

Public Realm

Nairn Park

Nairn Park is a new proposed area of green space that forms the northern arrival space to Community Lane. The new linear park connects the dynamic and playable Nairn Square with Lochnagar Street. The proposals include continuation of the active play spaces of community lane unfolding into picnic areas and community growing gardens. This change was made in advance of the presentation of the scheme at LBTH's SDC in February 2023.

The eastern edge forms a planted buffer zone to the Atelier Court entrances and the northern part of the park acts as a community arrival platform and garden space. The park is intended to act as the community garden to community lane, a green respite area offering opportunities for neighbourly interaction in a garden setting. Amendments were made to the planting strategy in Summer 2023 to improve the schemes Urban Greening Factor. Further information on the UGF is provided on page 29 of this document.



Fig.30 Illustrative view of Nairn Park looking north

Public Realm

Nairn Park precedents



Fig.31 Play on the way opportunities



Fig.32 Additional formal play areas



Fig.33 Willow tunnel

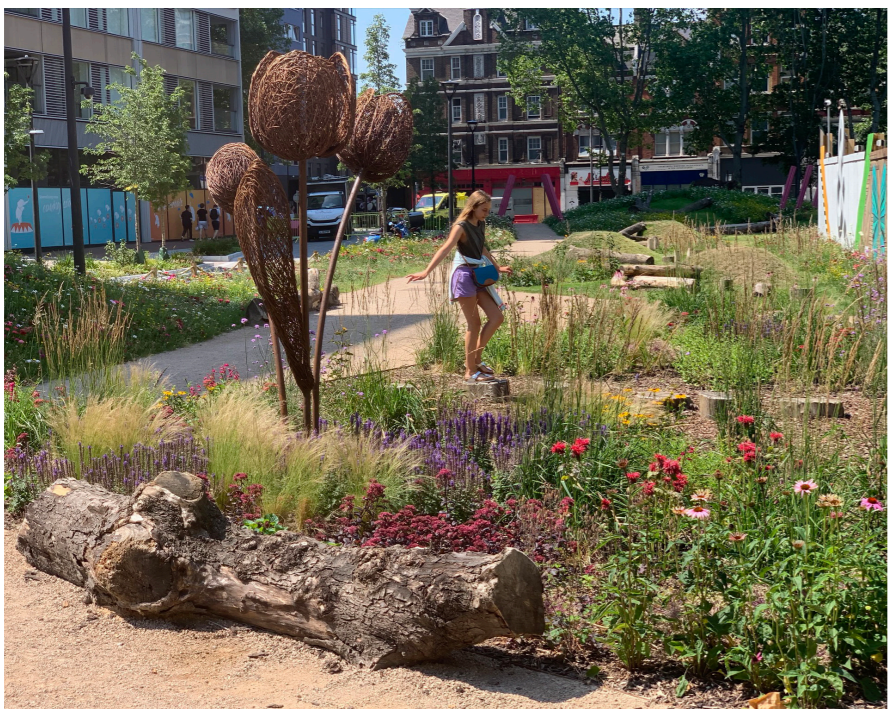


Fig.34 Community garden areas



Fig.35 Incorporation of all age play



Fig.36 Meadow areas

Ecology strategy

All levels

The plan opposite outlines the proposed areas of soft landscape, planting and ecological enhancement. The landscape proposal significantly increases the biodiversity across the illustrative masterplan area compared with the existing site condition, offering a range of habitats for urban wildlife to flourish.

Key ecological areas of note are the provision of intensive roofs across the scheme, swathes of wildflower meadow planting, which will perform a vital role for pollinating insects and small mammals, the retention of mature street trees, and the planting of many new trees. Flower-rich shrub and herbaceous beds will contain a minimum of 10 pollinator species to enhance wildlife corridors and increase the ecological value of the Site. Roofs and gardens have been designed to maximise habitat types for a host of invertebrates and bird communities.

Biodiversity Net Gain

The scheme delivers a BNG score of 18.2%, versus the target gain of 10%.

Urban Greening Factor

The scheme delivers a UGF score of 0.4 and includes all roads owned by Highways and excluding Millennium Green.

The illustrative masterplan design development has strived to improve this score, through a variety of interventions including: delivery of entirely intensive roofs (in favour of extensive); an increase in wildflower meadow planting versus earlier design iterations; additional vertical greening; enhanced planting mixes and more rain gardens; new woodland area in Jolly's Green.

The illustrative masterplan includes roads that are proposed to be Highways/ TfL owned, and therefore more limited and/or challenging in their potential for greening. Taking these roads in to account, the scheme would deliver a UGF score of 0.48.



Further information can be found in the **Urban Greening Factor Assessment, Preliminary Ecological Appraisal**, and other reports prepared by Greengage which support the application.

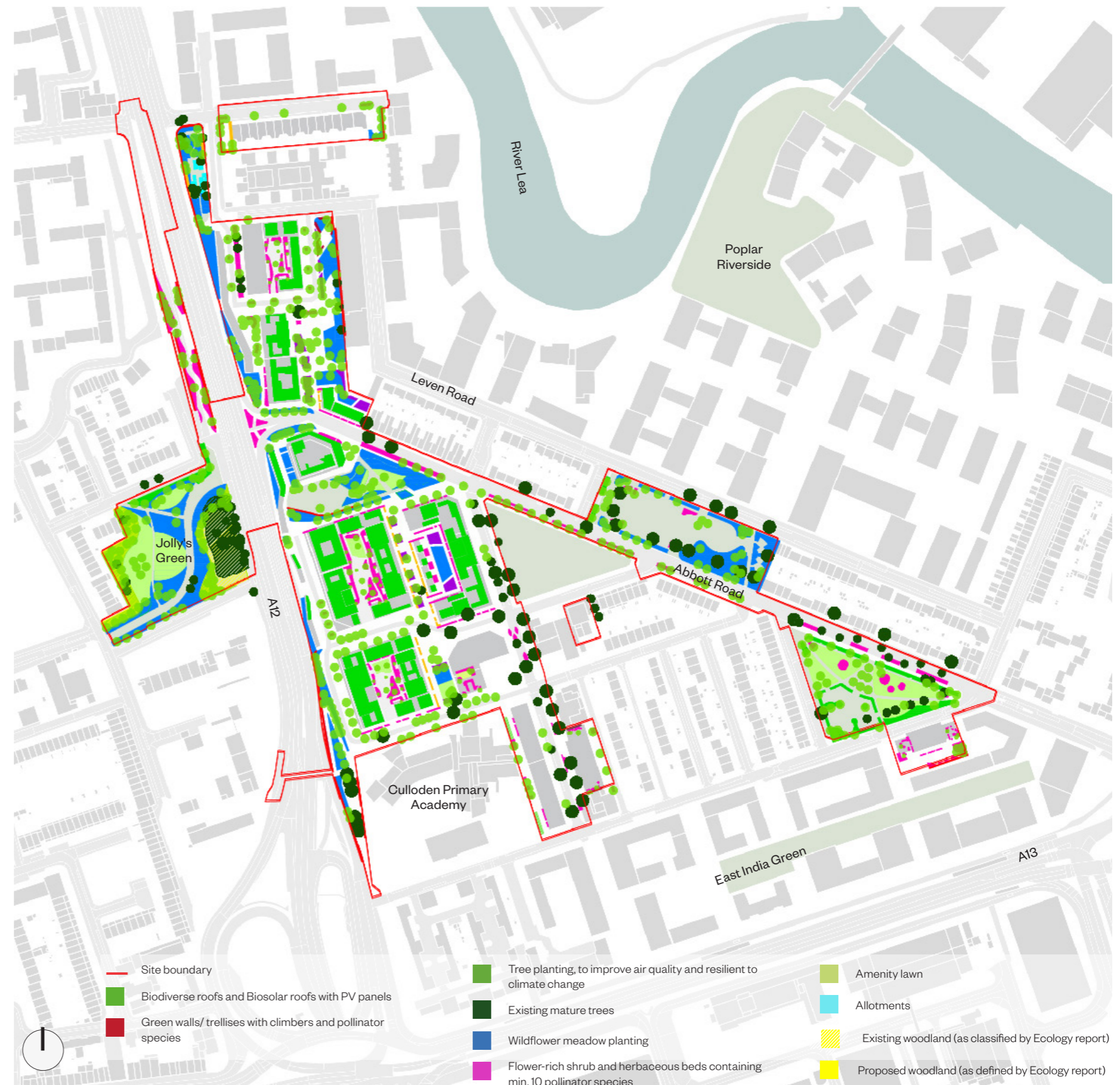


Fig.37 Ecology strategy diagram

Planting typologies

Ground floor

The planting strategy has been designed to reinforce the character area, to assist with placemaking, increase biodiversity, provide seasonal interest and increase the ecological value of the Site.

The planting typologies have been developed offering different habitat value, colour, texture and size, selected for their suitability for each location aspect, soils, and light, and providing a mix of evergreen and deciduous species to look good year round. The plan opposite illustrates the various soft landscape areas in the illustrative scheme. The habitats vary from flower rich ornamental perennial and herbaceous planting, native hedge planting to SuDs mixes and amenity lawns.

Podiums and roof gardens

The podiums of Plots A, C and E and roof gardens of Plots F, H3 and I have a more limited palette than the illustrative masterplan at ground level, with an emphasis still on balancing resident enjoyment and appreciation with maximum biodiversity gains.

These communal areas include climbing plants to add a vertical element to roof gardens; flower-rich ornamental perennial, grass and shrub planting designed to suit podium and upper level microclimates with consideration for varying amounts of sunlight throughout the day and wind conditions; and amenity lawn areas at podium level to compliment the playable landscape and amenity space offering.

Maintenance strategy

The proposed areas of soft landscape with lawns, trees and planting will create attractive and inviting spaces. It is paramount that these spaces are well-maintained and cared for to keep them looking beautiful and inviting. How the landscape is maintained begins with how it is designed. The balance of hard and soft landscape, selection of materials and appropriate planting in the different character areas will need to be carefully developed throughout the detailed design process to minimise maintenance and associated costs of upkeep. It is to be noted that all areas of proposed wildflower meadow will be cut a maximum of three times per year (once in April, once in late summer and once in autumn) and all cuttings removed from site as per the guidance for maintaining a semi-natural meadow.

- Site boundary
- Native corridor planting mix, to A12
- Climbing plants, to A12 and roof terraces
- SuDS planting mix
- Native hedge planting mix, typically to private residential units
- Low maintenance border shrub planting mix
- Wildflower meadow planting mix
- Ornamental shrub grass and/or perennial planting mix
- Amenity lawn area
- Allotments, to Bromley Hall Road
- Existing woodland (as classified by Ecology report)
- Proposed woodland (as defined by Ecology report)

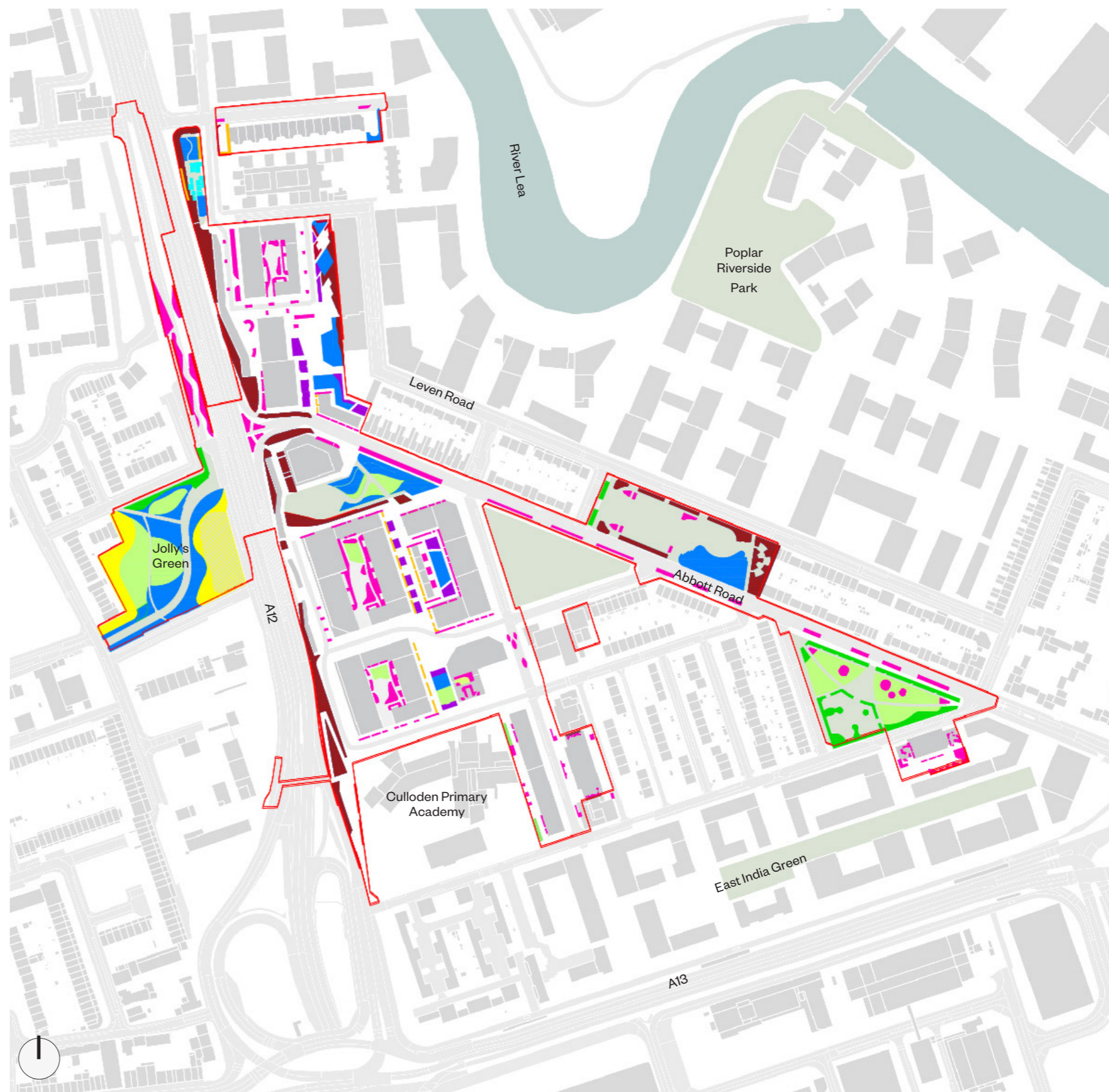


Fig.38 Planting typologies diagram - Ground Floor

Fire safety

Response to emerging fire safety guidance

Following the initial planning submission to LBTH, the Applicant and their design team reviewed the emerging fire safety guidance (Draft BS:9991, 2021) to determine the implications of adding additional stairs to buildings over 30m in accordance with the GLA's requirements. Following the publication of the government's Long Term Plan for Housing on 24th July 2023, this exercise was expanded to include all buildings over 18m. Amendments have been made to the illustrative masterplan, with advice from fire engineers Elementa, to incorporate second stairs to these buildings (identified in the drawing on this page).

All outline phases will be subject to future Reserved Matters Applications, which will respond to the relevant fire safety legislation and guidance in place at that time.

Changes to the illustrative masterplan include:

- Additional second stairs and protected lobbies added to Buildings A1, A2, B1, B2, B3, C1, C2, C3, C4, D1, D2, D3, E1, E2 and E3.
- Adjustment to the building layouts, housing mix and number of homes in all of these buildings - the total number of homes reduces. All homes lost are in open market sale tenure.
- Retention of affordable homes has been prioritised, and there is no reduction to the overall number of either social rent or intermediate homes. There is a slight reduction in social rent family homes (8no. in total) compared to the scheme presented at SDC, although provision still represents a significant uplift on the original application (August 2022).
- The total number of habitable rooms reduces. There is a loss of 64no. hab. rooms in the private sale tenure and 36no. hab. rooms in the social rent tenure compared to the scheme presented at SDC but again, this represents a significant uplift in social rent provision compared to the original application. There is no change to intermediate provision in terms of dwellings or hab. rooms.
- There is a minor reduction in residential NIA to accommodate larger cores, and a minor increase in residential GIA - this occurs at ground floor level and is to accommodate additional space for circulation and escape associated with second stairs.
- There is a minor reduction in workspace and retail GIA as a result of larger cores and escape routes at ground floor level.

Changes to buildings in Phase A are addressed in the Addendum to the Design and Access Statement: Detailed Proposals and drawings prepared by Morris + Company.

- Site boundary
- Buildings with the top floor of accommodation over 30m
- Buildings with the top floor of accommodation over 18m



Fig.39 Plan showing the proposed layout of the illustrative masterplan and the buildings with the top floor of accommodation over 18m, and over 30m

Residential quantum

Changes resulting from addition of second stairs

The tables on this page show the changes to key provisions of the proposed scheme, including homes, habitable rooms and residential and non-residential areas resulting from the addition of second staircases to buildings over 18m and the re-design of cores. The table also includes the loss of 9no. homes resulting from the removal of building A3 as described on pages 6-10 of this document.

While the loss of residential NIA associated with the introduction of additional stairs to 15no. buildings in phases B-D (and a further loss in buildings H1-H2) means that some reduction in residential provision is inevitable, maintaining the level of affordable (social rent and intermediate) homes has been prioritised.

As a result of the increase in the area required for core and circulation spaces associated with changes in layout, residential NIA reduces. Additional space is required for the larger cores at Ground Floor level, and for new escape routes separated from residential entrances, and so the residential GIA and GEA increases at the expense of other Ground Floor uses including Workspace and Retail space.

The figures in these tables are shown in same way as in the previously submitted application for ease of comparison and are compared to the scheme submitted to LBTH's Strategic Development Committee (SDC) in January 2023. Homes, dwelling numbers and areas are inclusive of Phase A. Single aspect homes refer only to the Outline Phases B-D.

Further information on the dwelling mix for the illustrative masterplan is provided on page 38 of this document.

Following the amendments outlined within this DAS Addendum, the Detailed Proposals of the planning application will allow for 48.6% of the habitable rooms as affordable with a tenure split of 92.04% social and 7.96% intermediate rent, with the masterplan proposals overall delivering 38.8%. All references to the quantum of affordable housing set out within Revision B of the Design and Access Statement should be read on this basis.

The Programme for the delivery of the affordable housing provision will provide a minimum of 38.8% affordable housing by habitable room overall and that percentage shall be secured on a rolling minimum cumulatively across the masterplan.

Illustrative Masterplan	Addendum (Revision D) January 2023	Proposed (Revision E) September 2023	Change in provision (+/-)
Overall dwelling numbers and habitable rooms (Homes in Phase A are included)			
Number of homes	1556	1539	- 17
Number of habitable rooms	4405	4305	- 100
Dwelling and habitable room numbers by tenure (Homes in Phase A are included)			
Open market sale homes	1116	1099	- 17
Open market sale habitable rooms	2698	2634	- 64
Intermediate homes	77	77	-
Intermediate habitable rooms	185	185	-
Social rent homes	363	363	-
Social rent habitable rooms	1522	1486	-36
Affordable homes (social rent + intermediate)	440	440	-
Affordable habitable rooms (social rent + intermediate)	1707	1671	-36
% Affordable (social rent + intermediate) habitable rooms	38.8%	38.8%	-
Single aspect homes (Homes in Phase A are not included, percentage of single aspect homes refers to Outline Proposals Phases B-D only)			
% Single aspect homes	50%	50%	-
% North facing (of single aspect homes)	2%	2%	-
Residential areas (Areas in Phase A are included)			
Residential NIA	105,657m ²	101,937m ²	- 3,720m ²
Residential GIA	142,516m ²	143,785m ²	+ 1269m ²
Non-residential areas (Areas in Phase A are included)			
Retail GIA	2346m ²	2,121m ²	- 225m ²
Workspace GIA	2274m ²	2,104m ²	- 170m ²

Fig.40 Schedule comparing provision of scheme submitted to LBTH's SDC (January 2023) with proposed scheme (September 2023) - Illustrative Masterplan

Maximum Parameter Scheme	Addendum (revision D) January 2023	Proposed (revision E) August 2023	Change in provision (+/-)
Overall dwelling numbers and habitable rooms (Homes in Phase A are included)			
Number of homes	1582	1565	- 17
Number of habitable rooms	4487	4394	- 93

Fig.41 Schedule comparing provision of scheme submitted to LBTH's SDC (January 2023) with proposed scheme (September 2023) - Maximum Parameter Scheme