

5.3. The High Street



Fig.186 Proposed view showing the Town Square - Phase A



Fig.187 Illustrative view Kirkmichael Road - Phase A

Soft landscape

5.3.57. Trees and ground flora planting **must** be included in the streetscape and Square.

5.3.58. Planting within Aberfeldy Street North should relate to the detailed proposals within Phase A.

5.3.59. Tree Species **must** be a mix to ensure biosecurity and **should** be selected from the following species:

Aberfeldy Street and The Town Square:

- Platanus x hispanica, London Plane
- Platanus orientalis, Oriental Plane



Detailed information on key public spaces and soft landscape can be found in Chapter 7. "Public realm" of the "Design and Access Statement: Detailed Proposals" to be delivered as part of the first phase of the development.

All trees **must** be semi-mature when planted.

Planting within the square **will** be colourful and vibrant to reflect the bright colours of the kantha used in the successful high street meanwhile scheme.

Planting along Aberfeldy Street **should** be of woodland understorey character to contrast the Square and compliment the large existing Plane trees.

5.3.60. Kirkmichael Street will be delivered as part of Phase A detailed proposals, and will include:

- Pyrus Chanticleer;
- Sorbus hupehensis;
- Sorbus aucuparia Fastigiata.



- 1 London Plane
- 2 Oriental Plane
- 3 Tibetan Cherry
- 4 Sargent's Cherry
- 5 Bird Cherry



More information on soft landscape can be found in section "4.3. Green space and infrastructure" on page 76 of this Design Code.

5.3. The High Street

Material palette

Materiality and detail

5.3.61. The High Street will incorporate retail units of a mix of sizes, as other uses such as cafés and restaurants, at ground floor level with residential accommodation above.

5.3.62. The architectural language, material and detail of the buildings on Aberfeldy Street which will delivered as part of the Outline Proposals **must** respond to Phase A.

5.3.63. The building **must** meet the ground with a base in a contrasting material. Colour and motif **should** be incorporated and this **should** respond to and compliment Phase A buildings. The base **must** be distinct in architectural expression from any plinth or base used in other areas of the scheme such as Highland Place or Enterprise Yard.

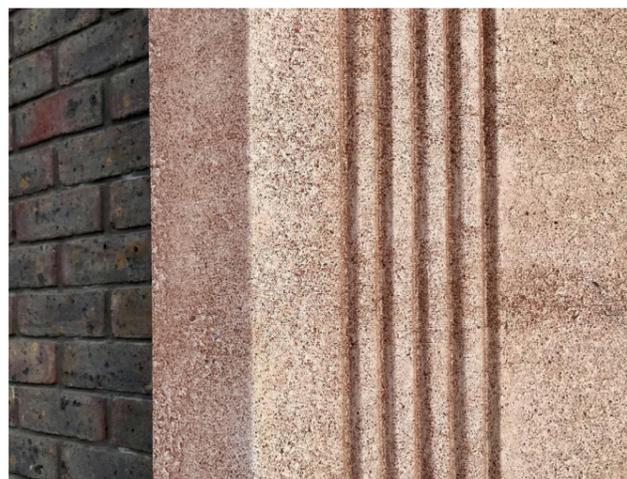


Fig.188 Concrete in a warm tone with cast-in motif

5.3.64. At the upper levels, the façade **should** be predominantly in pale brick to respond to Building I, with articulation through the use of contrasting brick bonds and/or mortar colours or the introduction of concrete details.

5.3.65. Balconies at upper levels **should** be in metal and colours **should** compliment the primary façade materials.



Fig.189 Pale concrete base with sculptural residential entrance



Fig.190 Pale brick with variation in bond



Fig.191 Elegant metal balcony with PPC finish

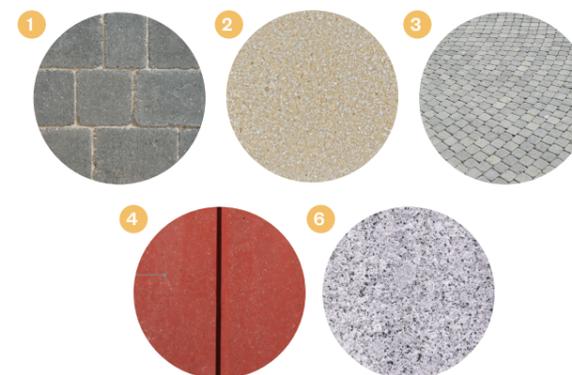
Public realm material palette

5.3.66. The material palette within Aberfeldy Street north **must** relate to the detailed proposals within Phase A (including Aberfeldy Street south, Kirkmichael Street and the Town Square). These are shown on the right hand side.

5.3.67. The material palette in the public realm **must** be consistent with previous phases of Aberfeldy Street. It **should** be as follows:

Aberfeldy Street:

1. Carriageway (Aberfeldy Street): Concrete Tegula Block paving
2. Footways: Perfecta Flag paving
3. Landscape Zone: Concrete Tegula Cobbles
4. Residential Building Edge: Coloured precast concrete units
5. Raised Tables and Unified-Surface Junctions: Concrete Tegula Block paving
6. Kerbs: Granite Kerbs (Silver grey)

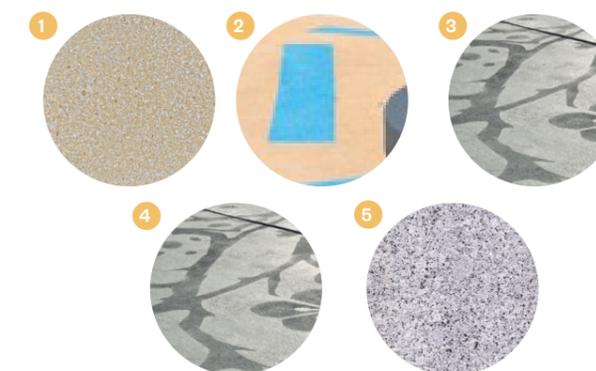


Detailed information on can be found in the "Design and Access Statement: Detailed Proposals" and supporting documents to be delivered as part of the first phase of the development.

More information on material selection can be found in section "4. 8. Hardscape" on page 92 of this Design Code.

Kirkmichael Street (part of Phase A Detailed Proposals):

1. Footways: Perfecta Flag paving – 400x400mm
2. Play Street: Patterned Wetpour safety surfacing
3. Active and Residential Thresholds: Etched concrete
4. Planting Edging: 100mm raised Metal edge
5. Kerbs: Granite Kerbs (Silver grey) - 200mm wide



The Town Square (part of Phase A Detailed Proposals):

1. Footways: Perfecta Flag paving – 400x400mm
2. Central Zone: Granite paving – Pattern of granite setts (Dark, Mid and Light Grey) 80x80mm
3. Market Zone: Etched concrete
4. Active and Residential Thresholds: Etched concrete
5. Kerbs: Granite Kerbs (Silver grey) - 200mm wide

5.3.68. The quality of the street will be significantly influenced by the public realm material palette. In order to create an appropriate character for Aberfeldy Street a high quality of material and planting has been selected.



5. 4. Enterprise Yard

A creative link which offers opportunities for local and independent businesses, whilst improving north-south connectivity

Vision

5.3.69. Enterprise Yard is the new north-south street running parallel to the A12 and connecting with Poplar Works to the north and Blair Street to the south. It builds on the rich mix and the history of the area celebrating the diversity and heritage of the Aberfeldy and Nairn Street Estate.

5.3.70. The masterplan layout provides up to four storey non-residential buildings along the A12 to activate this street.

5.3.71. The buildings to the east of Enterprise Yard are residential courtyard buildings with non-residential uses at ground floor to ensure an active frontage along the yard.

5.3.72. This north-south link has a strong industrial character that will be expressed in the public realm, as well as through the architectural language. Enterprise Yard is a shared surface for pedestrians, cyclists and vehicles, reflecting the character of traditional industrial streets and yard spaces.

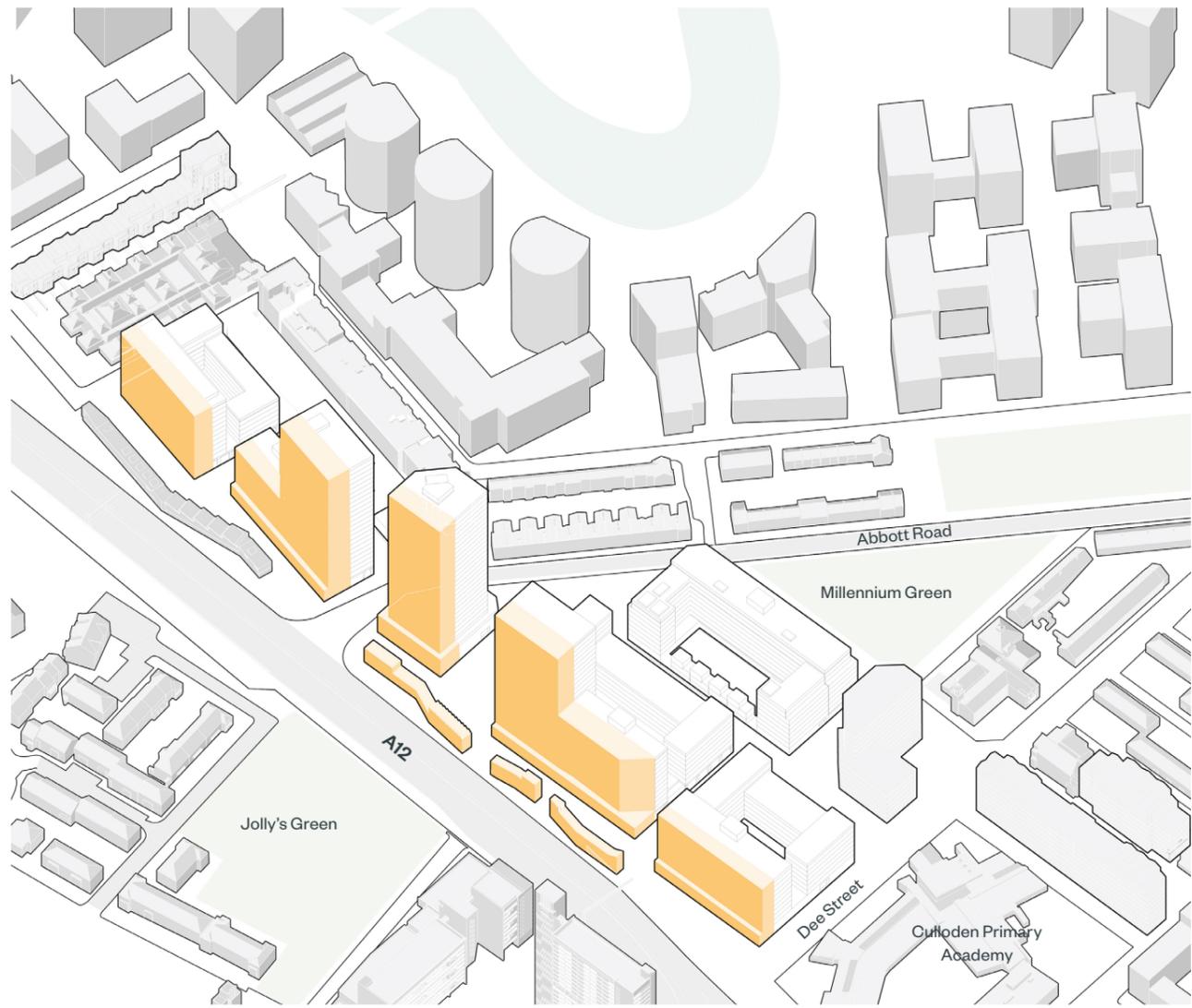


Fig.192 Enterprise Yard character area

Scale and massing



Taller buildings along the A12 mark key wider area connections and routes, allowing a variety of buildings of differing scale and character across the masterplan to create variety and identity.

Building frontages



Double height space at the ground floor of the residential buildings which allows additional workspace to activate Enterprise Yard.

Thresholds



A hard surfaced route with a yard character and opportunities for businesses to spill out onto the street.

Landscape



Landscaped buffer between the A12 and the industrial buildings along Enterprise Yard.



Fig.193 Illustrative visualisation of Enterprise Yard looking north

Material palette

