

Courtyard building plinths

Arrangement

The three courtyard buildings in the Outline Proposals have a two storey plinth that consists of an upper and a lower ground floor. The plinth creates vital separation for the homes above, and makes space which activates Enterprise Yard at street level. In addition the plinth enables the refuse provision to be handled discretely within the built form. Following an options appraisal of the waste strategy options with Velocity and LBTH, it was agreed to utilise a compactor refuse system within the podium car park, rather than the SULO underground system in the public realm used in Phases 1-3 of the original masterplan.

The compactor refuse system requires a 5m clear height during collection operation, so a double height space is required to the car park podium. This 5m clear zone allowed an upper ground floor to be inserted, creating:

- Work spaces with an upper ground floor mezzanine
- Two storey cycle stores with platform lifts
- Three storey maisonettes
- Double height communal entrances
- Two storey plant spaces for tall equipment.

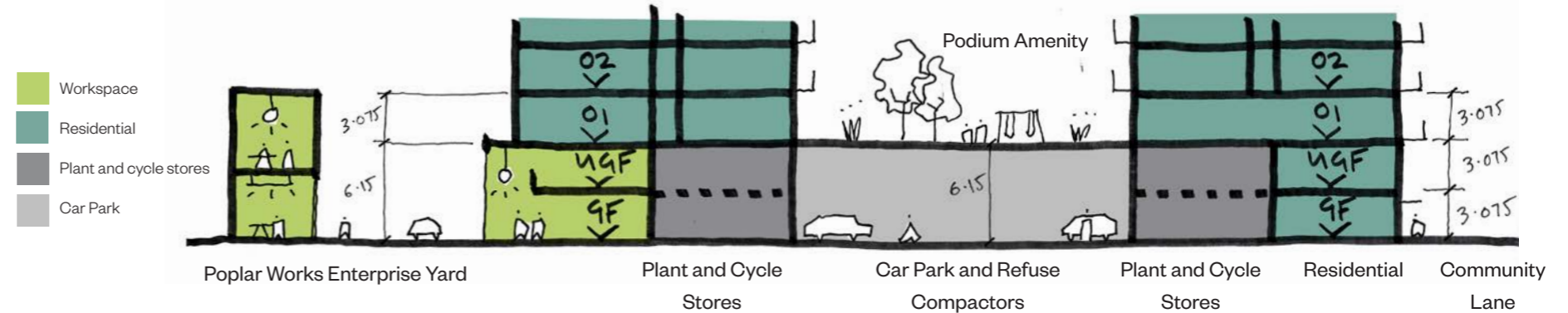


Fig.317 Concept section through courtyard building

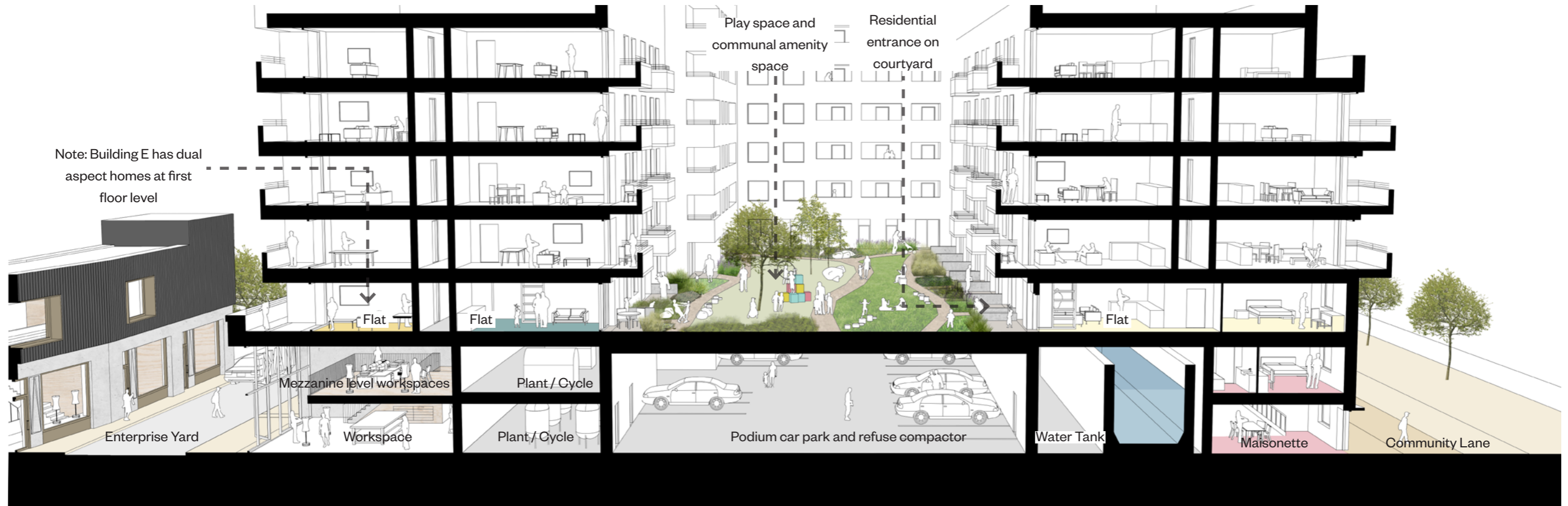


Fig.318 Sectional perspective of building C to illustrate building and podium organisation

Courtyard building plinths

Workspace

The two storey plinth creates the opportunity to deliver flexible new workspaces as part of the Outline Proposals, and to expand on the success of the existing Poplar Works buildings at the northern end of the site. The masterplan proposes a series of workspaces located along Enterprise Yard to face the existing and new Poplar Works buildings.



Fig.320 Location of work space units



Fig.319 Types of potential work spaces - creative maker spaces envisaged for Enterprise Yard

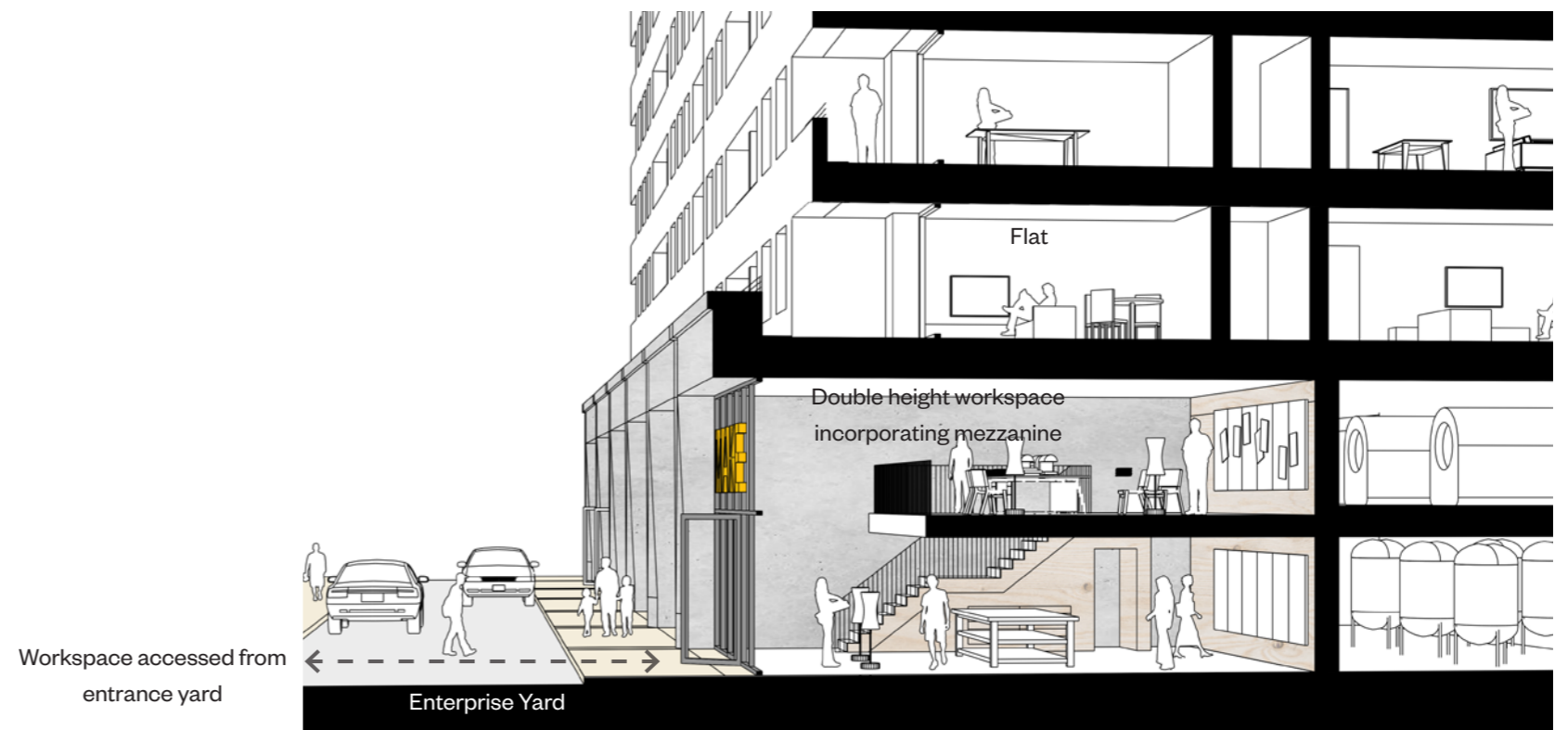


Fig.321 Sectional perspective through workspace plinth

Courtyard building plinths

Workspace

The diagrams on this page demonstrate the variety of different plinth workspace units catering for start up business' or larger established businesses moving to new premises. These spaces are flexible and can be rented as a double height space or with an upper ground floor mezzanine introduced to increase floor area. The illustrative masterplan assumes that all of these workspaces are delivered with an upper ground floor mezzanine level.

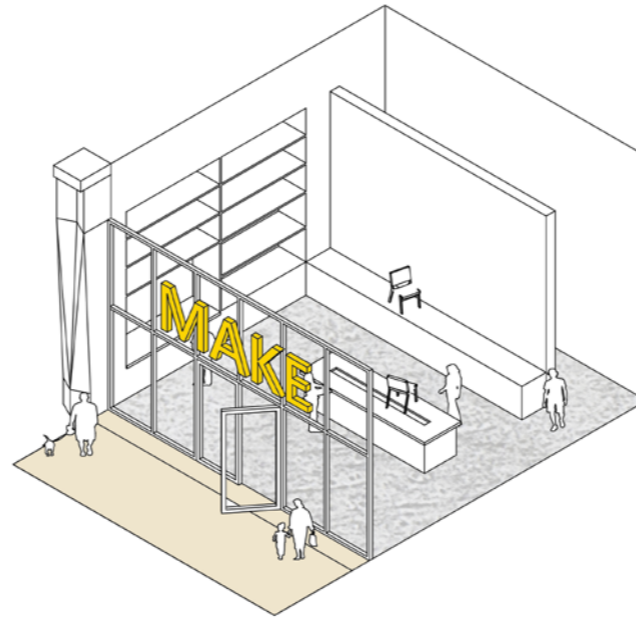


Fig.322 Single bay without mezzanine

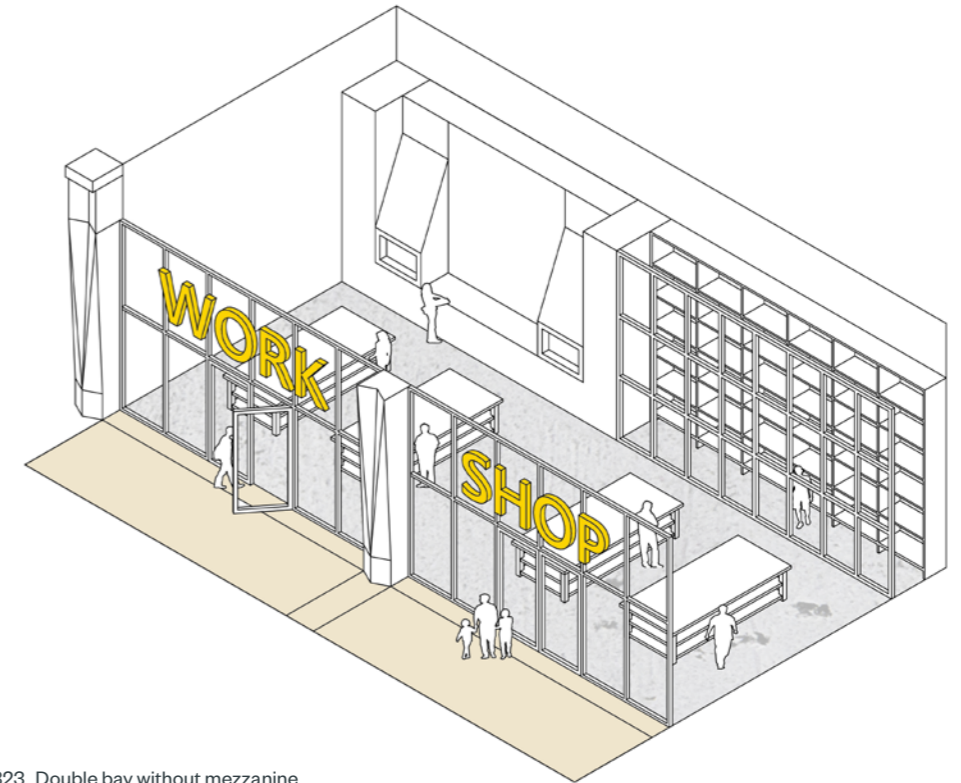


Fig.323 Double bay without mezzanine

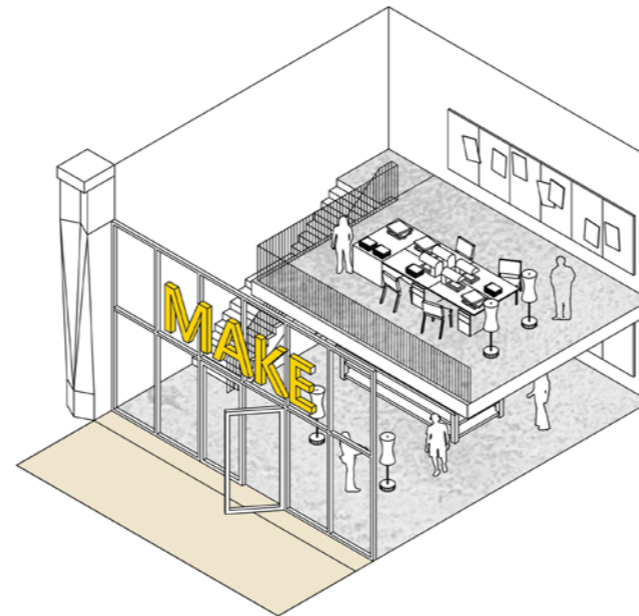


Fig.324 Single bay with mezzanine

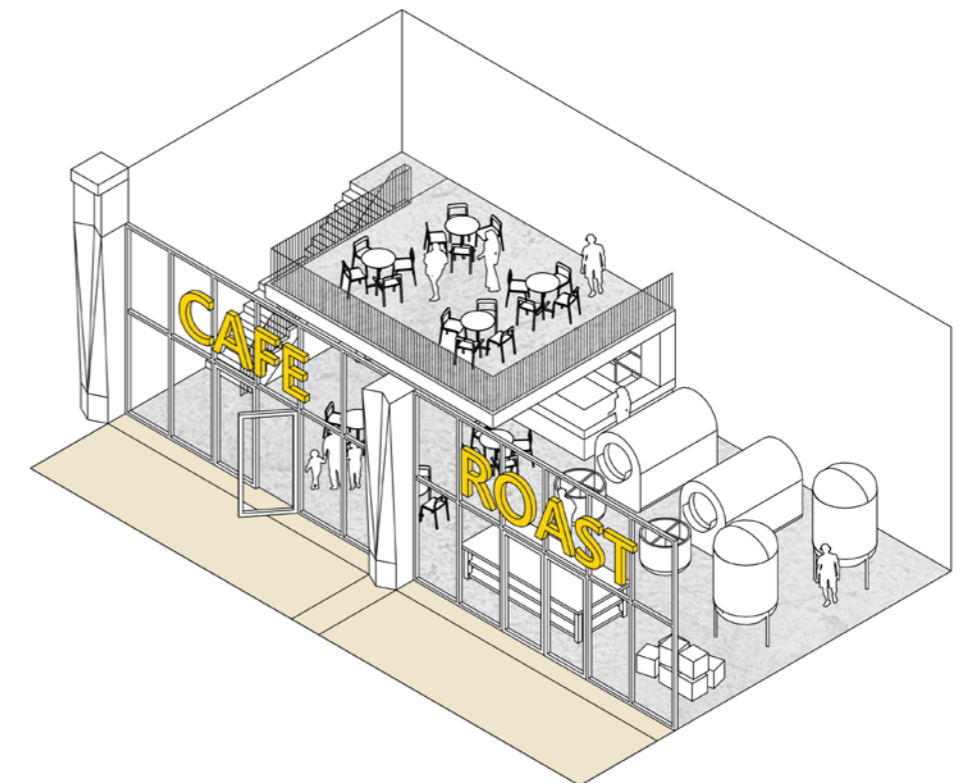


Fig.325 Double bay with mezzanine

New Poplar Works buildings

Workspace

To build on the success of the existing Poplar Works buildings, the Outline Proposals introduce three new Poplar Works buildings between the A12 and Enterprise Yard. These are long and shallow in form and act as an acoustic and visual barrier to the A12, creating a calm and safe route for pedestrians, cyclists and vehicles. Furthermore, the buildings help to activate Enterprise Yard, making the street vibrant and busy at all times of the day.

The workspaces within these buildings will be 'Plug and Play' micro units for small creative businesses. These will have shared facilities such as toilets and kitchens.



Fig.326 Types of potential work spaces envisaged in enterprise yard

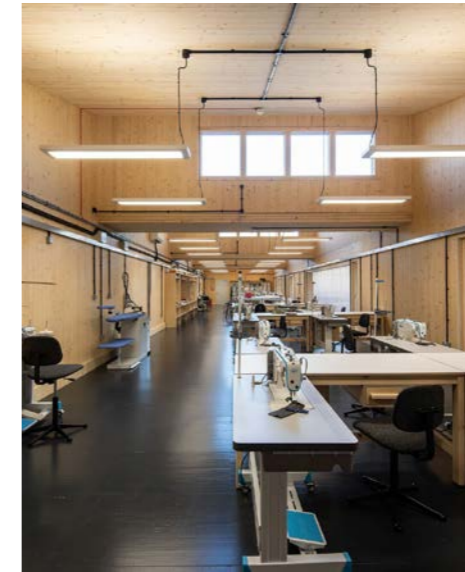


Fig.327 Existing Poplar Works building interior and exterior

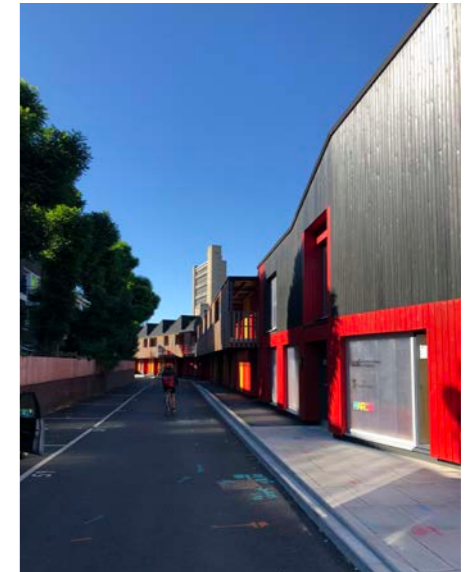


Fig.328 Location of buildings

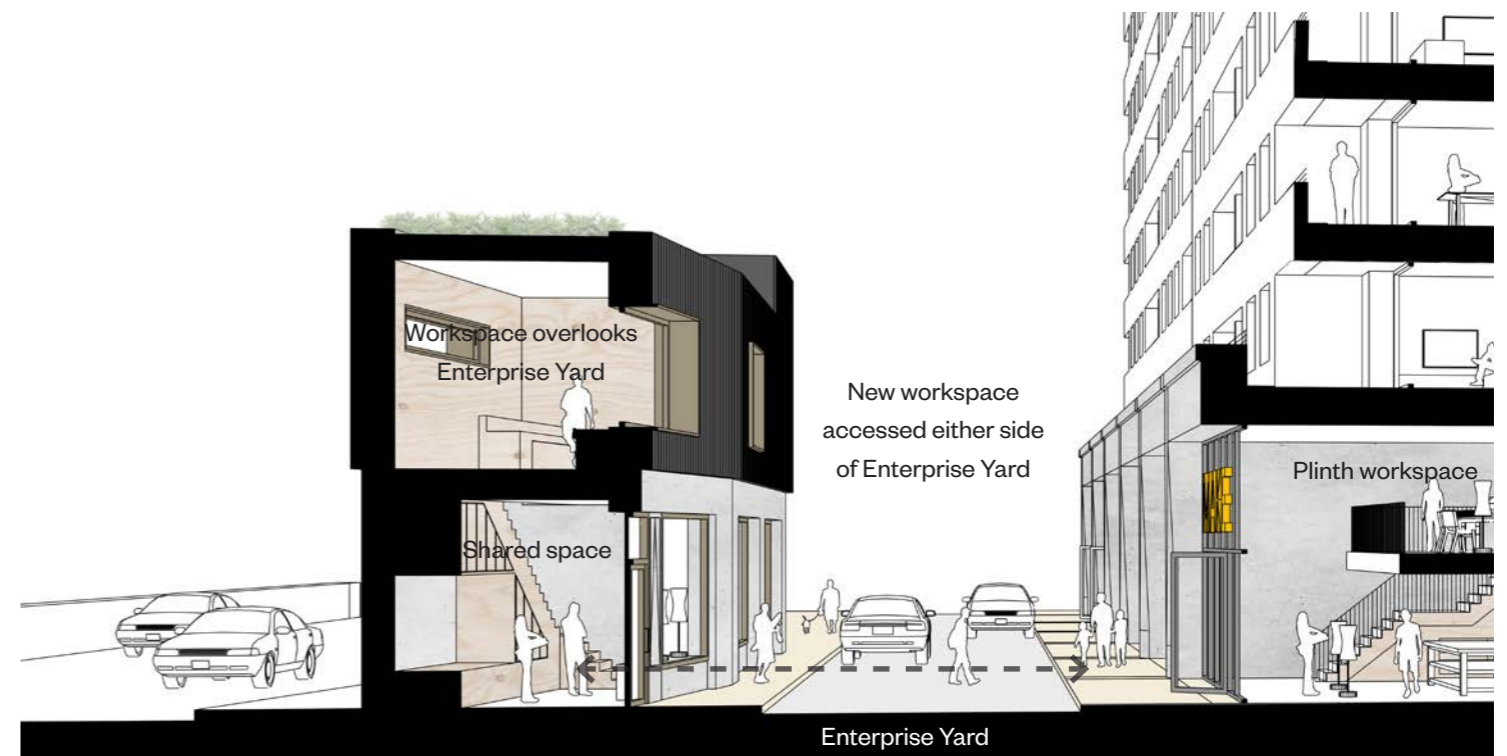


Fig.329 Sectional perspective illustrating the New Poplar Works buildings on Enterprise Yard

Retail

Aberfeldy Street

The majority of the retail space will be delivered as part of the Detailed Proposals in Phase A (please refer to the Phase A Design and Access Statement for further information). Within the Outline Proposals there will be retail spaces delivered in Phase B and Phase D.

In the illustrative scheme, the retail space delivered as part of Phase D is 739m². This will be located in the ground floor of Building D. This is an important building within the masterplan, which will complete the High Street character area as the final building on Aberfeldy Street. The retail units will face onto Highland Place and Millennium Green.



Fig.330 Types of retail units envisaged for Building D



Fig.331 Illustration of proposed Phase A retail units

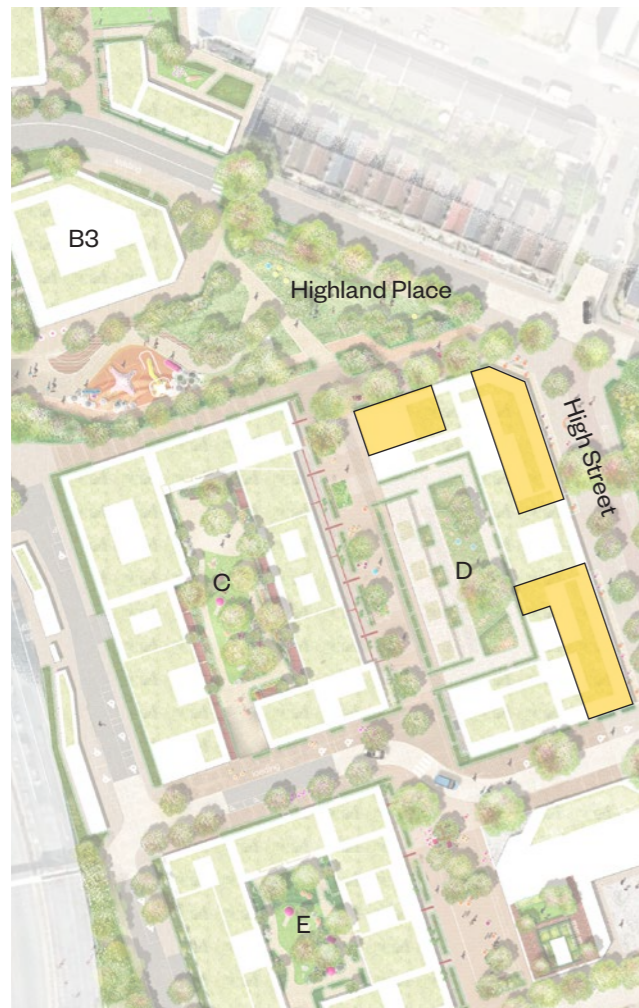


Fig.332 Location of retail units within Building D



Fig.333 Illustration of Building D retail units within a concrete plinth at the north end of the High Street

Retail

Highland Place

In the illustrative scheme, the retail space delivered as part of Phase B is 360m² and will be located in the basement of building B3 over looking the entrance to the Underbridge. This will create a well used and overlooked aspect to the public realm and the approach to the re-purposed pedestrian and cycle underpass, which will make the space safer at all times of the day.

The use of this retail unit will be flexible and is envisaged as a community cafe and cycle store/ surgery with a bike shop and repair centre.



Fig.334 Types of retail units envisaged in Building B3



Fig.335 Types of retail units for Building B3

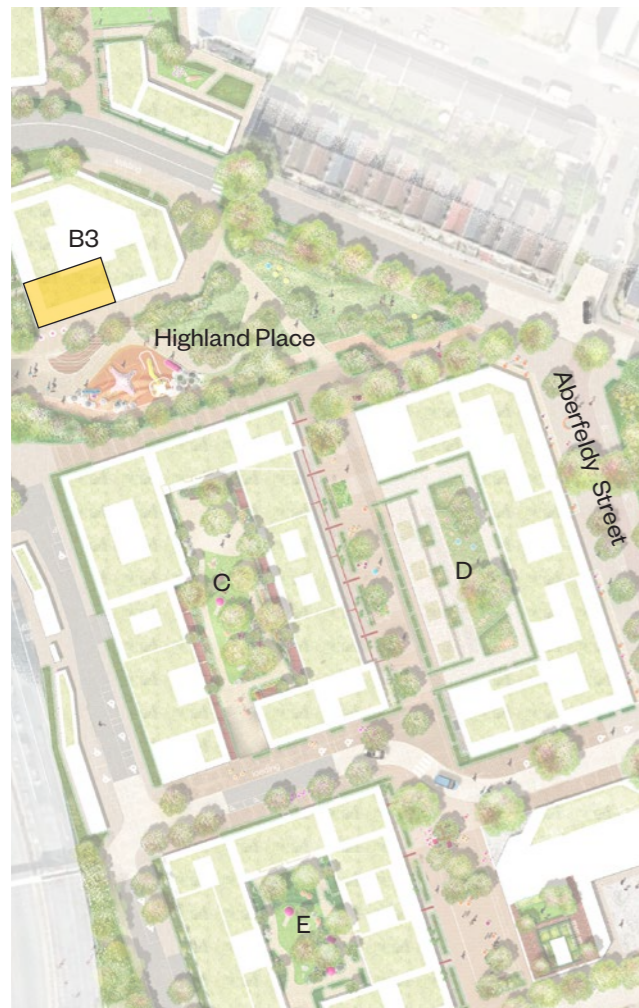


Fig.336 Location of retail units within Building B3



Fig.337 Visualisation of the proposed retail activation at the base of B3, within Highland Place and the approach to the Underbridge

Residents' Hub

Residents' facilities and estate management hub

The residents' hub sits at the heart of the masterplan within Highland Place where four threads of the masterplan converge. The Healthy Street, Enterprise Yard, Community Lane and The High Street. It's central location has been specifically chosen to allow easy access to the facilities by residents across the masterplan, and also to overlook and activate the approach to the Underbridge.

The residents' hub occupies the two storey plinth of Building B3 - the tallest building in the masterplan - and will consist of:

- The residents facilities
- Resident concierge
- Estate management hub



Fig.338 Uses within The Residents' Hub: concierge, gym and co working / meeting space



Fig.339 Location of The Residents' Hub within Building B3



Fig.340 Illustration of The Residents' Hub located within Highland Place at the base of Building B3

Entrances, thresholds and lobbies

Workspace: Enterprise Yard

The new workspaces within the courtyard plinths and the new Poplar Works buildings will be accessed from Enterprise Yard and the Cross Streets (Dee Street and Ettrick Street). These entrances will lead directly into the workspaces, which can also be used as showrooms to display the produce of the creative workers.



Fig.341 Precedents to illustrate workspace thresholds and treatments envisaged along Enterprise Yard



Fig.342 Key plan showing section location in Building C



Fig.343 Sectional perspective through Enterprise Yard work space entrances

Entrances, thresholds and lobbies

Residential: Communal entrances

The illustrative masterplan for the Outline Proposals introduces active frontages at ground floor level to increase natural surveillance of all streets and public realm. The communal entrances are strategically located at important junctions, with the majority located along the east-west Cross Streets. A number of communal entrances are located along Enterprise Yard and the High Street to further activate these important north-south streets.

All communal entrances are well lit, receive good daylight levels and are clearly identifiable and directly accessible from the public realm. The communal entrances to the courtyard buildings and building B2 will be double height, with high quality external materials carried through to the interiors and feature pendant lighting, as illustrated in the images opposite.



Fig.344 Double height interior



Fig.345 Double height entrance glazing



Fig.346 Double height entrance glazing



Fig.347 Key plan showing section location in Building C

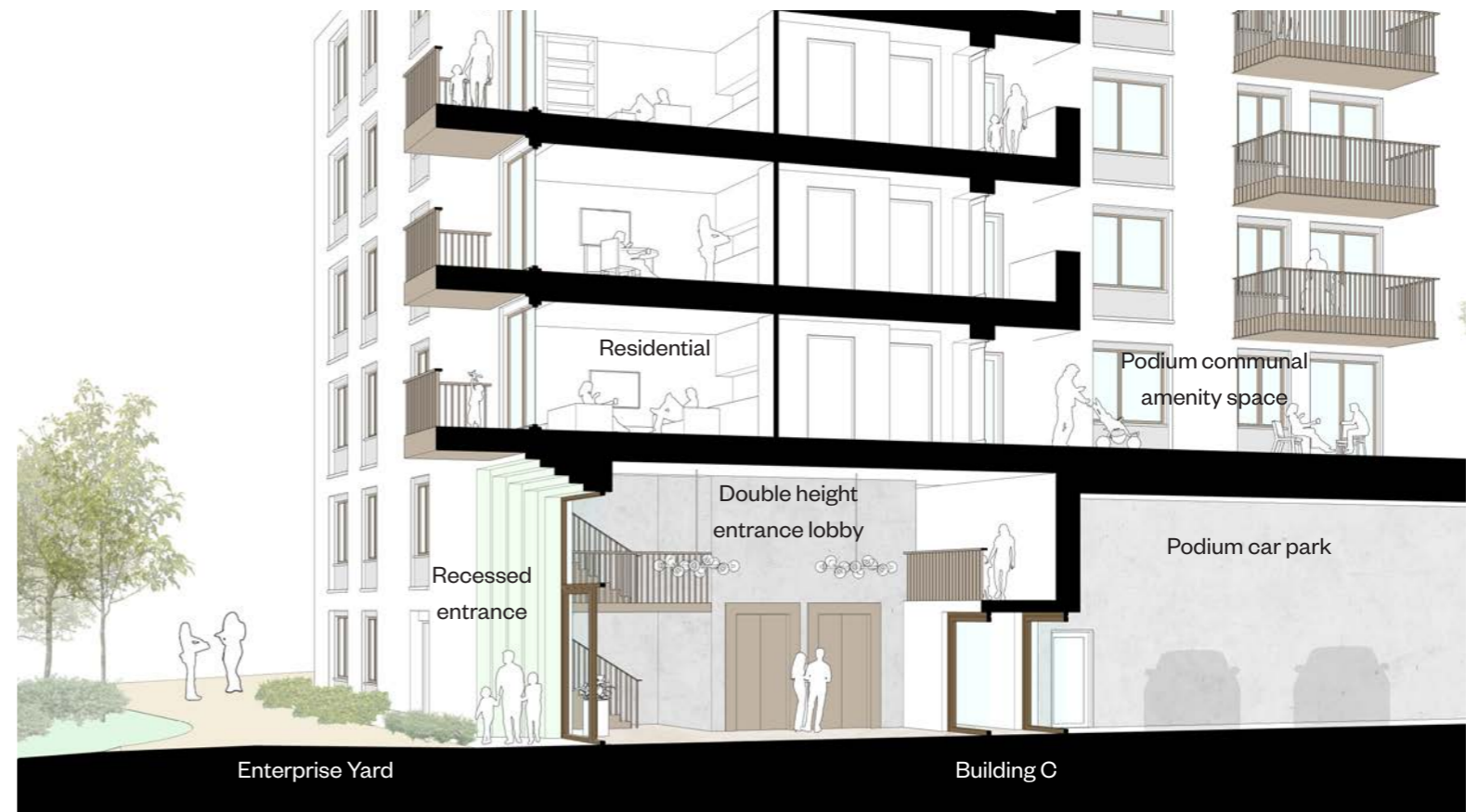


Fig.348 Sectional perspective through communal entrance of Building C2

Entrances, thresholds and lobbies

Residential: Communal entrances

A number of the communal entrances within the illustrative masterplan of the Outline Proposals will be single rather than double height. These entrances will be generous in height, with approximate floor to ceiling height of 3.5m, because they are located adjacent to non residential uses with floor to floor height of 4.5m.

All communal entrances will be open with letter boxes in a single entrance lobby, rather than a double lobbied entrance. The security of the entrances will be developed during the RM's for each phase of the Outline Proposals.

Access to cycle stores and refuse stores will not be directly off the communal entrance lobbies because of fire regulation restrictions and security issues.

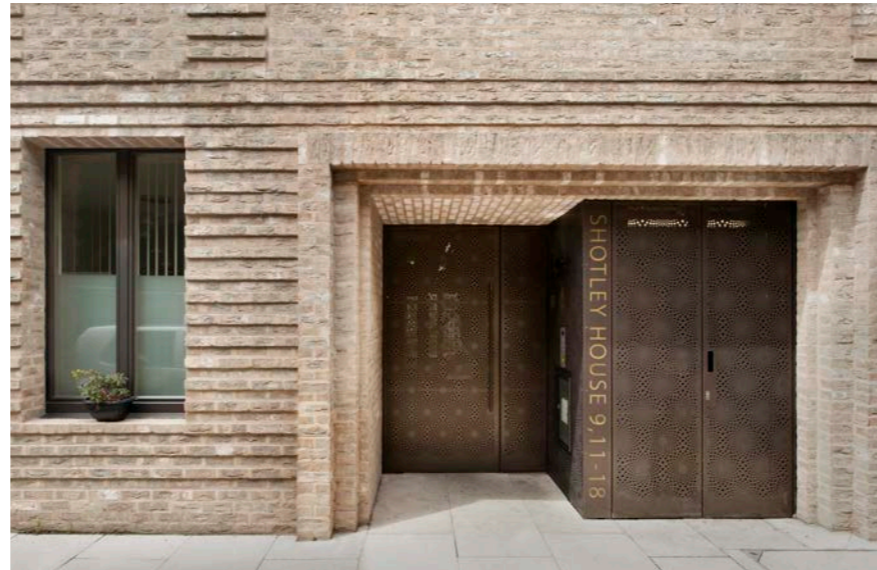


Fig.349 Generous single storey entrances marked with splayed recessed detail, signage and lighting



Fig.350 Generous single storey entrances marked with splayed recessed detail, signage and lighting

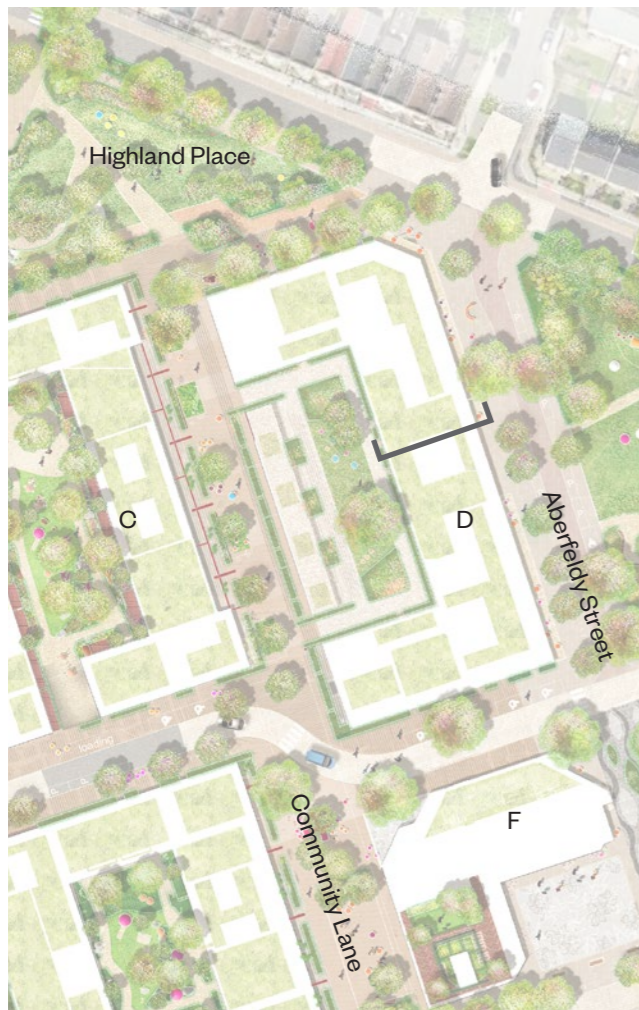


Fig.351 Key plan showing section location within Building D

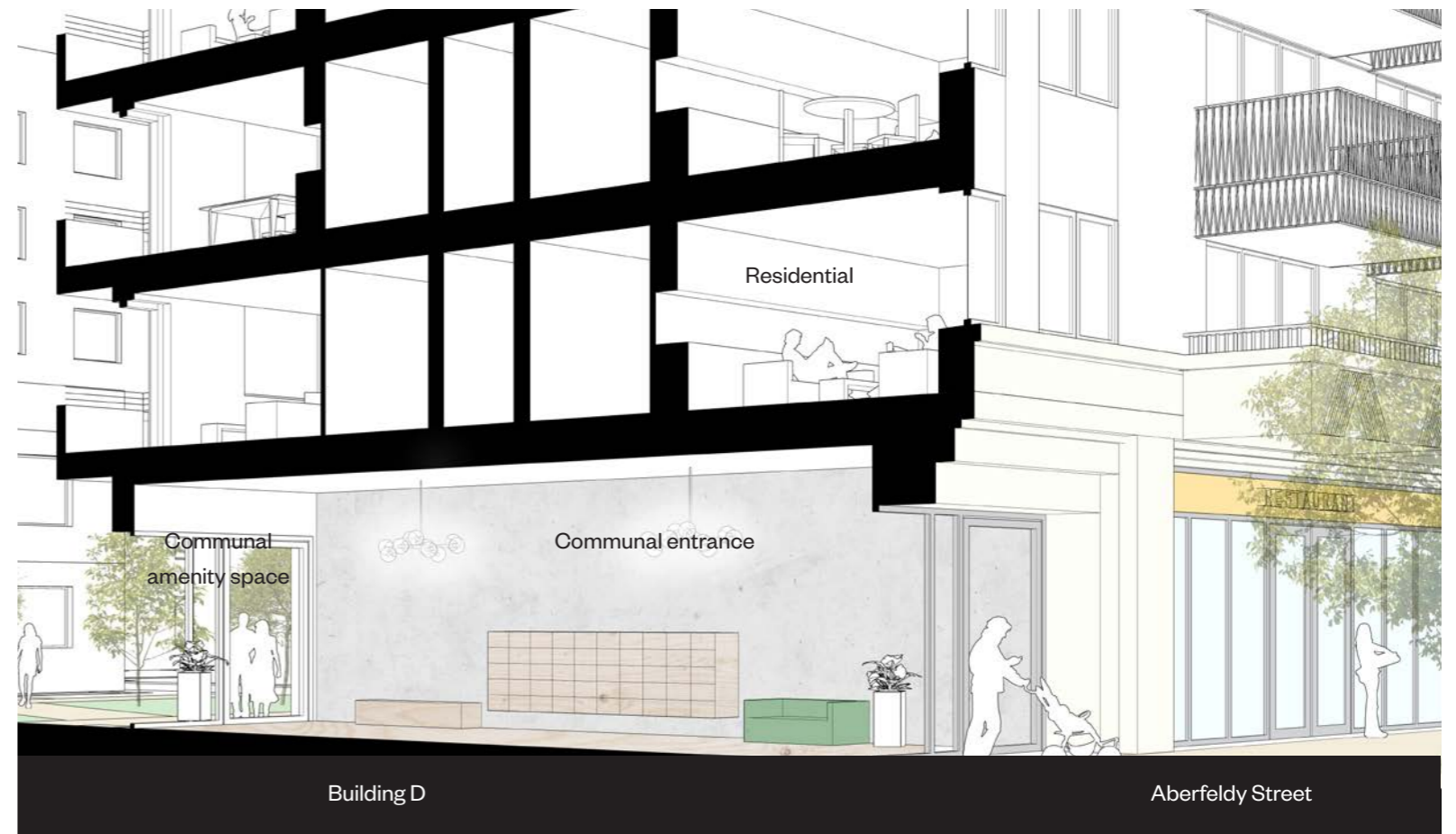


Fig.352 Sectional perspective through communal entrance of building C2

Entrances, thresholds and lobbies

Residential: Individual entrances

The ground floor of the Outline Proposal illustrative masterplan has been further activated with individual entrances to family homes throughout the masterplan. The majority of these entrances belong to social rent family homes and are located within Community Lane.

The individual entrances belong to either maisonettes or houses and are recessed. Where possible the entrances are paired together to foster a sense of community and neighbourliness.

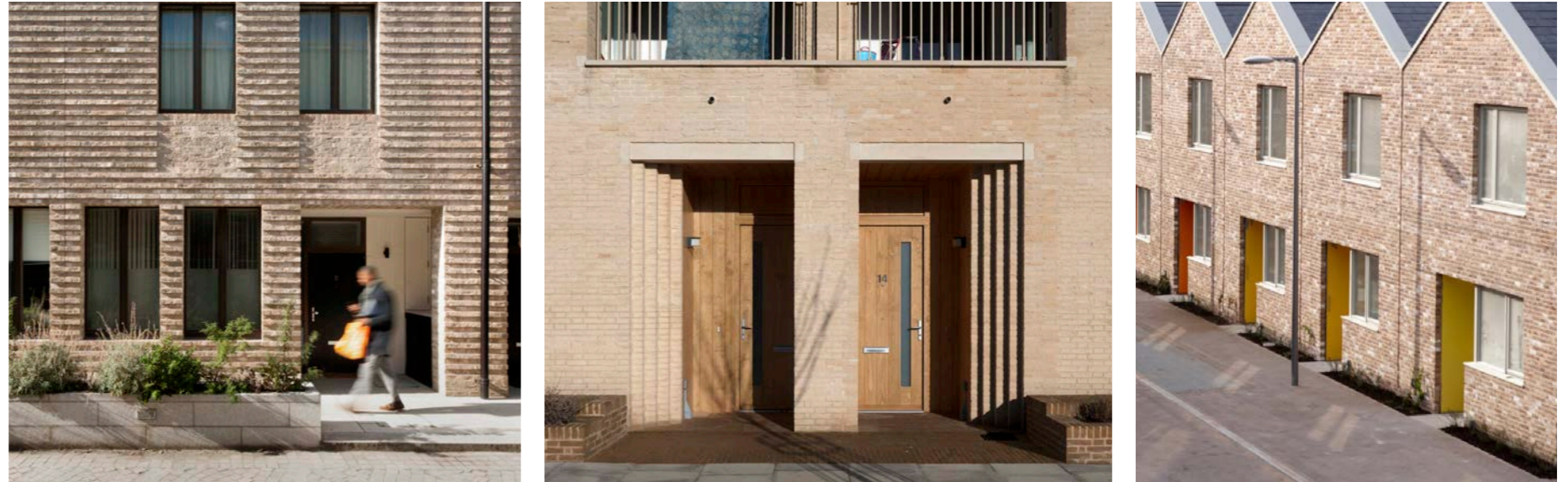


Fig.353 Examples of individual entrances showing pairing of front doors, recessed entrances, brick detailing celebrating the entrance and front garden built in planters

Key

- | | |
|--|--|
| 1 Paired recessed entrances in glazed brick | 6 Brown-grey brick |
| 2 Anodised aluminium windows in dark bronze | 7 Concrete coping |
| 3 Expressed window surround | 8 Recessed upper level, brick to match below |
| 4 Projecting metal balcony in bronze finish | 9 Concrete cill |
| 5 Recessed brick detail expressing maisonette frontage | 10 Garden wall, brick to match facade |



Fig.354 Sectional perspective through individual entrance on Community Lane

6.2

APPEARANCE

Primary Tower - B3

Illustrative proposals

The appearance description of Building B3 for the illustrative masterplan, within the Outline Proposals, is set out on pages 182 and 182. The materials, images and text description provided are illustrative only and are provided to show one possible way of fulfilling the requirements of the masterplan's Design Code and Parameter Plans.

As the tallest building of the Outline and Detailed Proposals, it is important that this building establishes a dialogue with Balfron Tower and so its design is informed by the sophisticated relationship between vertical and horizontal elements in the existing building. These principles are simplified here and the borrowed language is expressed very subtly.

The primary facade material is a dark cast panel with a smooth, polished texture. Within this facade, horizontal and vertical strips of a paler cast panel with a fluted motif are employed.

On the broader façades, the south (shown opposite) and the west, the secondary geometry expressed by the paler bands is horizontal. On the more slender façades (the north and east) the expression is vertical to emphasise vertical proportion.

Windows, in anodised aluminium are grouped within these concrete bands to further emphasise this overall elevational expression.

A concrete plinth, paler still than the fluted banding, forms the base and incorporates some of the cast in detail of the facade above. A double order is used to indicate entrances to the residential core and the communal residents' hub.

Key

- 1 Dark cast panel with smooth, polished finish
- 2 Paler (mid grey) cast panel with fluted motif
- 3 Recessed balcony at building corner
- 4 Anodised aluminium windows in dark bronze
- 5 Pale concrete plinth
- 6 Cast panel with fluted detail
- 7 Double order entrance to resident's hub with metal canopy

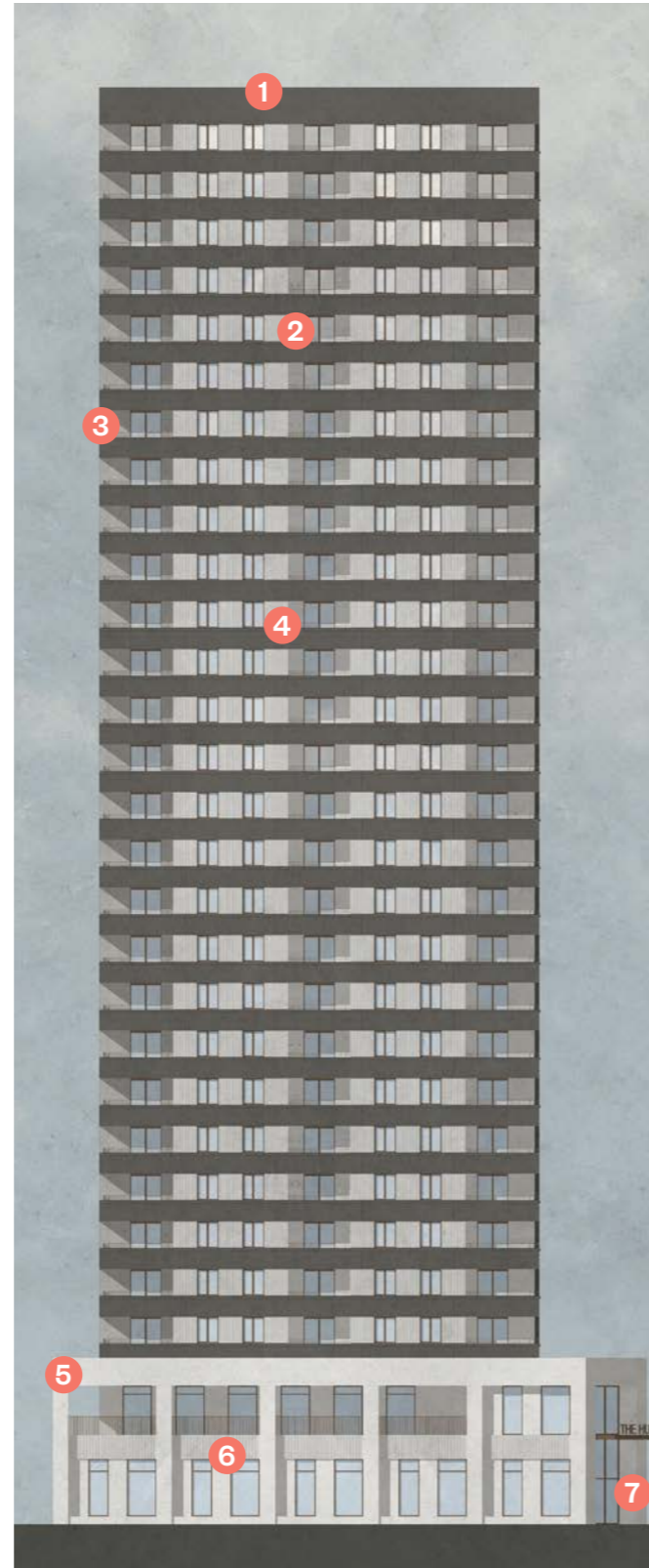


Fig.357 South elevation of Building B3



Fig.355 Plinth addressing Highland Square and Abbott Road containing residents' hub



Fig.356 Top of B3 tower showing contrast between vertical and horizontal facade expression



Fig.358 Building B3 viewed from Abbott Road

Primary Tower - B3

Illustrative materials and elevation principles

Materials

Building B3 sits at the confluence of a number of character areas and can be viewed alongside several key buildings. The material selection has therefore been chosen to compliment, yet be distinct from these character areas.

The facade materials of this building will be durable, robust and of the highest quality. The primary material for this building is a cast panel with variation in colour and texture incorporated to emphasise the geometry of the facade.

Windows will be metal and have an anodised finish in a dark colour such as bronze. Any other metalwork, such as balustrades, will be of a matching colour.

Facade principles

Building B3 will be predominantly vertical in proportion and the tallest building in the Proposed Development indicating the importance of the new cycling and pedestrian connection between Highland Place and west of the A12, which it marks.

Facade principle 01 - the building is divided into two distinct volumes that signify the different uses housed within. There will be a two storey Residents' Hub plinth with a larger footprint and a double order and a more slender twenty six storey residential tower above.

Facade principle 02 - The design of the facade will respond to, and create a dialogue with Balfron Tower, this is shown here as a play of single order horizontal and vertical facade expressions responding to key views and public realm conditions.

Facades will be strongly directional, with vertical elements (such as on the east facade) emphasising the slenderness achieved by the introduction of the chamfer. Horizontal elements will be used to draw the eye through key spaces.

Facade principle 03 - Windows and balconies will be contained within their corresponding horizontal and vertical bands so that they further emphasise this primary facade strategy.

Key

- 1 Slender residential tower
- 2 Two storey Residents' Hub plinth
- 3 Horizontal facade expression
- 4 Vertical facade expression
- 5 Windows and balconies within horizontal bands
- 6 Windows and balconies within vertical bands

Further information on Facade Principles and Materials is provided in the **Design Code** prepared by Levitt Bernstein.



Fig.359 Bronze metal work



Fig.360 Dark, cast facade with polished finish



Fig.361 Folded pleated detail



Fig.362 Simple canopy with illuminated underside

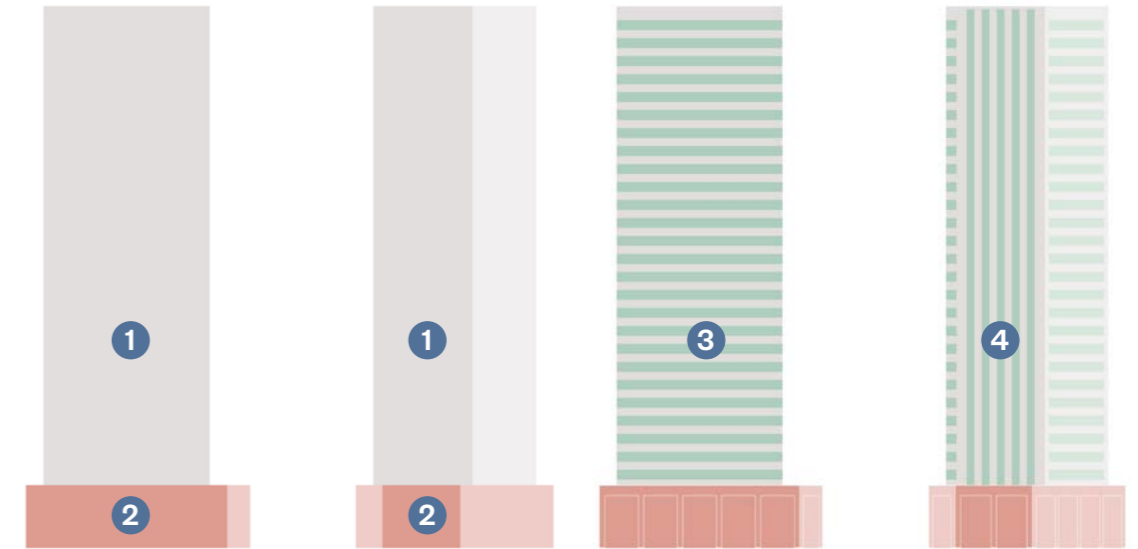


Fig.363 Building B3 Facade Principles - 01

Fig.364 Building B3 Facade Principles - 02



Fig.365 Building B3 Facade Principles - 03

Buildings B1 and B2

Illustrative proposals

The appearance description of Building B1 and B2 for the illustrative masterplan, within the Outline Proposals, is set out on pages 184 and 185. The materials, images and text description provided are illustrative only and are provided to show one possible way of fulfilling the requirements of the masterplan's Design Code and Parameter Plans.

Building B1 and B2 sits at the north of the tall buildings cluster marking the junction between Abbott Road and the A12. The tower (B2) is a reflection of Tower C1 to the south. This repetition helps to identify B3, which sits between the two as the primary building of the cluster. To the north of the tower, the building steps down to sit comfortably with the scale of Building A and with the terraced houses to the east.

The facade is expressed as strongly horizontal, with windows and balconies grouped through the use of concrete banding at the heads and cills. Windows and balconies stack to give the impression of a secondary vertical 'weave' sitting behind the foremost horizontal layer.

The horizontal 'ribbons' run through from the taller element (B2) to the shorter (B1) to tie these elements together and emphasise this building as one volume.

Windows are in a dark bronze anodised aluminium with other metalwork, such as screens or balcony guardings coloured to match.

The primary facade material is a pale brick in a warm tone. This is used on the other residential buildings on Enterprise Yard to provide consistency and to distinguish them from Building B3.

The building meets the ground in a pale concrete plinth incorporating a pleated detail at the columns. Workspace is incorporated where possible to activate the street. A significant amount of plant space is required in this building and so the treatment of this is important. Perforated screens, with a motif to match those on the building opposite, are used to conceal louvres.

Key

- | | |
|--|---|
| 1 Pale brick with warm tone | 5 Pale concrete plinth |
| 2 Aluminium windows with anodised bronze finish | 6 Plant entrance with perforated screen, finish to match windows above |
| 3 Recessed balcony at building corner | 7 Glazing to workspace |
| 4 Concrete banding detail | |

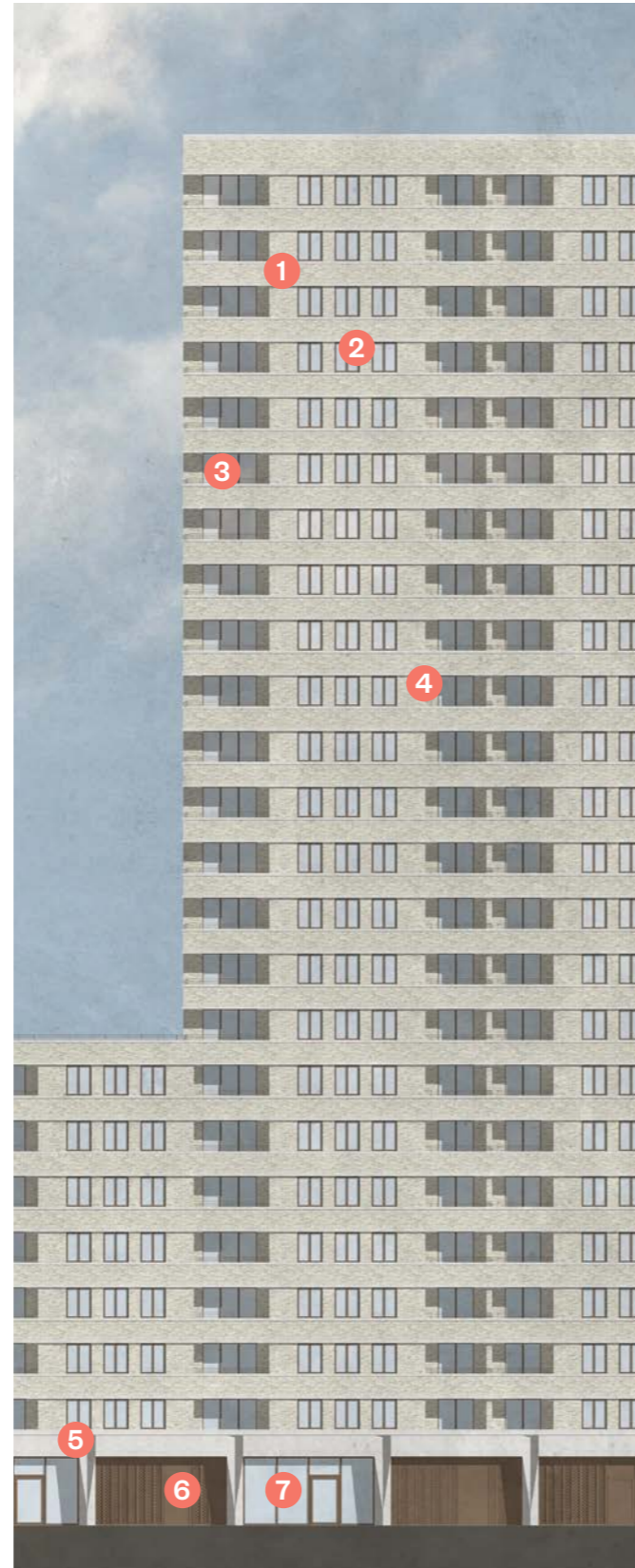


Fig.368 Partial east elevation of building B1/B2 (Enterprise Yard)



Fig.366 Recessed balconies and concrete banding to Building B2



Fig.367 Top of Building B2



Fig.369 Building B1/B2 viewed from Abbott Road