

The Parks

Braithwaite Park

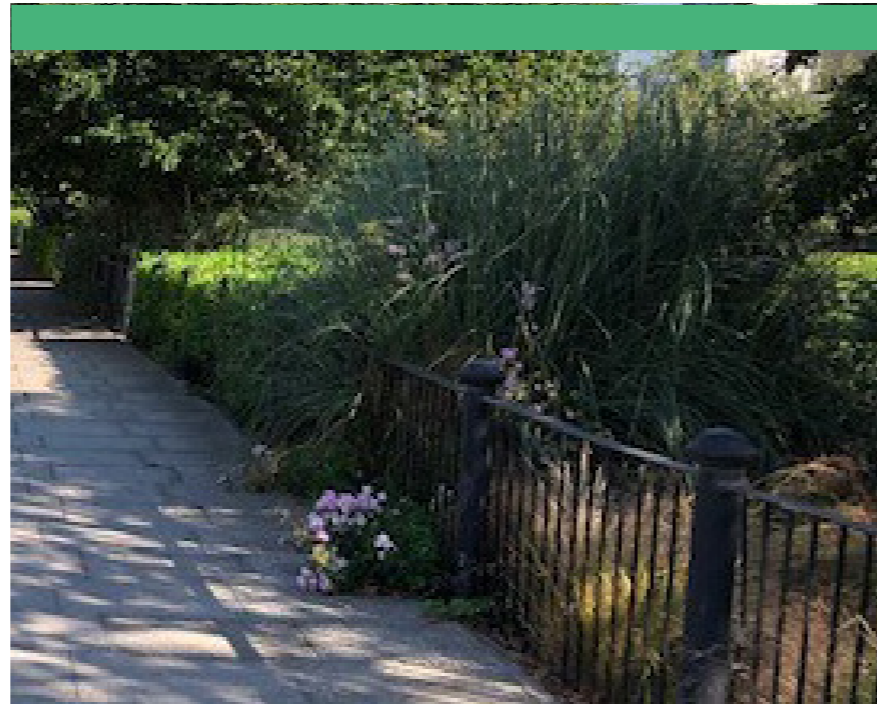
Planting Typology

The planting typology diagram on the previous page corresponds to the images opposite which illustrate the various soft landscape areas in the park's planting scheme. The habitats vary from low maintenance border shrubs to ornamental shrub, perennial and grasses planting to amenity lawns. The type of species present within these typologies is illustrated in the following pages and will be developed with LBTH.

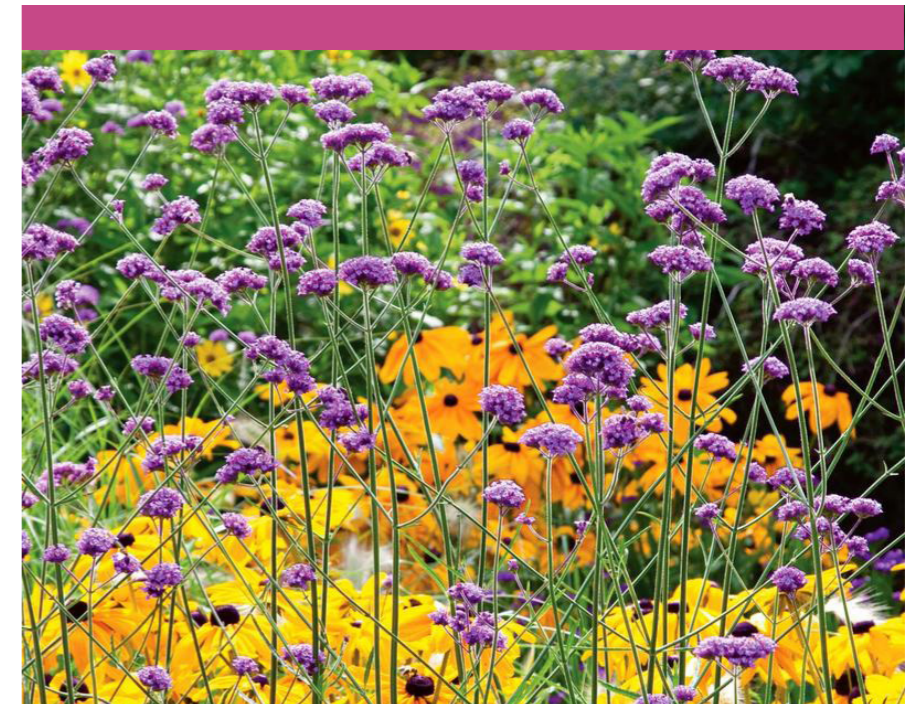
Maintenance Strategy

The proposed areas of soft landscape with lawns, trees and planting will create attractive and inviting spaces. It is paramount that these spaces are well-maintained and cared for to keep them looking beautiful and inviting. How the landscape is maintained begins with how it is designed. London Borough of Tower Hamlets parks and maintenance teams were consulted to help develop the following tree and planting species lists.

The detailed specification, sourcing and quantities of the planting stock will need to be carefully developed throughout the detailed design process to minimise maintenance and associated costs of upkeep.



Low maintenance border shrub planting mix



Ornamental perennial and grass planting mix



Amenity lawn area

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Braithwaite Park

Planting Typology - Illustrative Low Maintenance Border Shrub Planting Mix

There is significant planting already around the boundaries in Braithwaite Park which will need some management to control in size and to ensure good sight lines into the park for security reasons and to encourage invitation into the park.

The aim of the low maintenance shrub mix in Braithwaite Park is to bring more diversity through flowers, seasonality as well as structure of planting with low growing ground cover plants around edges and along paths. The species and structural diversity also brings greater biodiversity value despite the species being ornamental.

Large shrubs

Viburnum bodnantense

Rosa Nevada

Cotinus coggygria purpureus

Philadelphus virginal

Kerria japonica Pleniflora

Choisya ternata

Forsythia ovata

Fuchsia Madame Cornelissen

Low ground covers

Ceanothus thyrsiflorus repens

Lavandula Hidecote

Fuchsia Mrs Popple

Philadelphus Manteau d'Hermine

Hypericum androsaemum

Vinca minor Alba



Rosa Nevada



Viburnum bodnantense



Ceanothus thyrsiflorus repens



Vinca minor Alba

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Planting Typology - Illustrative Ornamental Perennial and Grass Planting Mix

This planting mix is proposed in select areas as attractive focal points of flowering, colourful seasonal display. These are to be delivered through a simple mix of species of perennials and grasses, that are robust and can be managed simply. The planting beds should be tightly planted to be full to suppress weeds and ready for day one impact. The mix draws on experience of low maintenance urban perennial mixes and maintenance.

Bulbs

Camassia Leichtlinii Caerulea

Eremurus x isabellinus Ruiters Hybrids

Allium giganteum

Grasses

Molinia Caerulea Heidebraut

Stipa gigantea

Calamagrostis Karl Foerster

Perennials

Aster frikartii Monchl

Echinacea purpurea Magnus

Geranium phaeum Raven

Geranium Johnsons Blue

Helenium Moerheim Beauty

Heuchera Palace Purple

Rudbeckia Goldstrum

Liriope muscari Monroe White

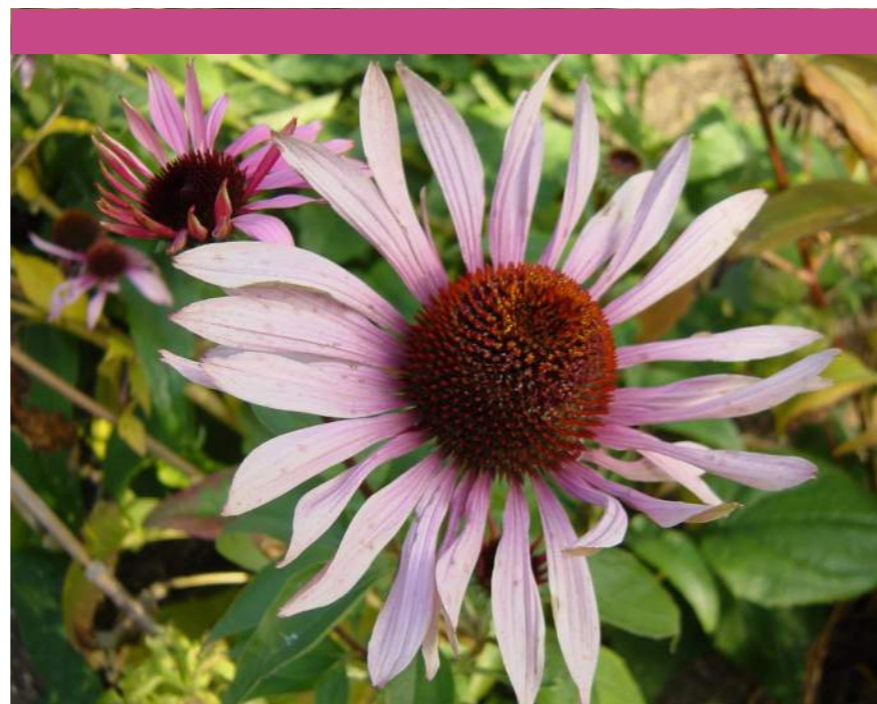
Bergenia cordifolia



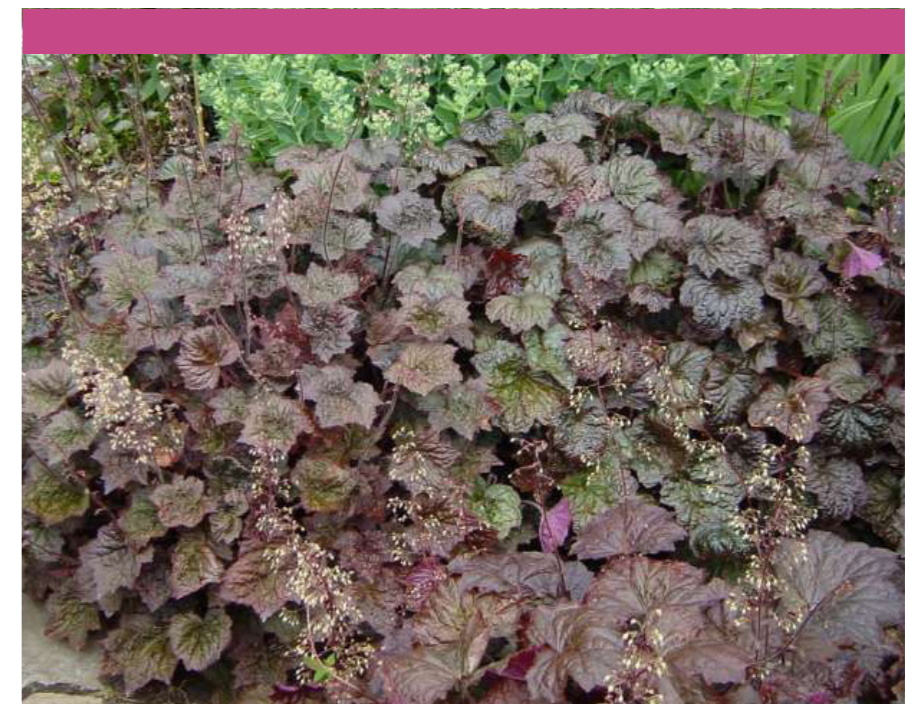
Allium giganteum



Stipa gigantea



Echinacea purpurea Magnus



Heuchera Palace Purple



INCLUSIVE DESIGN

Inclusive Design

Statement

Introduction

The Phase A provisions have been designed in line with Building Regulations Approved Document M Vol 1 for the residential elements and Volume 2 for the communal use, amenity space and other non-residential elements as a minimum as well as applying British Standard BS 8300 2018 Volumes 1 and 2, GLA and local inclusive design planning policies and guidance.

Please also refer to Chapter 8 of the Design and Access Statement: The Masterplan prepared by Levitt Bernstein Architects that forms part of this hybrid planning application for a detailed commentary of the access and inclusive design strategy across the whole masterplan.

Project Particulars: Phase A Detailed

Phase A is the first phase of the New Aberfeldy Village Masterplan and, as such, forms the detailed component of the Hybrid Planning Application.

Phase A includes land at Lochnagar Street in the north of the masterplan, land along Aberfeldy Street and adjacent to St. Nicholas Church, and land along Blair Street adjacent to Braithwaite Park which completes a courtyard building in the earlier Phase 1 of Aberfeldy Village.

The Phase A proposal is a residential led development over four plots (F, H, I and J) with 277 residential units, with a 47% affordable component (96 homes of which 11 are Social rental and 88 Intermediate).

There is a retail component across Plots H and F and localised workspace to Plot I.



Map of Aberfeldy Village and Phase A Plots F, H, I and J

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There are four plots in Phase A that have been designed to meet accessibility and inclusive design requirements:

Plot H on Aberfeldy Street

- New shops and cafes
- Improved public realm
- Mix of private, social and shared ownership homes
- New play street to rear of plot.

Plot F in the Town Square

- Cafes, shops, workspaces at ground floor
- Private homes
- New community square + playspace

Plot I the Park

- Private homes + shared ownership
- Community amenity space on ground floor
- Improved public realm

Plot J Family

- Social tenure family homes
- Community gardens and allotments
- New link to River Lea

Phase A Residential Tenure Mix

The Detailed Component of the planning application will deliver 47% of the homes as affordable with a tenure split across the affordable component of 92.93% Social/Affordable Rent and 7.07% intermediate rent.

The details of each plot are provided below:

Plot F in the Town Square

- Provides 102 homes all for private market sale.
- The communal entrance lobby is directly entered from the street with sheltered off-street access to the cycle store.
- Secondary access is provided from the Town Square.
- At ground level, it provides a residential lobby, cycle storage, residents facilities, refuse and plant.
- Three retail units are provided at ground floor with a Food and Beverage outlet at the corner facing both the Town Square and Millennium Green. This is located alongside the residents amenity space.
- A resident's office is located to the west in the location of the Marketing Suite.
- Loading will be available off Ettrick Street.
- Levels L02-L12 provide residential units.
- There will be 5 2B 4P M4(3)(2a) wheelchair adaptable homes (5%).
- There is a communal roof terrace amenity at L07

Plot H1 and H2

- Part of three blocks H1, H2 and H3 in Plot H
- Plots H1 +H2 have 66 homes (100% affordable)
- The communal entrance lobby is directly entered from Aberfeldy Street to the east, with sheltered off-street access to the cycle store.
- Secondary access is provided from Kirkmichael Road.
- At ground level, these provide a residential lobby, cycle storage, residents facilities, refuse and plant.
- Seven retail units are provided at ground floor with a Food and Beverage outlet at the corner facing Aberfeldy St, Blair St and Kirkmichael Road.

- Loading will be available off Aberfeldy Street .
- There will be 10 3B 5P M4(3)(2b) wheelchair accessible homes (15.2%) from Levels 03 to 07 providing a choice for occupiers.

Plot H3

- Plot H3 has 38 homes (18.4% affordable) with 2 WCH 2B 4P M4(3) (a) adaptable homes (5.3%)
- The communal entrance lobby is directly entered from Aberfeldy Street to the west.
- Four retail units are provided at ground floor facing Aberfeldy Street.
- Loading will be available off Aberfeldy Street .
- Level 01 will have homes with shared ownership with upper levels L02-L05 providing market tenure.
- There will be 2 2B 4P M4(3) (a) wheelchair adaptable units.

Plot I: Braithwaite Park

- Provides 52 homes (5.7% affordable).
- The communal entrance lobby is directly entered from Blair street with sheltered off-street access to the cycle store.
- Secondary access is provided from the rear courtyard for access to the parking and public realm.
- There are private entrances to the 2 x maisonette homes from Blair Street.
- At ground level, it provides a residential lobby, cycle storage, residents facilities, refuse and plant.
- A flexible 88sqm space is provided a ground floor level with direct access from Blair Street for residents communal use alongside wider community use.
- Level 01 will have homes with shared ownership with upper levels L02-L05 providing market tenure.
- There will be 18 2B 4P M4(3)(2a) wheelchair adaptable units. located on levels 02-10, all within market tenure.

Plot J: Lochnagar Street

- Plot J has 20 homes (100% affordable) with no M4(3) wheelchair units.
- All the homes are multi-storey town houses adjacent to a 6-storey maisonette

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Statement

Retail and workspace inclusive design provisions

The proposals at this stage indicate that all requirements for the commercial and other non-residential / community elements of the building provisions for Phase A will be met, subject to the detailed design and construction.

Statutory requirements for access will be met as set out in Approved Documents Parts K and Approved Document M, Vol 2, Buildings other than dwellings.

Retail and workspace units will be provided as shell and core and fitted out by the tenants.

Accessible housing

All homes are designed to exceed the nationally described space standard (NDSS) and will have private amenity space accessed directly from the living room, as either a garden, balcony or roof terrace.

12% of the dwellings will be provided to the M4(3) Category 3: Wheelchair user dwellings standard, while the remainder will meet the M4(2) Category 2: Accessible and adaptable dwellings standard. This is part of the wider wheelchair housing strategy which is overproviding for Phase A but will be balanced across the masterplan to provide 10% M4(3) units in line with the London Plan 2021.

Consultation

Consultation has been central to the development of the scheme. Throughout the design process, the design team has engaged with the public and a wider group of stakeholders.

This has allowed the design team to gain invaluable feedback from various points of view that have developed and improved the proposals as a whole, including all relevant accessibility and inclusive design requirements and considerations.

Please refer to chapter 2 of this Phase A Design and Access Statement and chapter 4 of the Masterplan Design and Access Statement for a more detailed explanation of engagement and resident involvement.

Conclusion

The proposed Development offers a level of inclusive design that exceeds the minimum access requirements of the Building Regulations, local and London-wide access policies.

The design of the public realm and buildings focuses on making it easy for all people of all ages and abilities to move through and use the amenities the development will offer.

Each aspect of accessing the development, moving through the open spaces, arriving, entering and using the buildings has been carefully considered during the design process, including activities within individual dwellings.

Key provisions that enhance accessibility and inclusion include:

- Accessible routes to all pedestrian route connections and public transport;
- Walking and cycling routes that are connected, direct, permeable and safe;
- Employment and work opportunities embedded locally within the neighbourhoods, permitting people to work close to home which is particularly useful for some older people, those with caring responsibilities, and disabled people.
- Residential amenity space and facilities that are conveniently located and accessible, and that are comfortable and inclusive for independent use by residents;
- A second lift being available for use by residents of wheelchair accessible homes living at upper levels;
- Wheelchair accessible residential layouts with increased circulation space compared to the minimum required by the London Plan.



Proposed View looking West to Plot F Town Square



Proposed View looking North up Aberfeldy Street

Inclusive Design

Legislation, regulations, policies, standards and guidance

Key documents that guide the design team's decisions about access and inclusion provisions for the proposed development are listed below. Local policy and guidance about specific aspects of buildings that are referred to by Approved Document M Volume 2 and BS 8300 will also be useful during the technical design stage of the project.

Equality Act

The Equality Act does not set out criteria that buildings need to comply with; it exists to protect people's right not to be discriminated against. Compliance with Part M of the Building Regulations is subject to approval by Building Control or an Approved Inspector.

Some of the information within this inclusive design statement (and the subsequent building regulations application access statement) will inform an access management plan, which is recommended to assist its future operation in relation to the operator's obligations under the Equality Act.

National Housing Standards

The 2015 Building Regulations Part M supersedes the various residential access standards and guidance (including Lifetime Homes, the Wheelchair Housing Design Guide and any local residential standards) that could be applied to residential developments prior to October 1, 2015.

A new edition of Approved Document M was published in March 1, 2016, incorporating various minor amendments. Volume 1 defines three 'Optional Categories' for accessible dwellings:

- M4(1) Category 1: VISIBLE dwellings;
- M4(2) Category 2: Accessible & adaptable dwellings
- M4(3) Category 3: Wheelchair user dwellings

Regulation M4(1) is mandatory for all new dwellings across England in the absence of any local authority requirements.

Optional requirements M4(2) and M4(3) are mandatory when the Local Planning Authority impose them on projects as a planning condition.

The London Plan was revised to reflect changes to the National Planning Policy Framework and enable local authorities to require Optional Categories 2 and 3 of Part M without having to update their policies to do so. This is explained in the Mayor of London's Housing Policy Transition Statement (May 2015):

- 90% of new housing to meet optional requirement M4(2) - Category 2 of Building Regulations;
- 10% of new housing to meet optional requirement M4(3) - Category 3 of Building Regulations.
- Category 1 is not applicable to any new residential developments in London boroughs.

Each London Borough will set out the requirement for new housing in Local Development Frameworks, and these should conform to the London Plan. London boroughs are not allowed to have their own variations. Where a borough requires a higher design standard this should only be requested to meet the needs of a specific individual and therefore should only be required of a home where a local authority allocation policy applies.

Building Regulations and British Standards

Building Regulations Part M as described in Approved Document M Volumes 1 and 2 represents the minimum standard of accessibility that the Development should meet.

Any solutions proposed that are different to those described in Approved Document M must provide an equal or greater level of accessibility and are justified where necessary within this Access Statement.

The following Approved Documents and British Standards are key references for the access strategy of the Proposed Development:

- The Building Regulations 2010, Access to and Use of Buildings, Approved Document M, Volume 1: Dwellings, 2015 with 2016 Amendments;
- The Building Regulations 2010, Access to and Use of Buildings, Approved Document M, Volume 2: Buildings other than Dwellings, 2015;
- The Building Regulations 2010, Fire safety, Volume 1: Dwelling houses, Approved Document B (2006 edition incorporating 2010 and 2013 amendments), HMSO, 2013;
- The Building Regulations 2010, Fire safety, Volume 2: Buildings other than Dwelling houses, Approved Document B (2006 edition incorporating 2007, 2010 and 2013 amendments) HMSO, 2013;
- The Building Regulations 2010, Protection from Falling, Collision and Impact, Approved Document K, HMSO, 2013;
- British Standard 8300:2018 Design of an accessible and inclusive built

environment. Part 1: External Environment, and Part 2: Buildings, Code of Practice, British Standards Institution 2018; and

- British Standard 9999:2017 Code of Practice for Fire Safety in the Design, Management and use of Buildings, British Standards Institution, 2018.

LCL's advice to the design team for the Development includes following the guidance of BS 8300:2018 wherever possible because it is more recent and results in an arguably more inclusive environment than designing according to the solutions in Approved Document M.

National Planning Policy Documents

Relevant national planning policy documents are as follows:

- National Planning Policy Framework (NPPF, 2021);
- National Planning Practice Guidance;
- Technical Housing Standards - Nationally Described Space Standards (May 2016);
- The National Design Guide published January 2021;
- The National Model Design Code (NMDC), published July 2021.

The Mayor of London's Housing Supplementary Planning Guidance (SPG) document was revised to incorporate the National Housing Standards on March 1, 2016.

London-wide Planning Policy Documents

These include:

- The London Plan, the Spatial Development Strategy for Greater London, March 2021; and
- Housing Supplementary Planning Guidance, London Plan 2016 Implementation Framework, Mayor of London, March 2016;
- Shaping Neighbourhoods: Play and Informal Recreation supplementary planning guidance, Mayor of London September 2012;
- Shaping Neighbourhoods: Accessible London: Achieving an Inclusive Environment, supplementary planning guidance, Greater London Authority,

Inclusive Design

Legislation, regulations, policies, standards and guidance

October 2014;

- The emerging GLA Good Quality Homes for all Londoners;

Four key access standards of the London Plan Housing SPG are:

- Standard 24 - All new dwellings should meet the nationally described space standard.
- Standard 25 - Dwelling plans should demonstrate that dwellings will accommodate the furniture, access and activity space requirements relating to the declared level of occupancy and the furniture schedule set out in Approved Document Part M;
- Standard 26 - A minimum of 5 sqm of private outdoor space should be provided for 1-2 person dwellings and an extra 1 sqm should be provided for each additional occupant; and
- Standard 27 - The minimum depth and width for all balconies and other private external spaces should be 1500mm.

- Developing Accessible Play Space - A good Practice guide, Stationery Office 2003;
- London Cycle Design Standards, Mayor of London, TfL 2014;
- Manual for Streets - 1, DfT and CLG, 2008;
- Streetscape guidance, TfL, Mayor of London 2019, 4th Edition, Rev 1;
- Healthy Streets for London, TfL.

Council Planning Policy and Supplementary Documents

- London Borough of Tower Hamlets Local Plan 2031, adopted January 2020;
- The emerging London Borough of Tower Hamlets Leaside Area Action Plan;
- London Borough of Tower Hamlets High Density Living Supplementary Planning Document, adopted December 2020;
- The emerging London Borough of Tower Hamlets Tall Buildings Supplementary Planning Document.

Good practice guidance for access and inclusion

Approved Documents M and K, and BS 8300:2018 provide general access advice, but refer to other standards and regulations about specific aspects of buildings and their immediate surroundings. Therefore, several documents will need to be referred to, including good practice guidance books written by specialists, including:

- The Colour, Light and Contrast Manual: Designing and Managing Inclusive Built Environments, Bright K., Cook G., Wiley-Blackwell, 2010;
- Sign Design Guide: a guide to inclusive signage, JMU and the Sign Design Guide, 2000;

Inclusive Design

Wheelchair User Dwellings Plot F

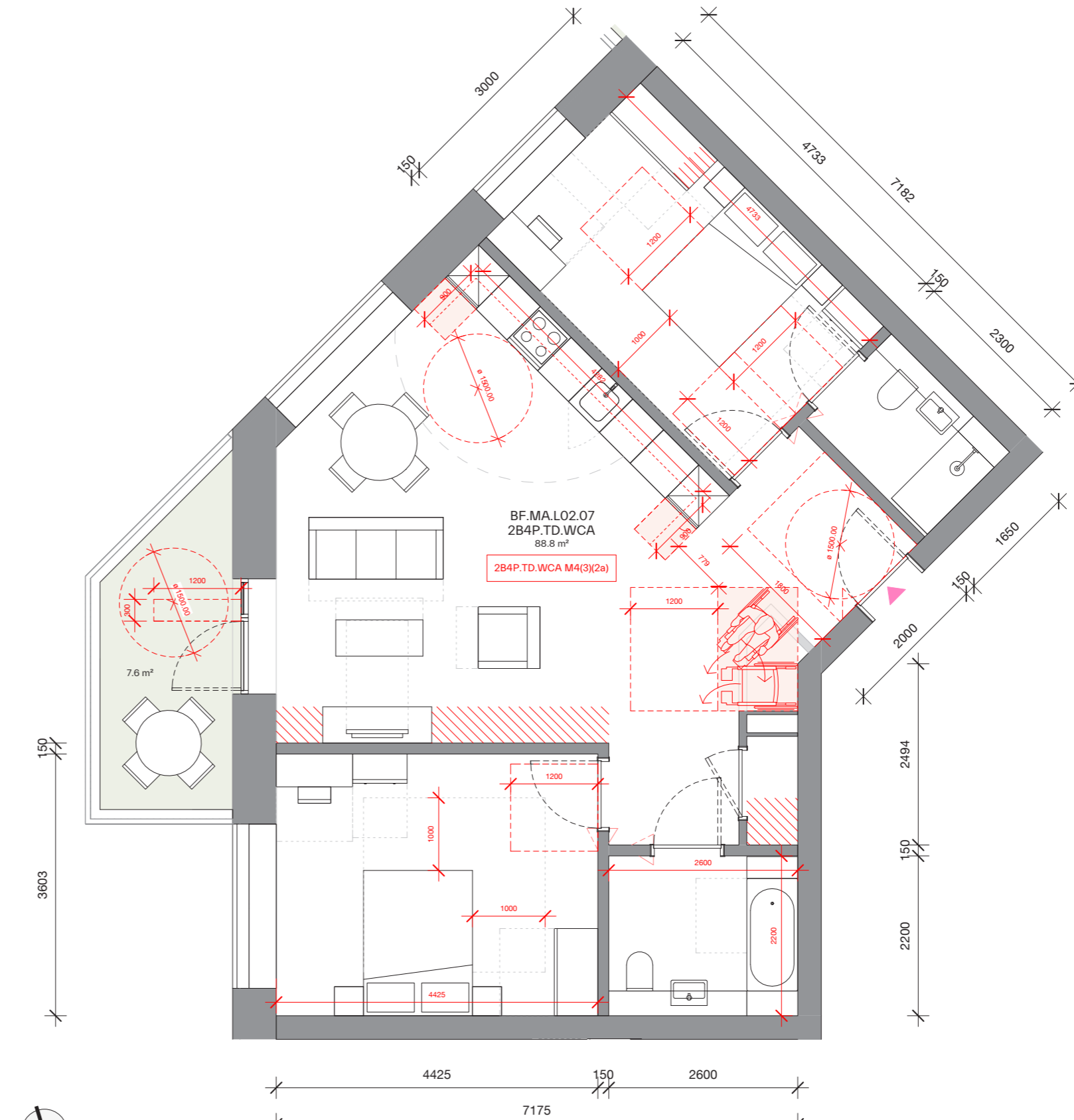
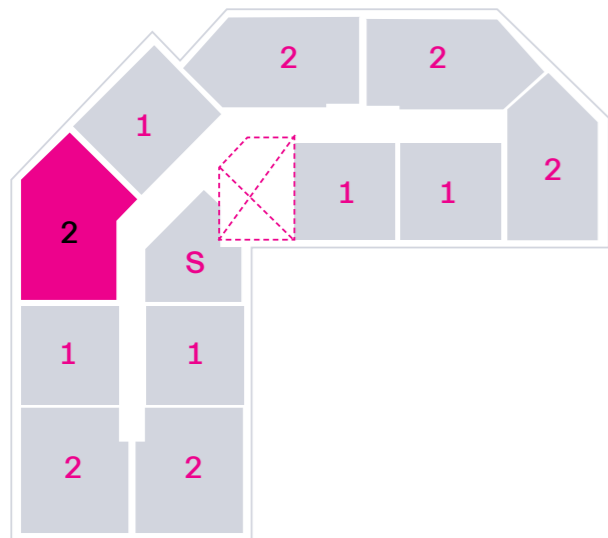
Location: Plot F

Tenure: Market

Unit Type: 2b4p M4(3)(2)a

Key Information

	2B4P Requirement	Achieving
Kitchen Length (m)	5.9	6.1
Storage Area (m ²)	2.0	2.2
L/K/D (m ²)	29	29



2b4p M4(3)(2)a

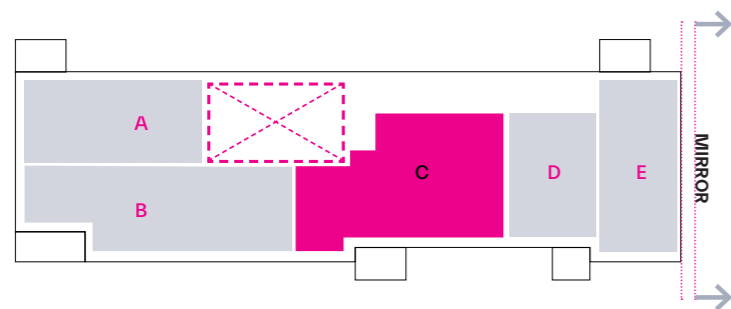
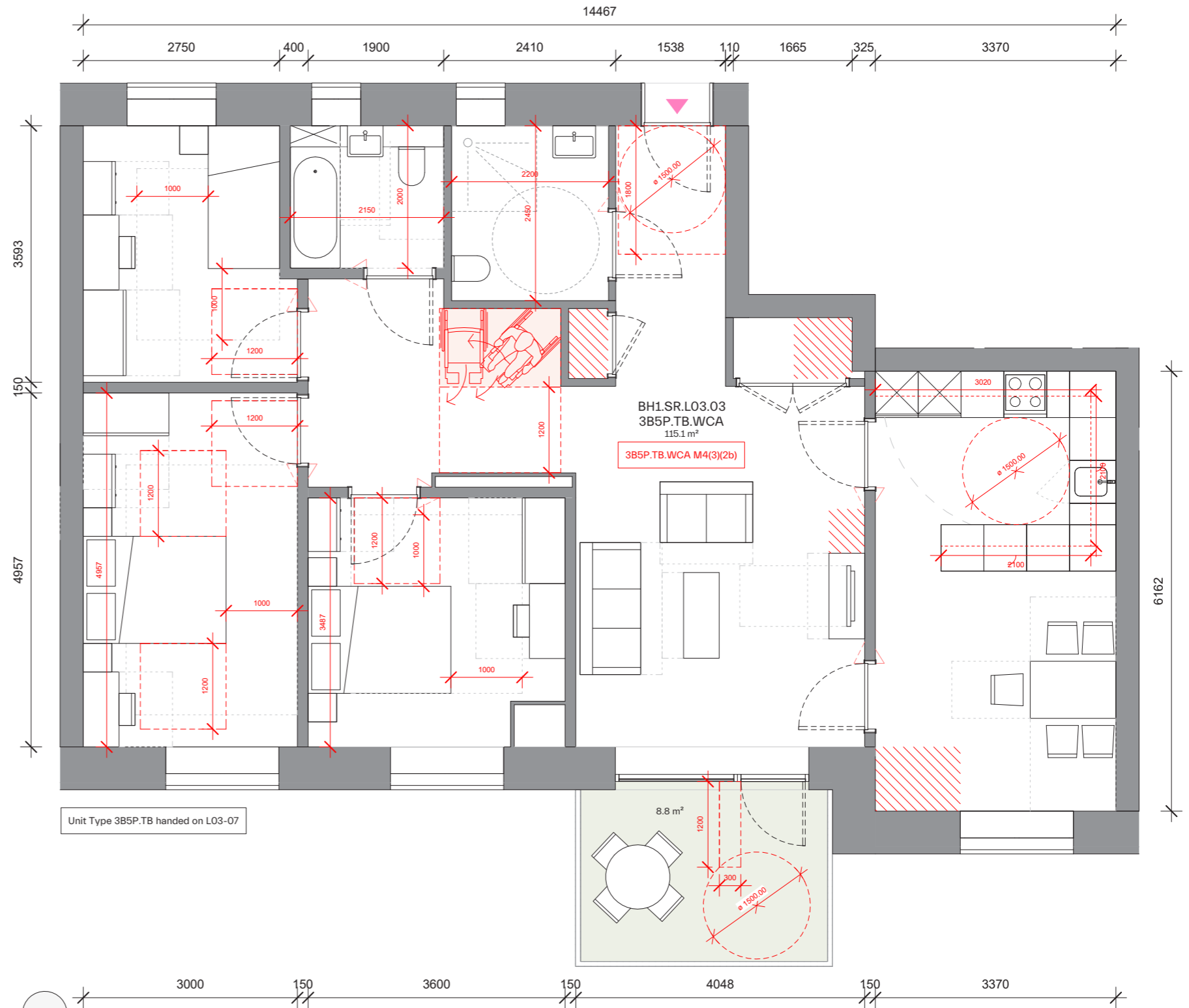
Inclusive Design

Wheelchair User Dwellings H1/H2

Location: Plot H1/H2
 Tenure: Social Rent
 Unit Type: 3B5p M4(3)(2)b

Key Information

	3B5P Requirement	Achieving
Kitchen Length (m)	6.8	7.2
Storage Area (m ²)	2.5	2.8
L/K/D (m ²)	31	37



3B5p M4(3)(2)b

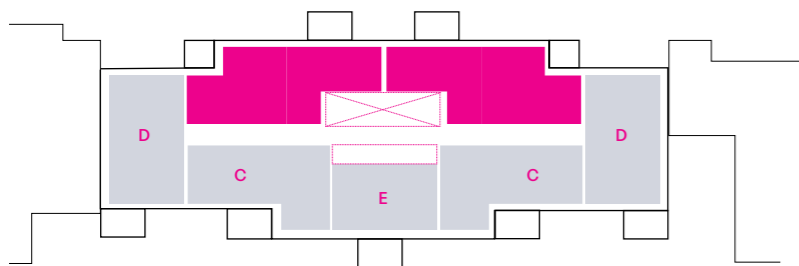
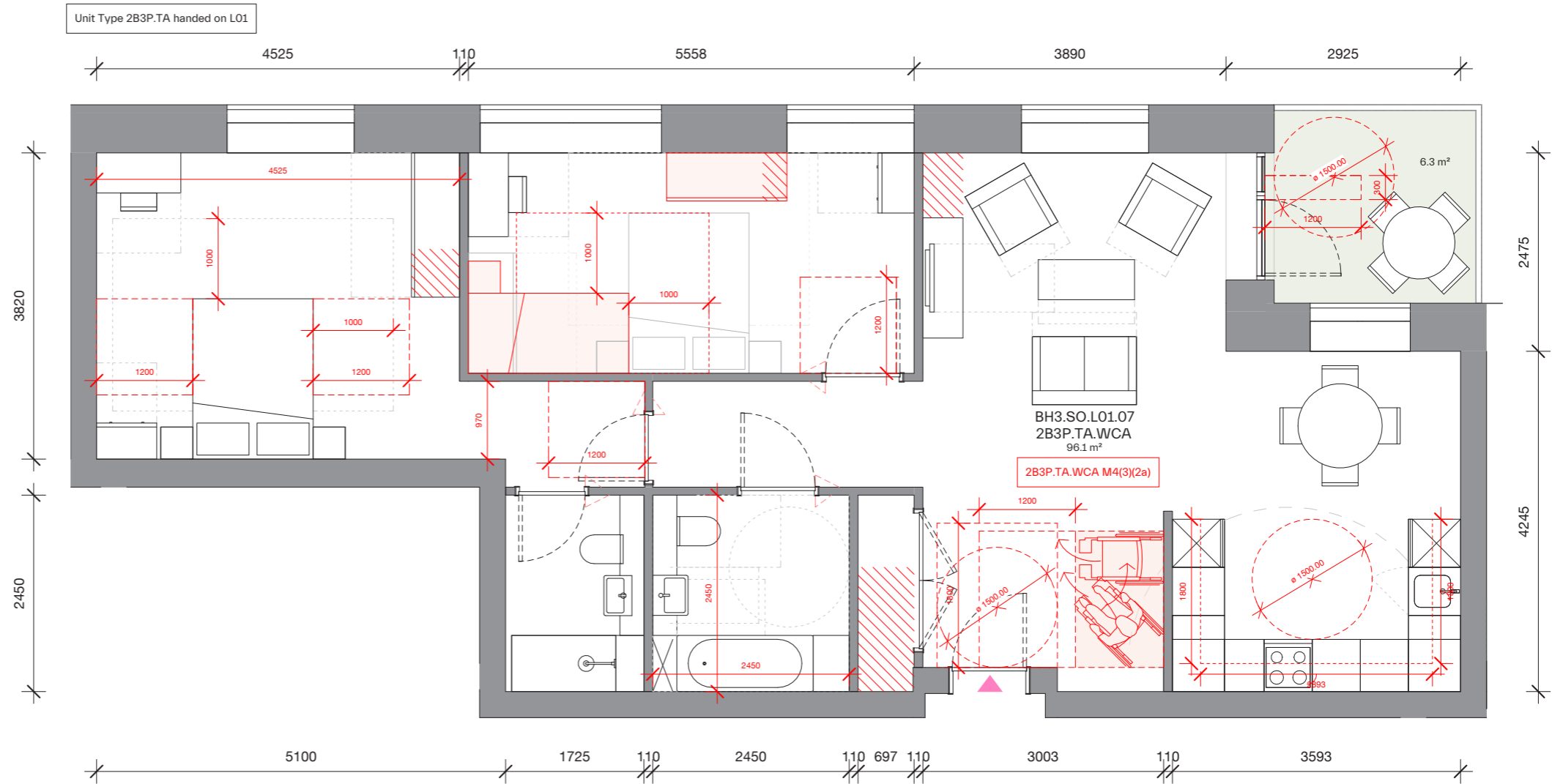
Inclusive Design

Wheelchair User Dwellings Plot H3

Location: Plot H3
 Tenure: Shared Ownership
 Unit Type: 2b3p M4(3)(2)a

Key Information

	2B3P Requirement	Achieving
Kitchen Length (m)	5.9	6.5
Storage Area (m ²)	2.0	2.0
L/K/D (m ²)	27	28



2b3p M4(3)(2)a

Inclusive Design

Wheelchair User Dwellings Plot I

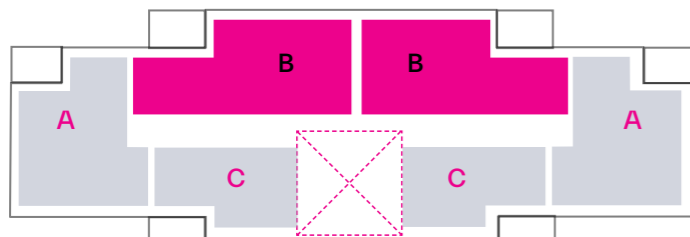
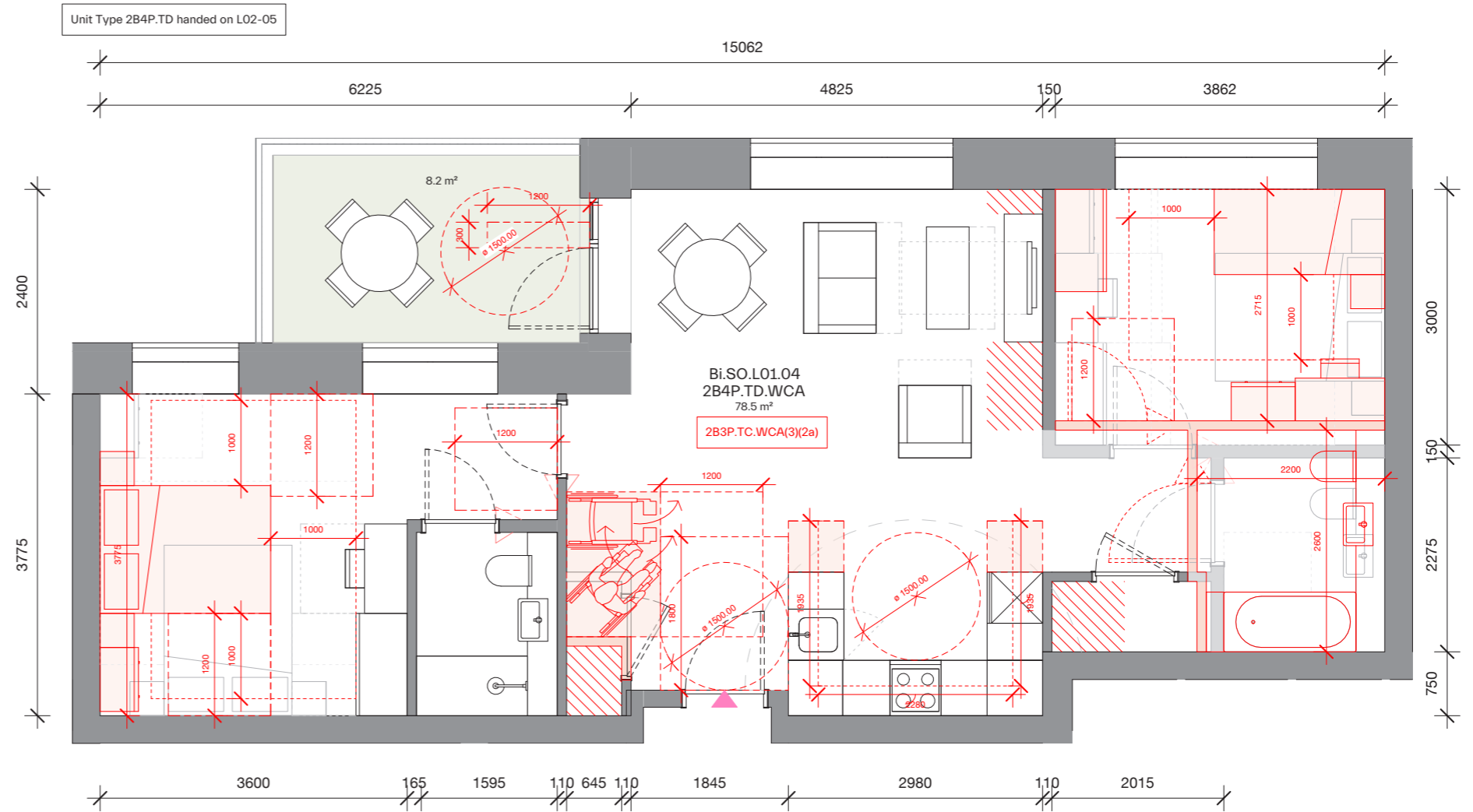
Location: Plot I

Tenure: Shared Ownership

Unit Type: 2b3p M4(3)(2)a

Key Information

	2B3P Requirement	Achieving
Kitchen Length (m)	5.9	6.2
Storage Area (m ²)	2.0	2.1
L/K/D (m ²)	27	27



2b3p M4(3)(2)a

Inclusive Design

Wheelchair User Dwellings Plot I

Location: Plot I

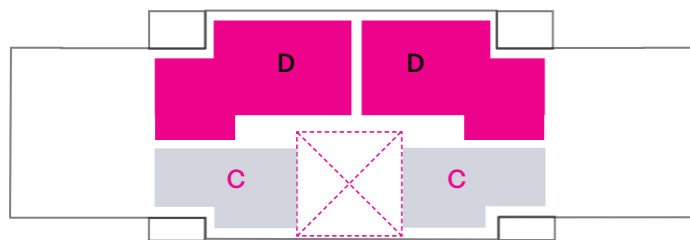
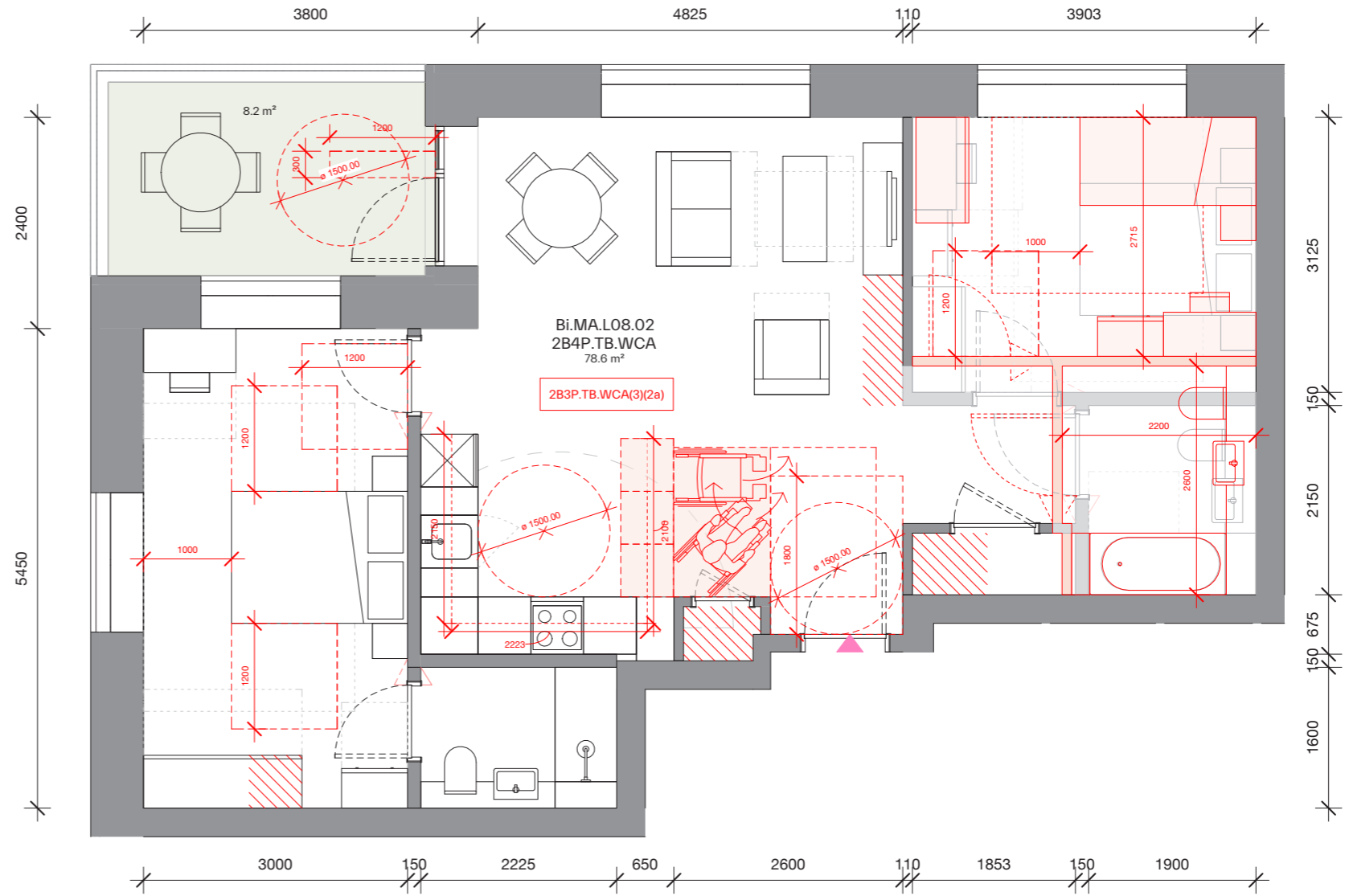
Tenure: Market

Unit Type: 2b4p M4(3)(2)a

Key Information

	2B3P Requirement	Achieving
Kitchen Length (m)	5.9	6.5
Storage Area (m ²)	2.0	2.1
L/K/D (m ²)	27	27

Unit Type 2B4P.TB handed on L01, 07-10



2b4p M4(3)(2)a

Access & Maintenance

Building Management

It is proposed the buildings across Phase A will be staffed with a full estate management team. This includes an on-site residents' office at Plot F to help deal with ongoing requests and issues. Plot by plot concierge services for package delivery will be digital. A staff amenity area which includes a kitchen, shower and WC facilities, are also provided within plot F adjacent to the office.

There will be 24 hour security with a security officer overnight with access to CCTV, to provide a point of contact to residents during out of office hours. This is located at the ground floor of plot F, with dedicated street access from Etrick Street. Waste will be managed by estate staff who will be responsible for coordinating and managing the retail refuse collection and for moving bins to refuse presentation areas on collection day.

As part of the future phases a 'Residents Hub' will also be coming forward to further the residential infrastructure, management and security of the area.

Cleaning + Maintenance

Due to the plots across Phase A all presenting a variety of contextual considerations and constraints, multiple strategies have been proposed across the Phase for cleaning and maintenance. However, it is proposed that the most practicable method of access to maintain the façade is by means of rope access abseiling. However, the ability for residents to readily clean windows has also been embedded within the proposals wherever reasonably possible, with windows and doors to the units to be from their associated external amenity space or deck access. Substantial areas of balcony space allow external cleaning to windows, doors, and floors, mitigating the requirement for abseiling. All balustrades are minimum +1125mm above FFL. To the ground floors, cleaning can be achieved by hand via long reach pole, with this also possible to immediate levels above where constraints such as projecting balconies otherwise preclude abseil access to localised windows. At Plot H due to the pitched roofs it is proposed localised areas of windows should be cleaned by MEWP (mobile elevated working platform) as the safest form of access to the elevation. Alternatively, long reach water fed pole could also be utilised upto +25m reach, however could be of more constraint to the ground areas where retail portions and public realm closure would want to be mitigated. Further detail coordination will be progressed at the next stage to further consolidate the strategies.

Façade Replacement

Each lift within the respective buildings will be able to host transportation of glass and façade components, enabling replacement to the façade to either occur

internally via the unit demise, or externally via scaffolded / MEWP access. MEWP (mechanically elevated working platform) would be advocated to mitigate further working at height and heavy lifting.

Plant Replacement

The majority of plant rooms have all been located at ground floor with direct street access for ease of large mechanical equipment replacement. Where street access is not permissible, secondary back of house corridors serve these rooms with sufficient width and ease of access. Dedicated loading bays and vehicular access has been located as close as reasonably possible for prospective equipment replacement and to mitigate travel distance. Where possible modular elements are used within the plant rooms to mitigate heavy lifting. Plot F is the one instance where a first floor plant room is required. This however does not host large equipment and can utilise the lift access in the event replacement is required,

Upper Roofs

Access to the top-level roofs are provided via roof access hatch from the final occupiable level of the buildings. These are all from the common core / corridor. Sufficient openable size will be accommodated alongside retractable / extendable access ladder for safe passage between levels. There is no lift access to roof.

The roof level hosts a variety of mechanical equipment, including extract fans and space for future tenanted retail servicing. PV's are integrated within a 'bio-solar' strategy, both to sustainably elevate the energy strategy with the use of renewables, whilst accommodated on a green roof to aid biodiversity, drainage and attenuation. In the event any equipment needs replacing, modular elements will be suitable to transport via the roof hatch and lift / stair to ground floor. Larger elements will require craned replacement, however this is only expected once in an 10-15 year scenario.

Suitable access to the perimeter of the roof will be accommodated by setting back equipment to ensure a minimum 1m clear route around its extents. Minimum +1100mm parapets are coordinated to the full extent of roof perimeters to establish suitable barrier protection for all maintenance operatives. These also help to visually conceal equipment from the street level. Where applicable, roof anchor points (or similar) are coordinated to enable rope access maintenance from the roof in line with the cleaning strategy. These will only be utilised by specialist trained operatives. All roofs are accessible solely to operatives for the maintenance and cleaning of:

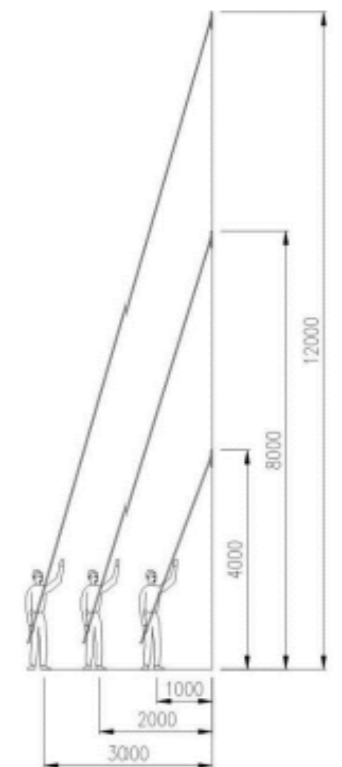
- Lift overrun

- Rooftop plant
- Roof finishes
- Bio-diverse roof
- Rainwater outlets and gullies

Due to the low rise nature of the town houses to plot J, this is a slight exception to the aforementioned strategies and is detailed on the following pages.

Roof Terraces

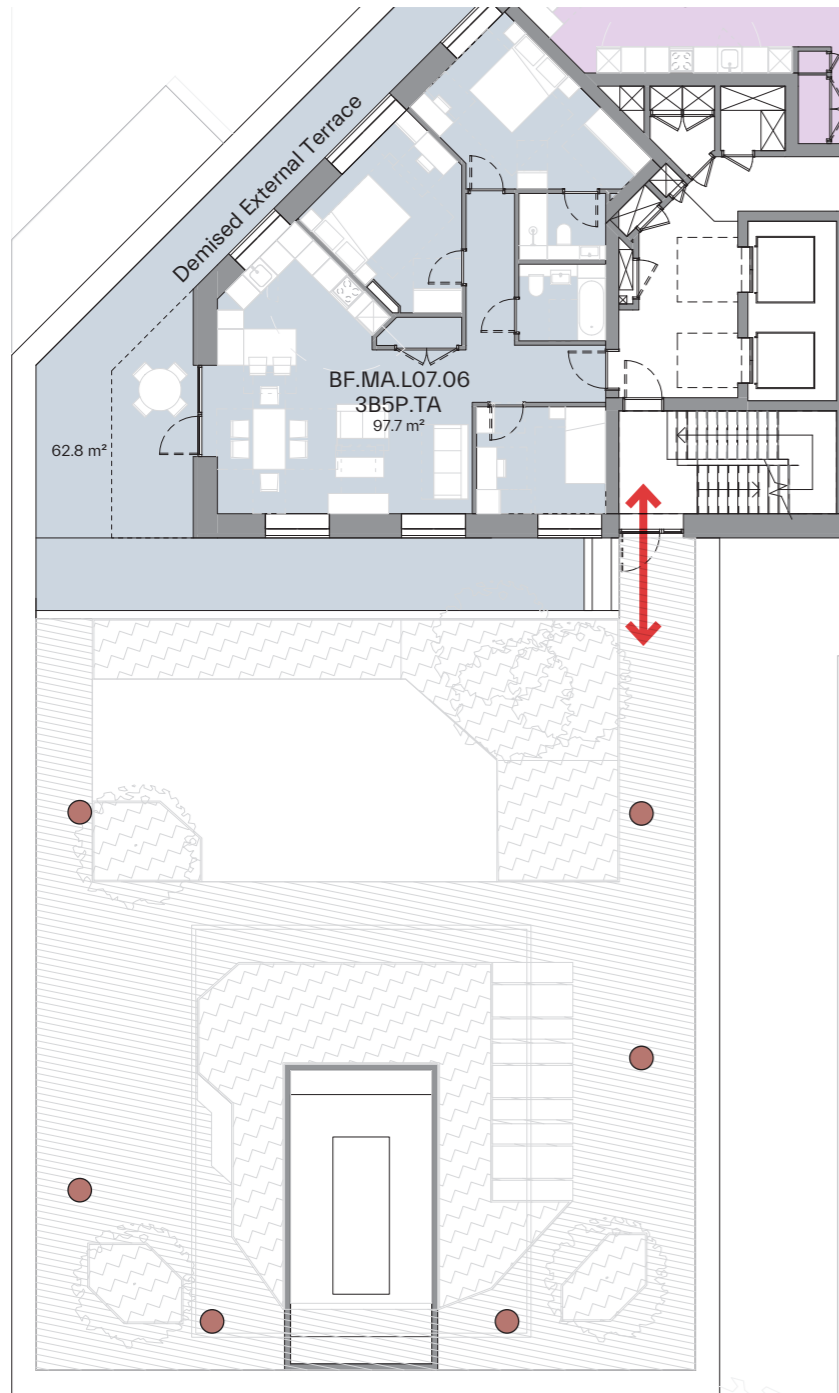
To plots F, H and I, communal roof terraces are also present. These are solely for residents' use, and all accessed off the common corridor / core, with level access between. Lift access internally provides inclusive travel between the terrace level and all occupiable floors above and below. Furniture and planting zones are set sufficiently inboard from the perimeter to omit climbing opportunities and retain barrier protection. Localised roof anchor points (or similar) are accommodated in line with the cleaning strategy.



Pole Reach Diagram: Demonstrating typical clear width access required at street level

Access + Maintenance

Plot F: Roof Plan



F Terrace Roof Plan L07



F Roof Plan L13

- Entrance / Exit Points
- Roof Hatch Access
- Rope Access Points
- PV's and Biosolar Roof

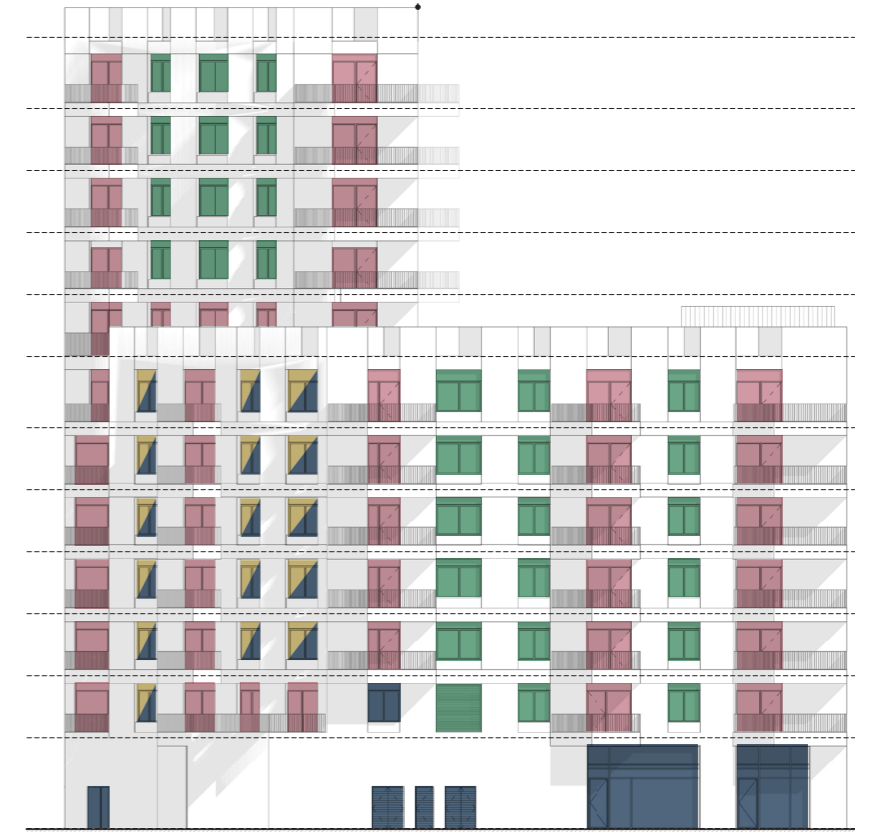


Access + Maintenance

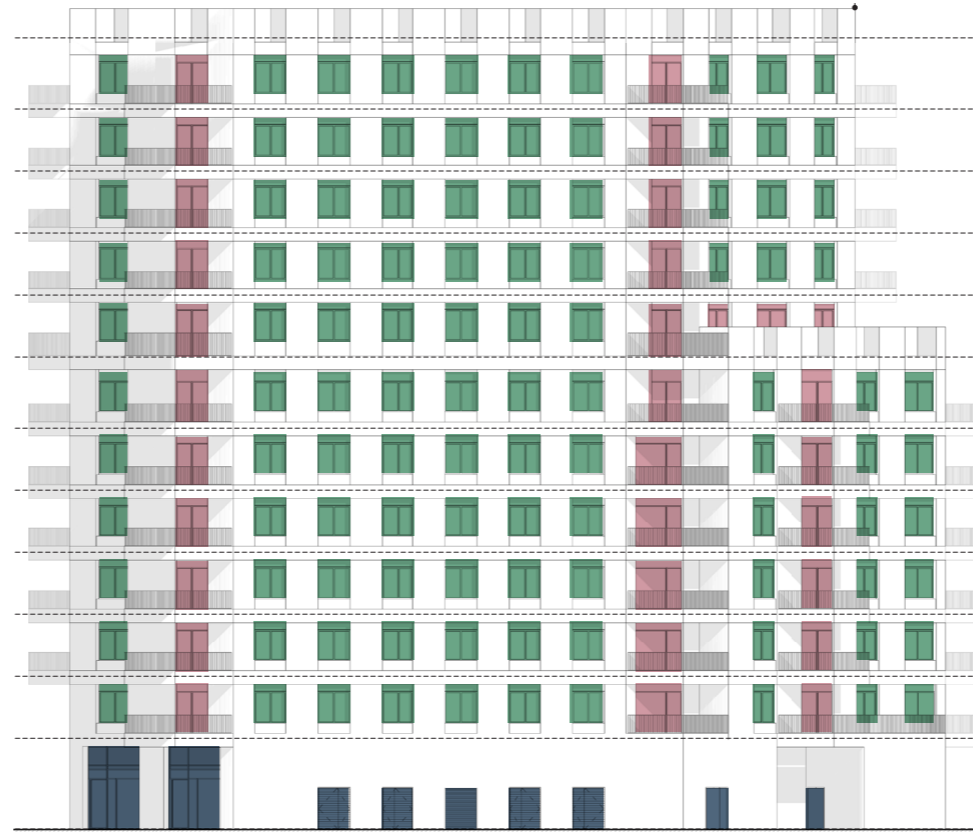
Plot F: Cleaning Strategy



South Elevation



West Elevation



North Elevation

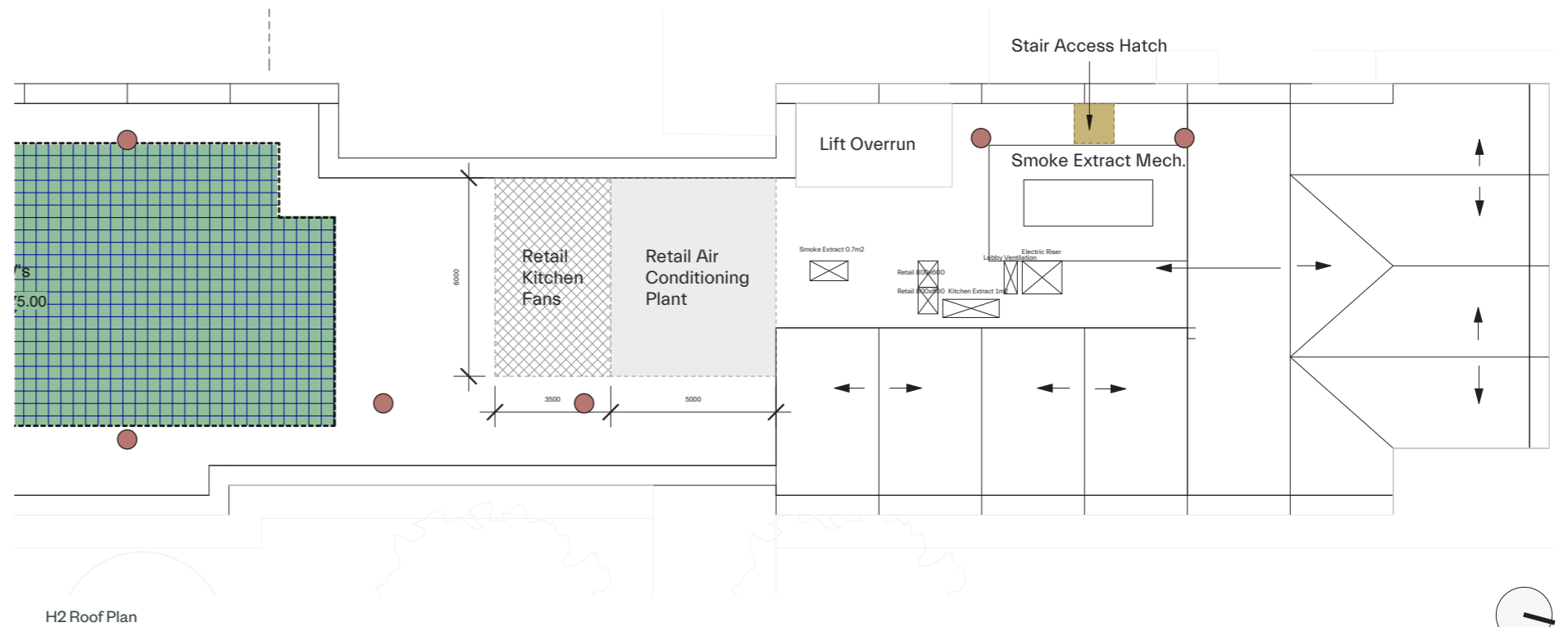
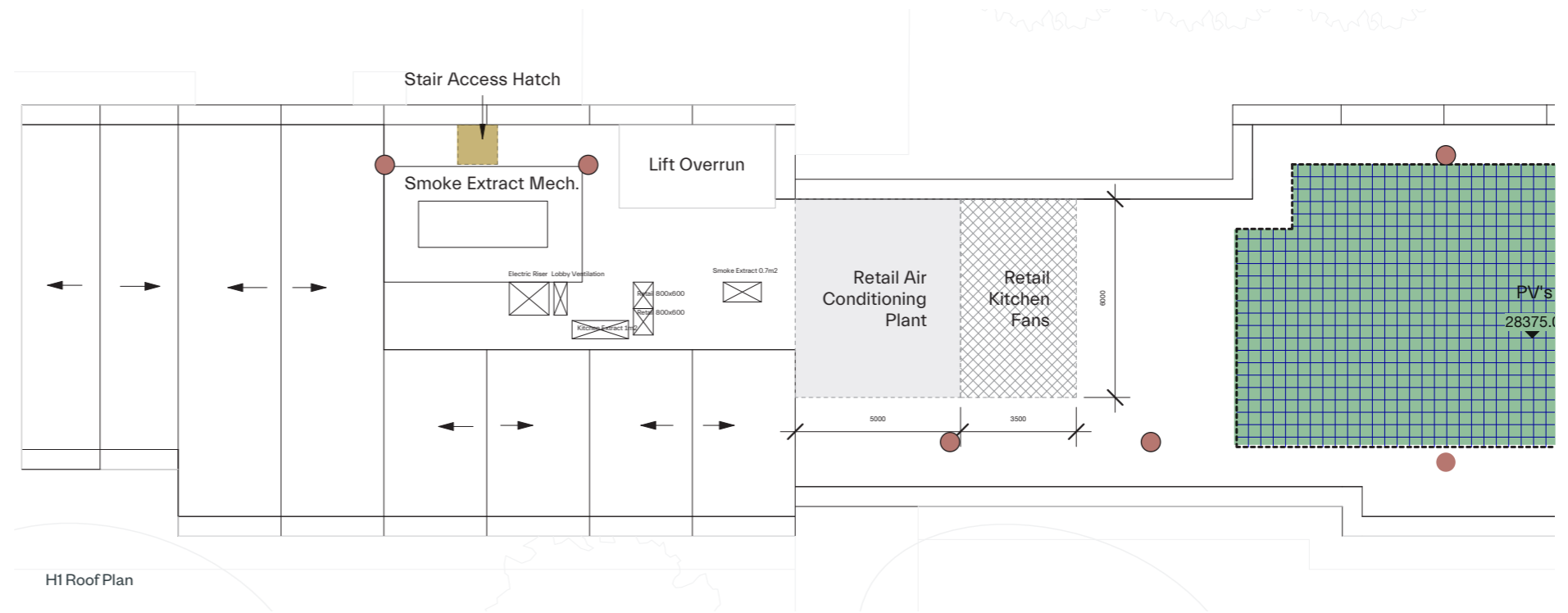


East Elevation

- Manual / Water fed long reach pole from street / communal terrace
- Abseil access from roof
- MEWP (Mobile Elevated Working Platform) from street
- Manual Clean from Private Amenity (balcony / terrace)

Access + Maintenance

Plot H: Roof Plan



- Entrance / Exit Points
- Roof Hatch Access
- Rope Access Points
- PV's and Biosolar Roof

