

5.5. Community Lane

Typical layout

The minimum distances between buildings are set in the Parameter Plan "Building Plots" which **must not** be deviated from.

5.5.5. Community Lane runs north-south through the heart of the masterplan, linking Bromley Hall School to the north and Culloden Primary Academy to the south. It is a pedestrian and cycle route with width ranging from 13m to the north to 19.5m in proximity to plot F and includes a variety of housing typologies, such as flats and family homes.

5.5.6. A vehicular route around plot A1-2 provides access to the northern side of the masterplan. To the east of A1-2 B1-2 there is a substantial area of public realm which includes areas for play, community grow areas and open space, followed by a pinch point between plots B1-2 and B4 providing a transition to Highland Place and Abbott Road.

5.5.7. The southern part of Community Lane is characterised by a more regular width and individual entrances on plots

A1-2, B1-2, C1-4, D1-4 and E1-3 animate the internal route providing interaction opportunities.

5.5.8. Culloden Green to the south relates to plot E1-3 and the Phase A detailed proposal Building F with a consistent width of approximately 20 meters.

5.5.9. Three east-west links connect the character area to Dee Street, Ettrick Street and the north of plot B1-2.

Land use

The land uses are defined in the Parameter Plans "Land Use Basement", "Land Use Lower Ground Floor", "Land Use Upper Ground Floor", "Land Use First Floor" and "Land Use Upper Floors" which **must not** be deviated from.

5.5.10. The ground floor use along Community Lane **should** be residential only except for the northern side of plot D which could include non-residential uses fronting onto Highland Place. The upper floors **should** be residential only.



Fig.226 Illustrative masterplan extract - Community Lane



Fig.227 Create a pedestrian friendly environment



Fig.228 Promote cycling by introducing safe routes



Fig.229 A pedestrian and cycle priority connection allowing informal play in the street



Fig.230 A soft planted route with opportunities for seating and social interactions



Fig.231 A child-friendly street that encourages play



Fig.232 Private entrances to family homes, directly off Community lane

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Scale and massing

The scale and massing are defined in the Parameter Plan "Building heights" which further proposals **must not deviated from**.

- 5.5.11. Buildings in this area are generally small and medium scale [1] with a taller element located to the north of the character area within plot B1-2 [2].
- 5.5.12. Articulation of the top storeys **must** be considered [3], as this reduces the impression of the overall scale, in particular to the northern side of Community Lane.
- 5.5.13. Building form **must** have a consistent and regular order to set up a calm rhythm along the Lane [4].
- 5.5.14. Building setbacks along Community Lane **must** be considered [5], in order to animate the street and the elevations, whilst responding to the neighbourhood feel.
- 5.5.15. Particular attention **should** be given to frontages at the corners to the East West routes [6] and the special corner at the intersection with the Healthy Street [7].

Key

- Site boundary
- Maximum building envelope
- Illustrative scheme
- Maximum development zone
- Phase A (illustrative)

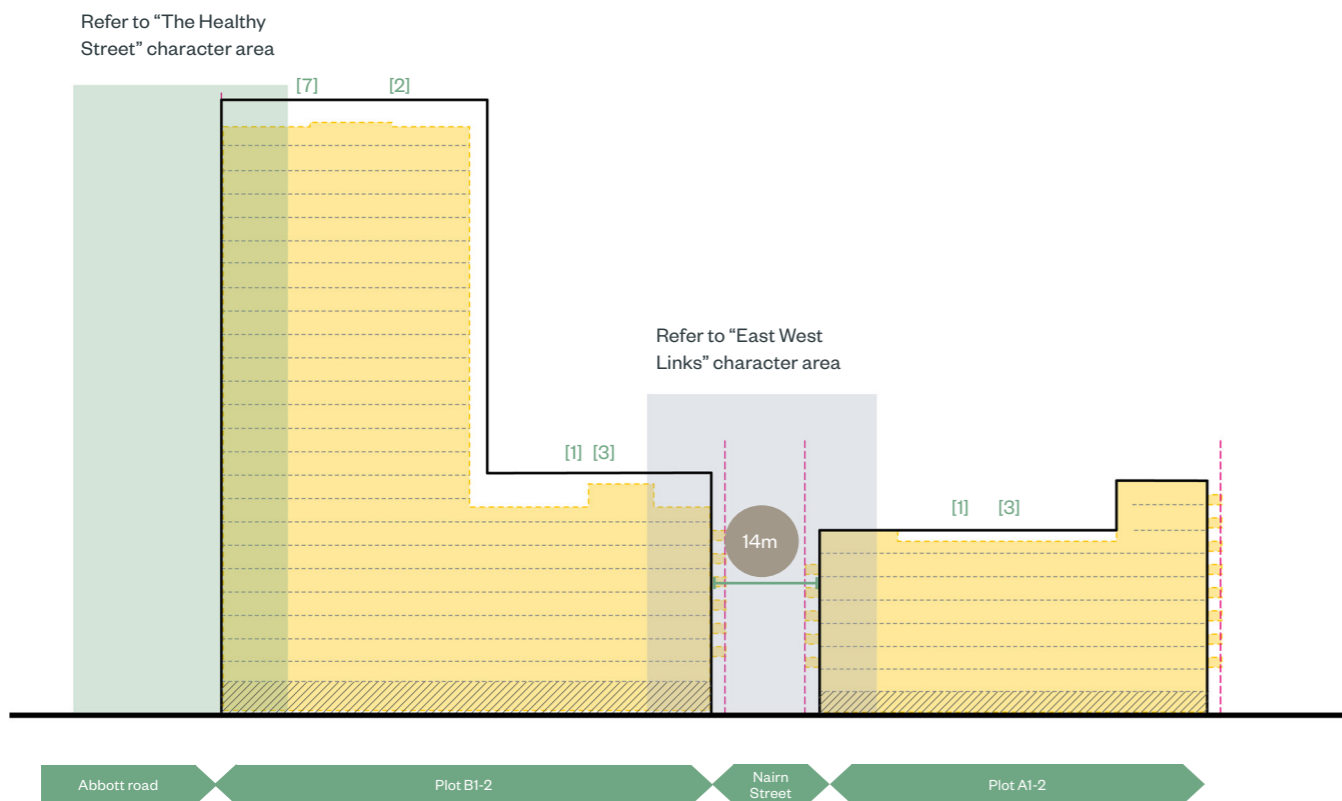


Fig.233 Illustrative elevation BB - Community Lane North looking west



Fig.234 Illustrative elevation diagrams - key plan

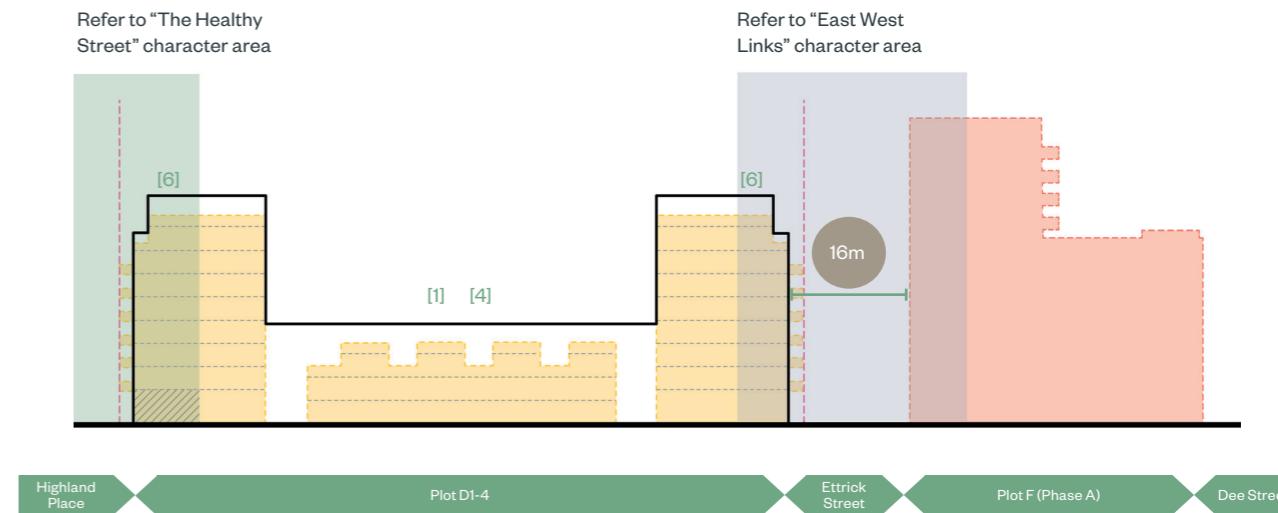


Fig.235 Illustrative elevation CC - Community Lane south looking east

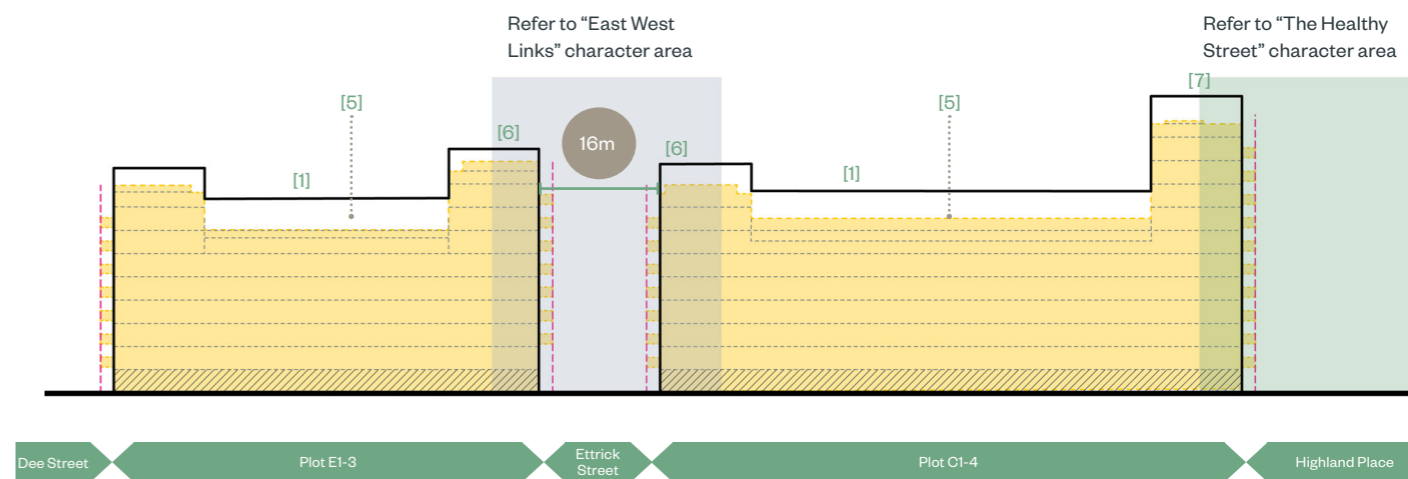


Fig.236 Illustrative elevation DD - Community Lane South looking west

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Building frontages and elevations

- 5.5.16. The ground floor frontage in Community Lane **must** be residential. Plant rooms and refuse stores **must** only be located on secondary frontages, in order to provide an active ground floor.
- 5.5.17. Maisonettes accessed from Community Lane are encouraged. Entrances **must** be paired and recessed, and their design **must** be integrated with landscape proposals, with consideration given to threshold.
- 5.5.18. The uppermost storey of apartment buildings **must** be set back where required by the parameter drawings to provide relief. Variations in materiality **should** be considered here.
- 5.5.19. Projecting balconies and terraces are encouraged at upper levels to bring activity to the street.
- 5.5.20. Detailing **must** be in brick and **should** relate to landscape and public realm treatments.
- 5.5.21. The use of other materials and details such as glazed brick and window surrounds expressed in concrete and/or render **are appropriate** here.
- 5.5.22. Where houses sit on Community Lane, their roof-forms **must** be varied to provide relief, interest, and to differentiate them from the apartment buildings.
- 5.5.23. Colour and detailing **should** also be used to provide variety and emphasise the domestic scale of this space.
- 5.5.24. Several of the buildings addressing Community Lane will also have façades that face other character areas. The relationship and interface between these façades **must** be carefully considered and elegantly handled.



Fig.237 Entrances expressed through a change in material and detail



Fig.238 Projecting balconies and coloured metalwork to match window frames



Fig.239 Illustrative sketch showing Community Lane South