

# Facades

## Elevations

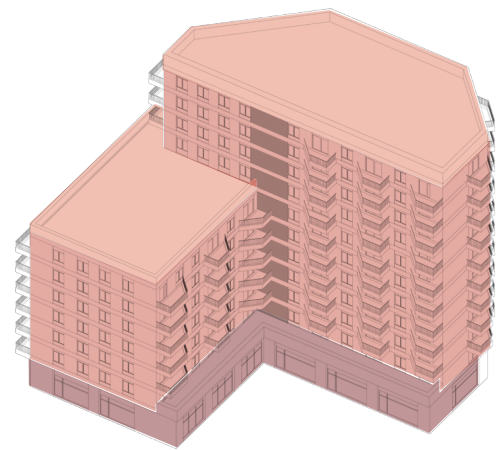
### Composition

The stepped mass employs a tripartite composition of plinth, middle and crown.

A robust precast plinth, defines All Hallows Sq. while punctured large openings define active shopfronts and residential entrances. The middle is restrained defined by punctured openings and animated by balconies which deftly negotiate corners while the Crown is castellated in profile and identifiable from a distance to aid with wayfinding and celebrate communal roof terrace at L07.

### Aspect

Southern and Eastern elevations wrap All Hallows Sq and provide a backdrop of lively balconies for the vibrant public realm. The North-Easterly elevation benefits from long views over millennium green. Plot F's western elevation binds community lane providing a playful backdrop of outboard balconies and active frontage to the South-West. The Northern elevation is ordered and restrained providing opportunities for living and balcony spaces to sunnier aspects to the east and west.



Isometric

- Base
- Middle
- Crown



North Elevation (Ettrick St.)



East Elevation (Aberfeldy St.)



South Elevation (Dee St. and All Hallows Sq.)



West Elevation (Community Lane)



# Facades

## Bay Elevation

### Plinth

The plinth is punctured by large format curtain wall glazing which defines shop fronts and provides opportunities for tenants to express their signage within a considered framework.

Key corners are chamfered to encourage circulation around the block and promote East-West routes across the masterplan. The plinth steps out 2.9m around the Town Square providing roof terraces for units at L01 which are designed with full height solid balustrades to ensure privacy for residents.

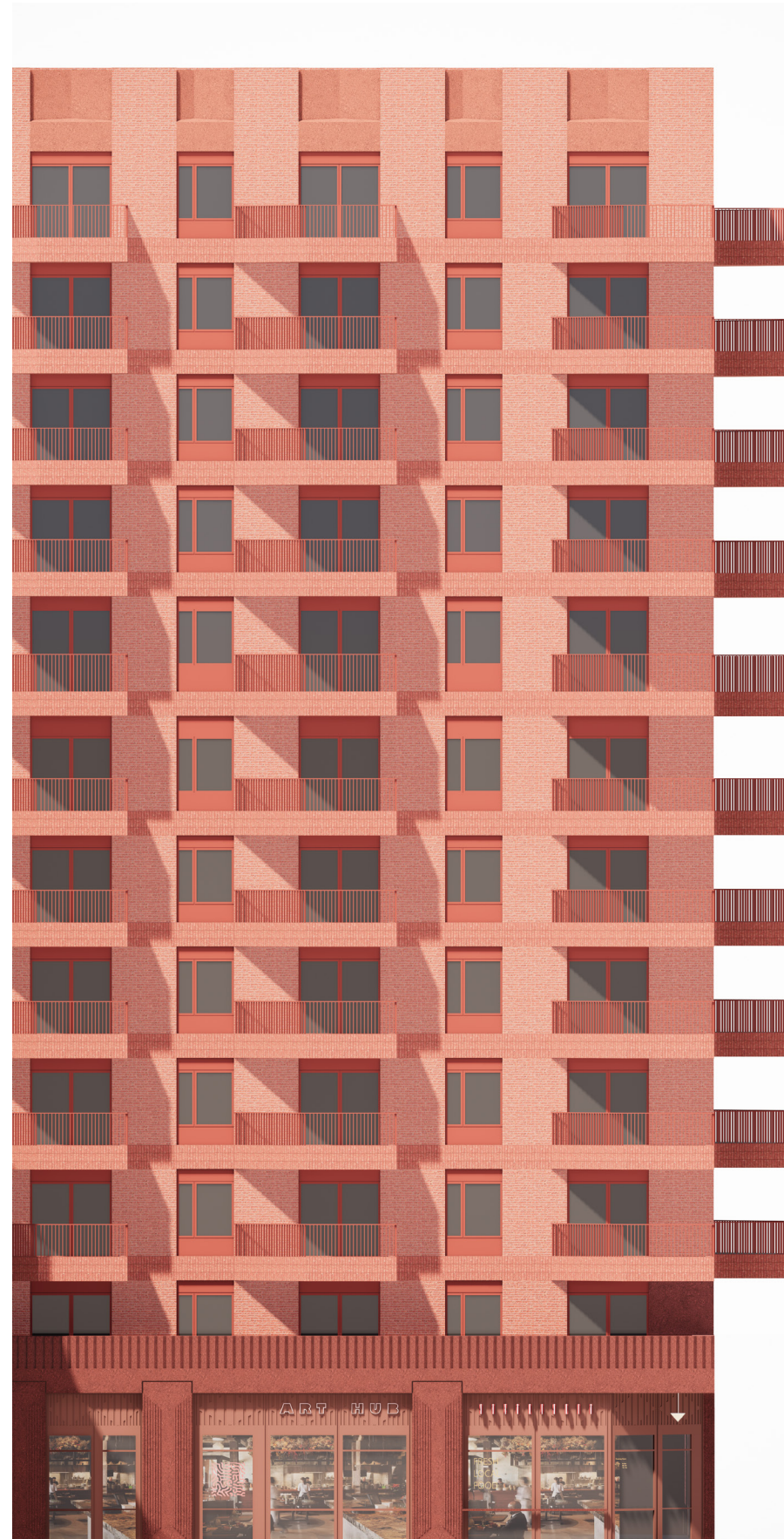
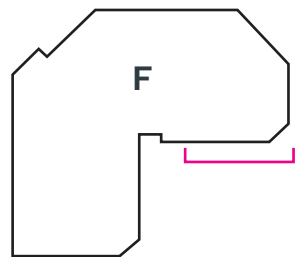
The precast elements are textured and embossed with 'Kantha' inspired patterns influenced by the success of the meanwhile patterns that celebrated the diversity of cultures present in Aberfeldy Village today.

### Middle

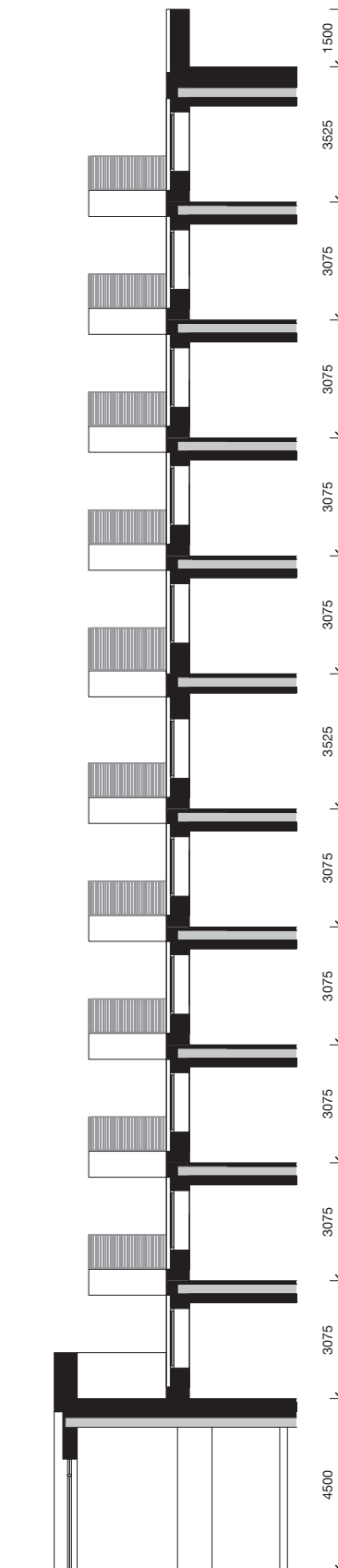
The middle is more restrained than the base and is designed to benefit the user experience with large format windows and chamfered brick clad balconies bringing hints of the formal joy of the block directly to the resident experience.

### Crown

The crown grows directly from the brickwork piers of the building and is completed by 'folded' precast elements which are identifiable in profile against the sky from a distance to aid with wayfinding around Aberfeldy Village. The folds correspond to the asymmetrical windows creating a consistent rhythm which is identifiable from all primary views of the block.



Bay Corner Elevation



Typical Section



# Facades

## Detailed Bay Elevation

### Window

Openings are visually elongated by metal panels below and above windows to achieve more elegant proportions. The panel above the window provides an opportunity to discretely ventilate the apartments through the window componentry alleviating the need for superfluous spouts and vents in the brickwork body. An 800mm high cill promotes views out from habitable rooms.

### Pier and Opening

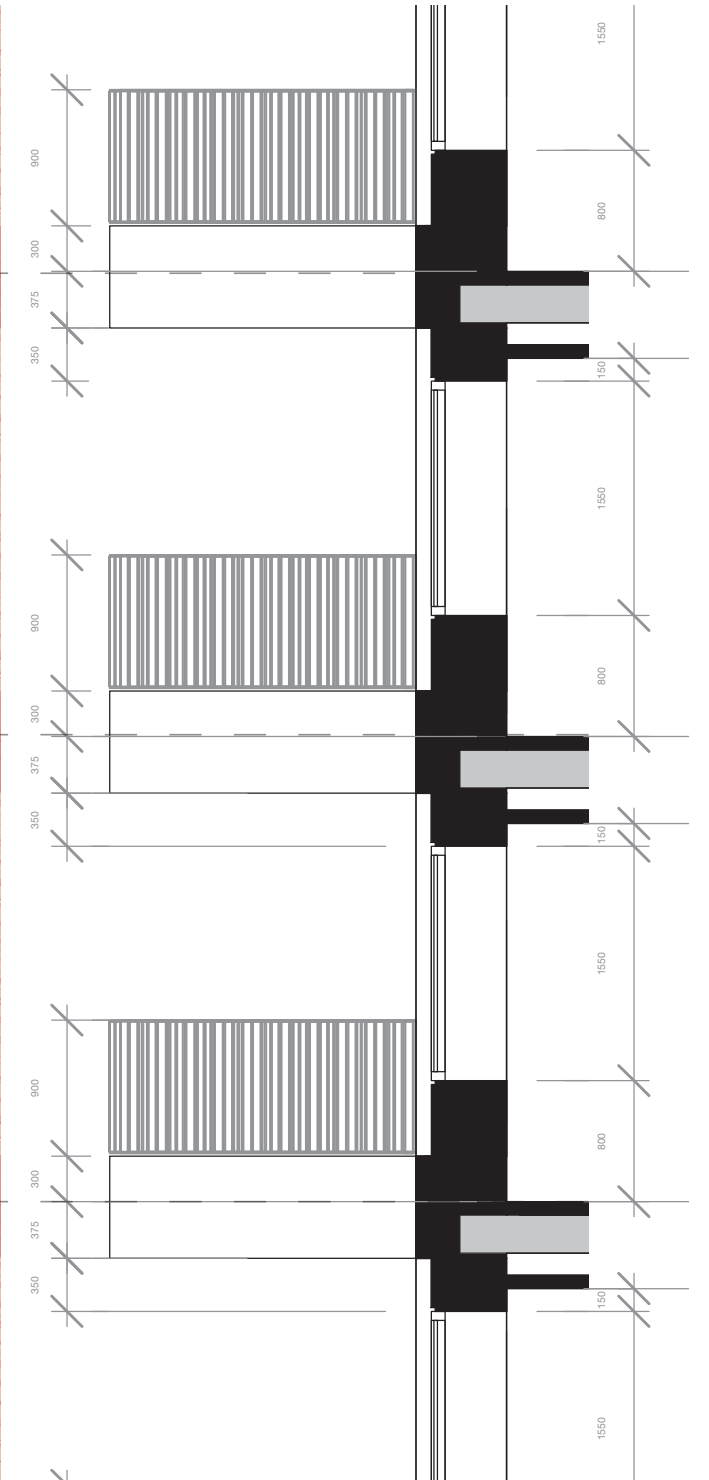
The majority of the elevational language is defined by consistently dimensioned stretcher bonded brickwork piers that define openings. The brickwork piers are of a rich red brick with a flush faced colour matched mortar to accentuate the monolithic tectonic of the block.

### Band and Balcony

Brickwork soldier bands are tonally distinguished from the infill by a darker mortar maintaining the horizontal rhythm of the floors up the façade. Balconies are tied into the banded language of Plot F, taking cues from corners creating dynamic moments and providing a diversity of views for residents.



Detailed Bay Elevation



Partial Section



# Facades

## Material Palette

The adjacent demonstrates a suggestive material palette for Plot F, embodying rich red tones in combination with textured applications of precast concrete.

### Brick

The indicative brick shown represents a textured face whilst consistent in tone to enable a 'sculpted', monolithic impression to the building. A colour matched, flush faced mortar would be utilised to realise this.

### Precast Concrete

Polished and rough faced precast samples are shown for the base and crown of the building with varying scale and hues of aggregate for testing. The exact finish would look to be consolidated at the next stages to allow refinement with specialist input from supplier / contractor.

### Metalwork

Balustrades, window/door frames and vents would be finished in a polyester powder coating (PPC) to ensure a bold and vibrant red finish that will withstand the elements.



Indicative Material Palette

- 1 Primary facade: textured red brick finish
- 2 Base and Crown: Textured red pigmented precast
- 3 Metalwork: Matching tones to balcony / frames
- 4 Ventilated Panels: To retail frontage - bespoke paint finish to be applied



# General Arrangement

## Ground Floor Plan

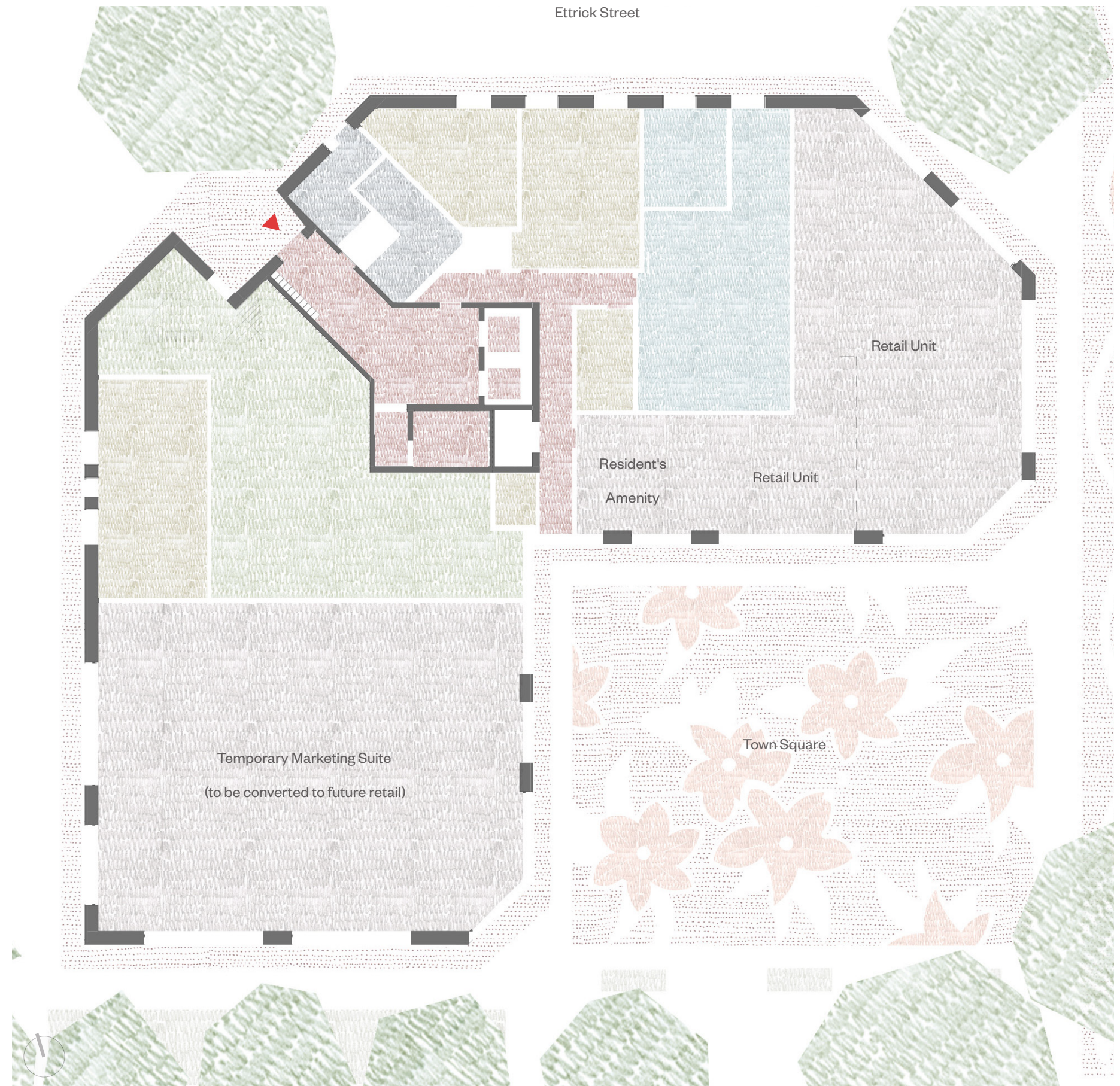
### Retail

In total x3 retail units have been coordinated across the ground floor extents, with the 2 largest volumes occupying the triple aspect frontages to the East and Southern extents of the floorplate. The wealth of community engagement has informed the proposed uses across all retail portions of Phase A, including specialist consultant input from 'AND'. This has resulted in the eastern volume intended as a food and beverage offer, benefiting with prime triple aspect frontage to both the Town Square and Millennium Green. The temporary Marketing Suite holds the southern gable with off street access and will be adapted to future retail use post sales completion. Finally, a third smaller unit addresses the Town Square and targets a form of artist hub that may integrate with the educative emphasis across the masterplan and poplar works. A degree of flexibility is inherent within the design to permit divisibility in the units subject to future market and tenanted demand. Alongside this a dedicated residents' amenity space has been accommodated to allow a flexible space for co-working, events etc.

### Residential

The principal entrance lobby is positioned to the North West portion of the building, directly facing community lane. The latter which once delivered, will provide a prime residential north-south route through the masterplan and enable the residential experience of Plot F to be embedded within these public realm improvements. Crucially, as part of the chamfered mass a mature tree frames the arrival sequence and increases the sense of shelter and greening to the entrance of the building. Sheltered, off street access also lies adjacent to the cycle store. The majority of back of house, refuse and servicing functions have been consolidated to the less trafficked, northern and western elevations of the building, to optimise the retail frontages elsewhere. Notably, a secondary access is provided from the Town Square to allow flexibility in the building management and futureproof connections between both sides of the building. A residents' office will also be accessible off community lane to the West (as part of the Marketing Suite) to provide ongoing residential support.

- Residential Lobby
- Cycles
- Parcels + Security
- Retail + Residents Facilities
- Plant
- Refuse



Proposed Ground Floor Plan Plot F