Road		
17	All Saints Churchyard, inside west entrance gates		
18	Poplar High Street, bridge over railway tracks		
19	Poplar Recreation Ground		
20	Upper North Street		
21	Cordelia Street		
22	Bartlett park		
23	Twelvetrees Crescent, bridge over River Lea and Bow Creek		
24	LVMF 5A.1 — Greenwich park: the General Wolfe statue — at the orientation board		
25	Nutmeg Lane		

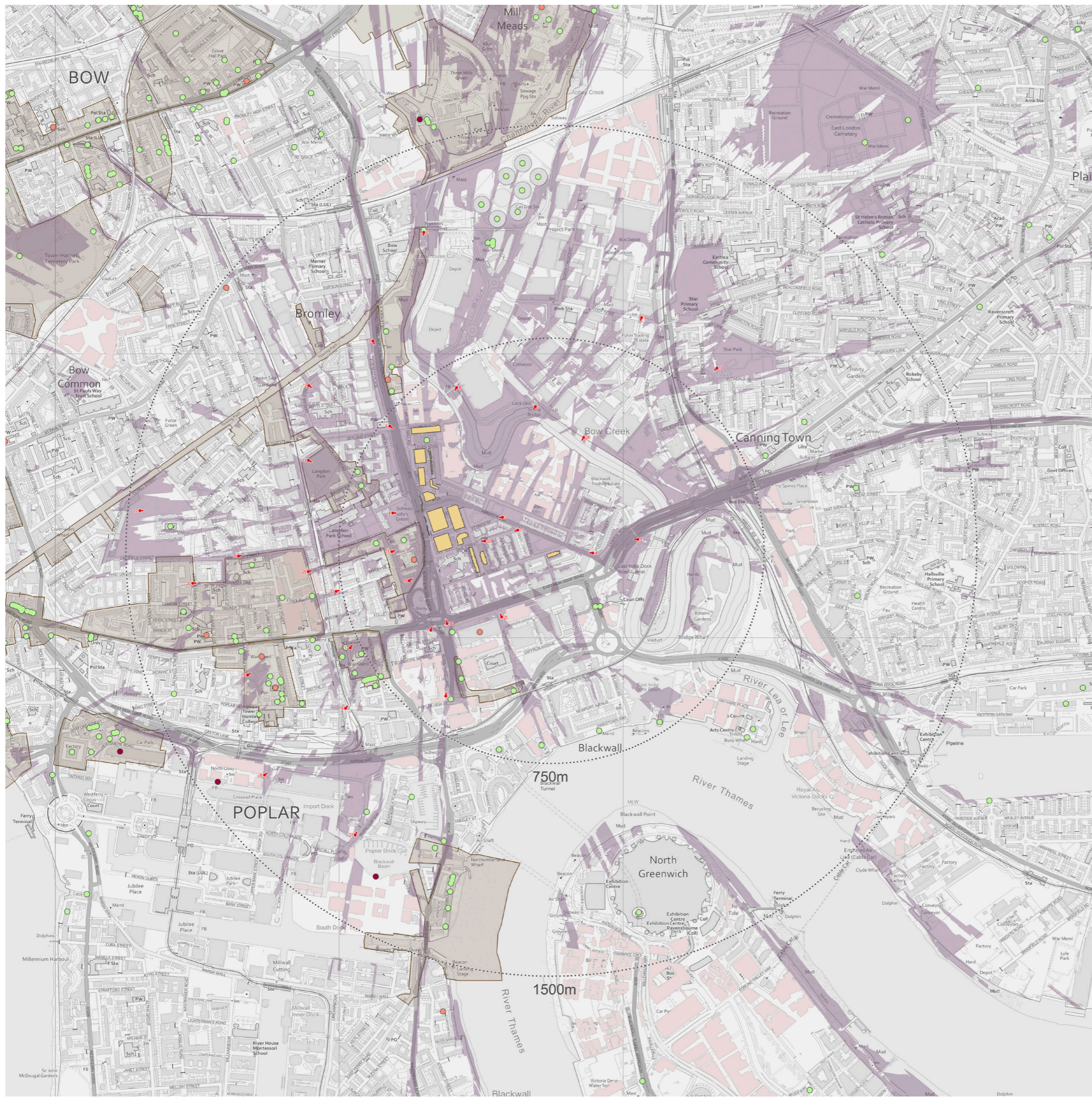
2 Central Study Area

Proposed Condition



-  Proposed Building
-  Conservation Area
-  Listed Building: Grade II
-  Listed Building: Grade II*
-  Listed Building: Grade I

Plan diagram showing areas of visibility.



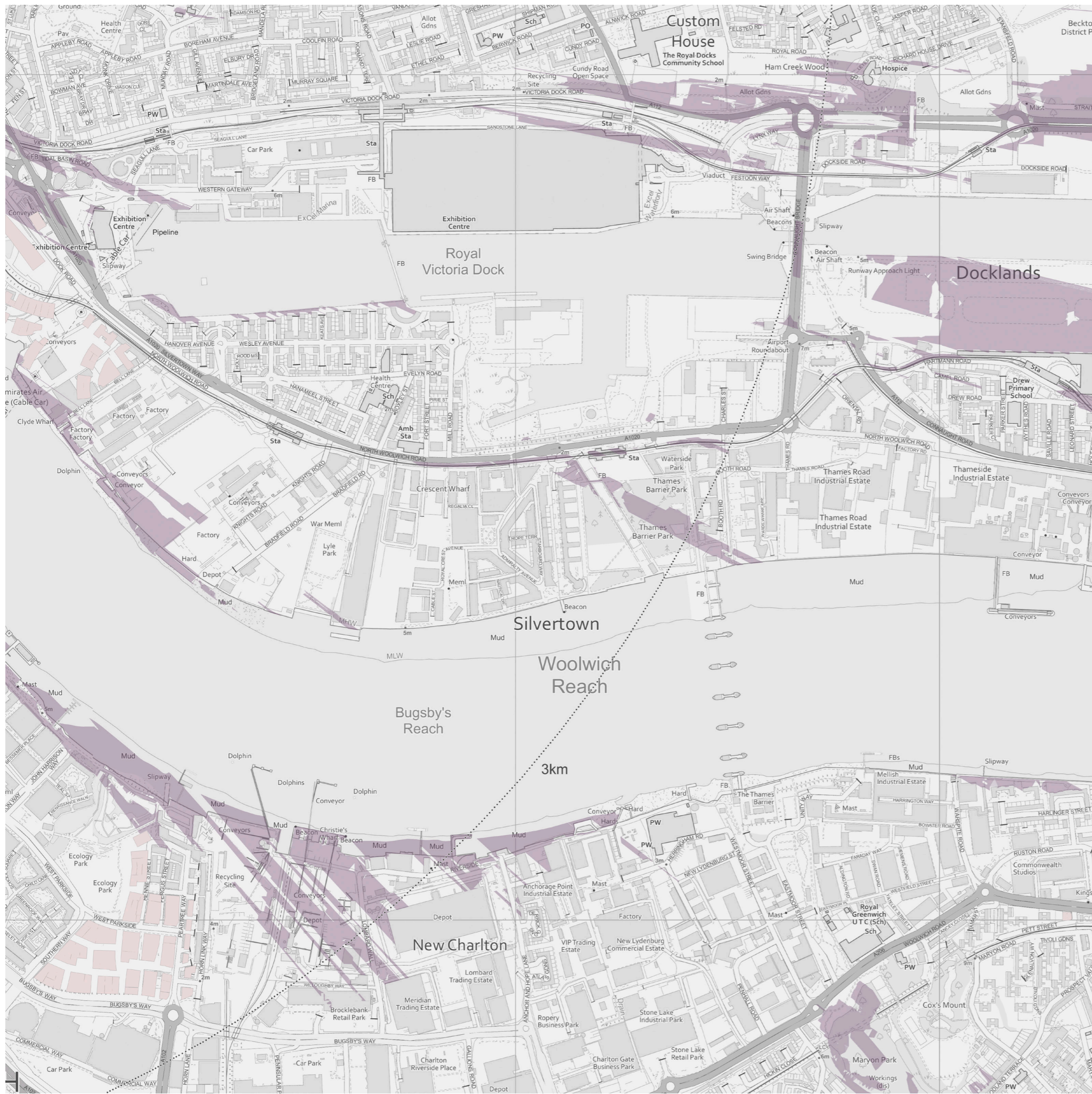
Cumulative Condition

- Proposed Building
- Cumulative Scheme
- Conservation Area
- Listed Building: Grade II
- Listed Building: Grade II*
- Listed Building: Grade I

Plan diagram showing areas of visibility.



Plan diagram showing areas of visibility.

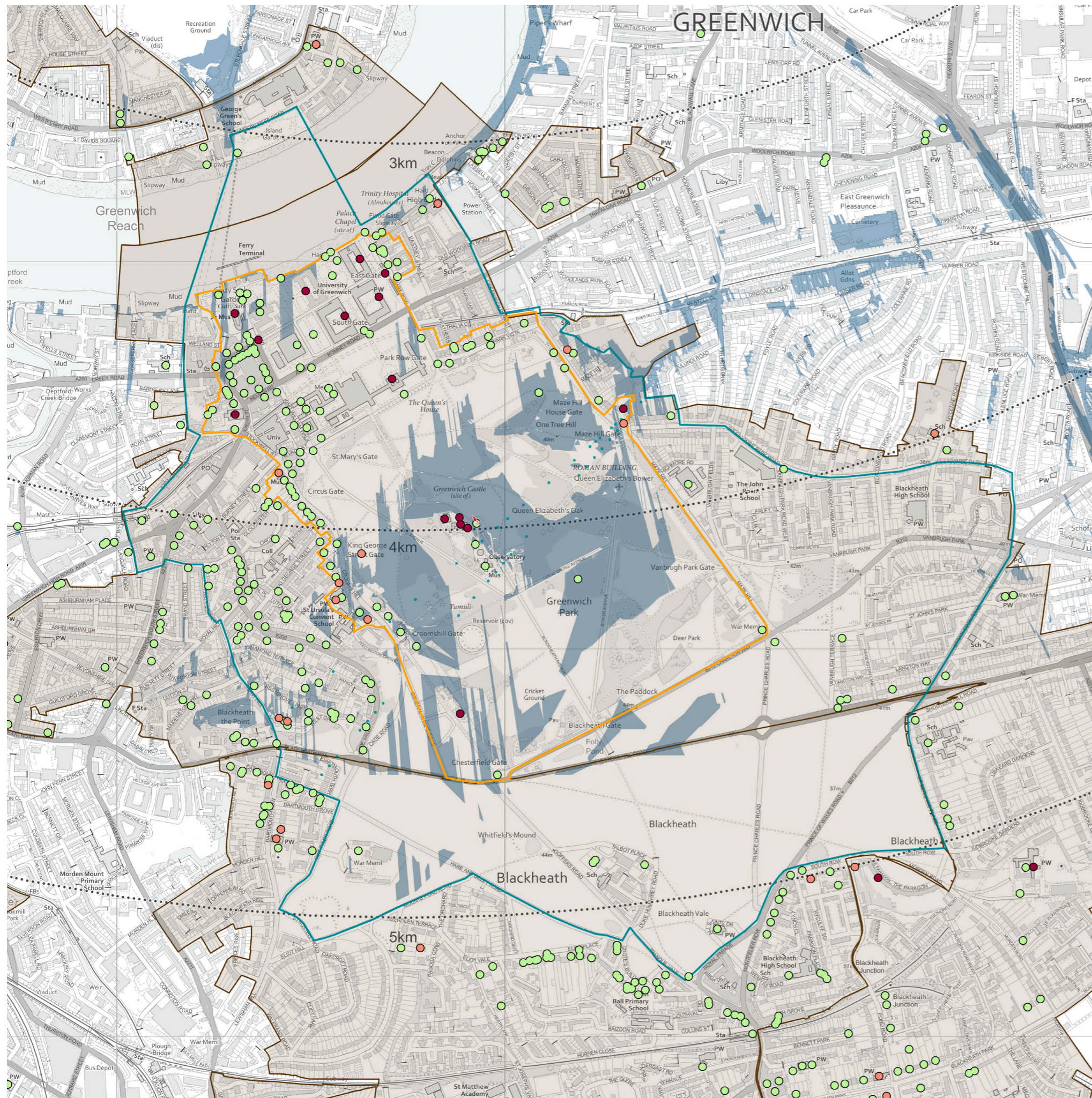


Cumulative Condition

4 Maritime Greenwich World Heritage Site

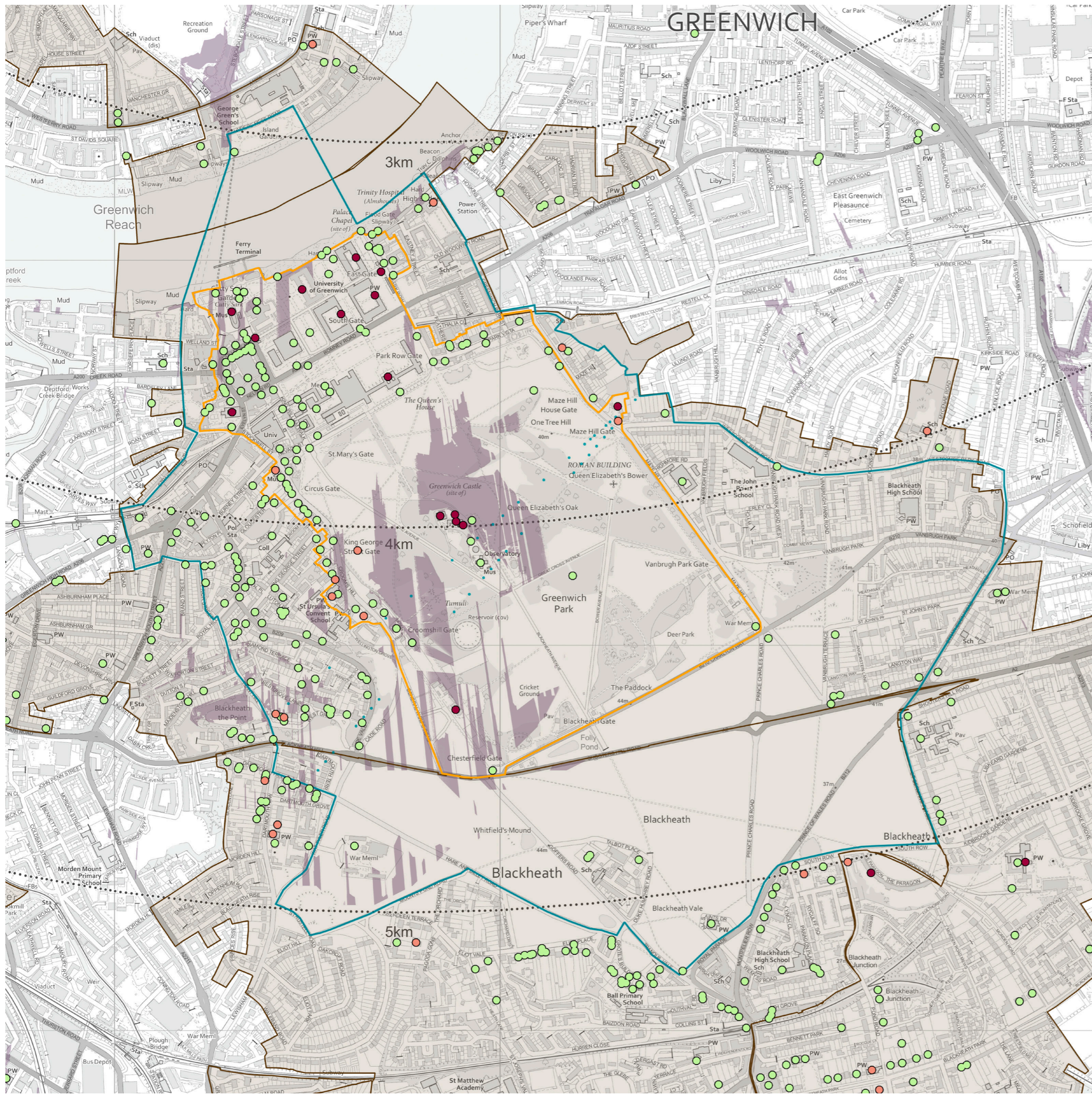
Proposed Condition

No account taken of the impact of trees



- Maritime Greenwich World Heritage Site
- Maritime Greenwich World Heritage Site - Buffer Zone
- Proposed Building
- Conservation Area
- Listed Building: Grade II
- Listed Building: Grade II*
- Listed Building: Grade I

Plan diagram showing areas of visibility.

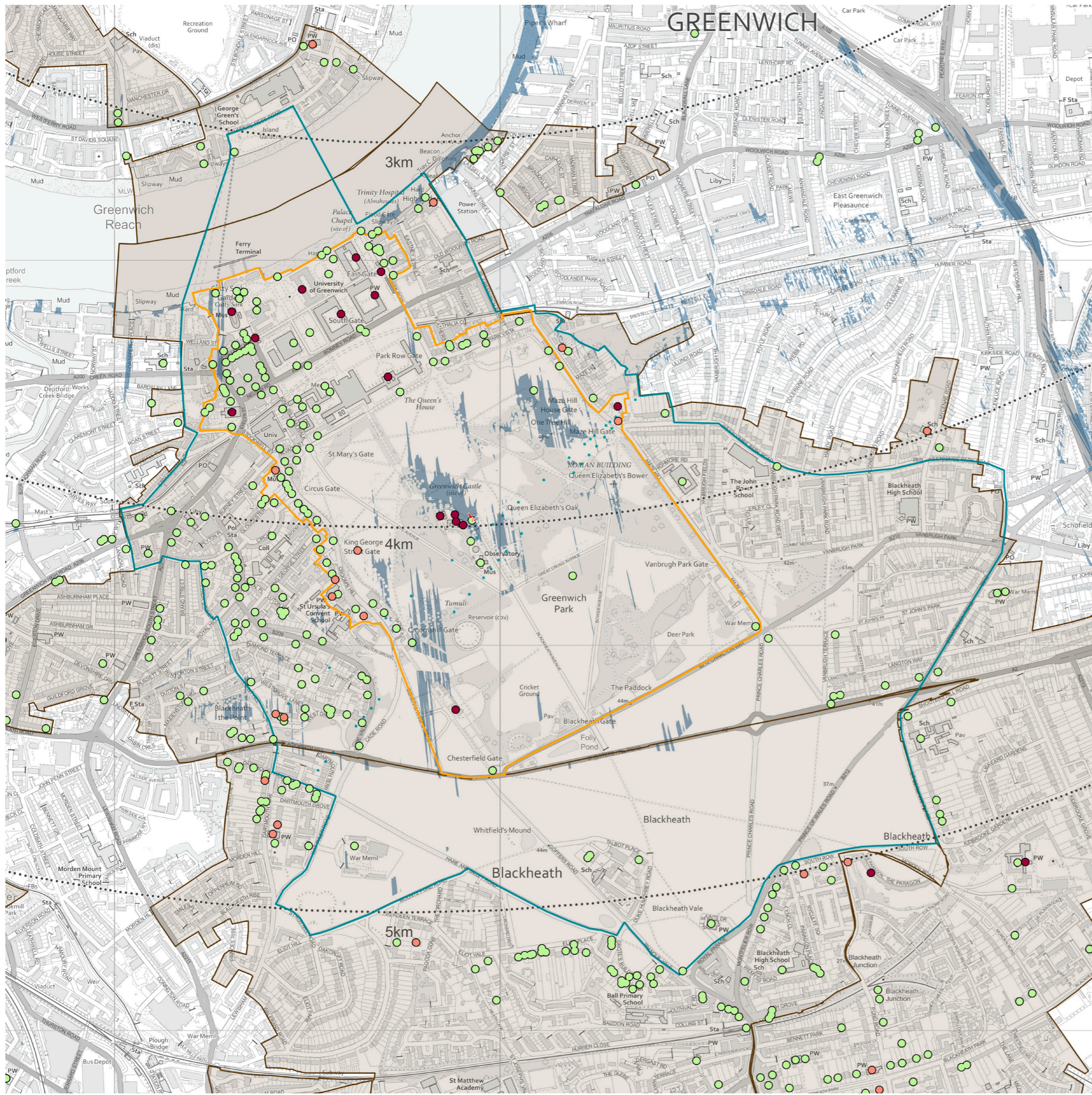


Cumulative Condition

No account taken of the impact of trees

- Maritime Greenwich World Heritage Site
- Maritime Greenwich World Heritage Site - Buffer Zone
- Proposed Building
- Cumulative Scheme
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Plan diagram showing areas of visibility.

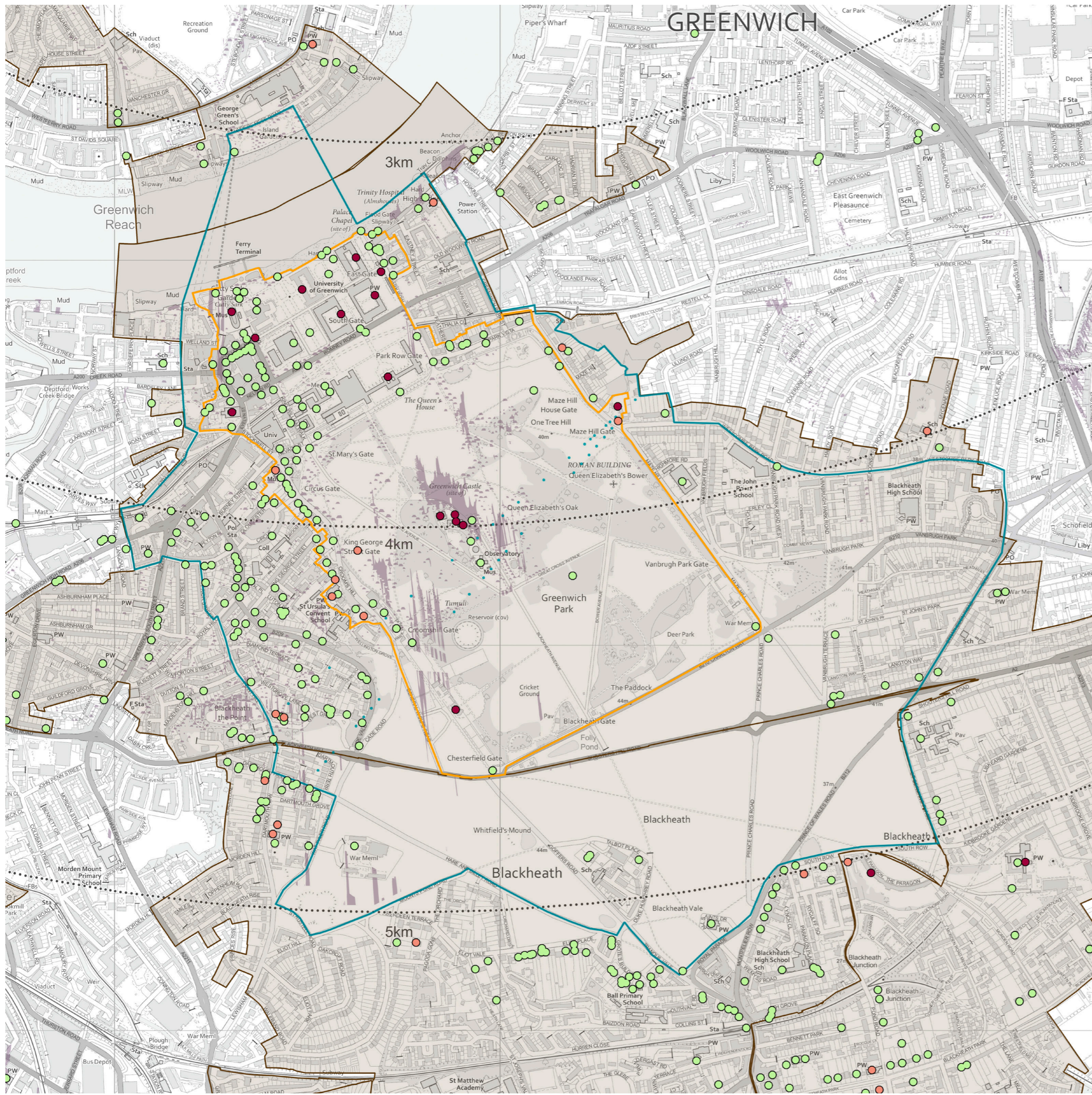


Proposed Condition

Illustrative impact of trees taken into account

- Maritime Greenwich World Heritage Site
- Maritime Greenwich World Heritage Site - Buffer Zone
- Proposed Building
- Conservation Area
- Listed Building: Grade II
- Listed Building: Grade II*
- Listed Building: Grade I

Plan diagram showing areas of visibility.



Cumulative Condition

Illustrative impact of trees taken into account

- Maritime Greenwich World Heritage Site
- Maritime Greenwich World Heritage Site - Buffer Zone
- Proposed Building
- Cumulative Scheme
- Conservation Area
- Listed Building: Grade II
- Listed Building: Grade II*
- Listed Building: Grade I

Plan diagram showing areas of visibility.

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