

6.5. Building types

5 Courtyard with Tower

6.5.77. Similar to Type 4 (Courtyard building) and Type 2 (Tower with leg), this building also addresses Enterprise Yard, Community Lane and the East West Links, incorporating a tower at the north west corner which completes the tall buildings cluster.

6.5.78. The building creates a strong perimeter, which forms a barrier to the A12, enclosing a residents amenity space at podium level. To the north, south and east, where the character and scale of the spaces are more domestic, this barrier breaks down and a more varied roof line and façade emerges.

6.5.79. Residents access their cores through double height lobbies which activate the street and provide a sense of arrival.

6.5.80. The architectural expression of the façade responds to the rigour of Balfron Tower and the sophisticated relationship between horizontal and vertical elements that it establishes.

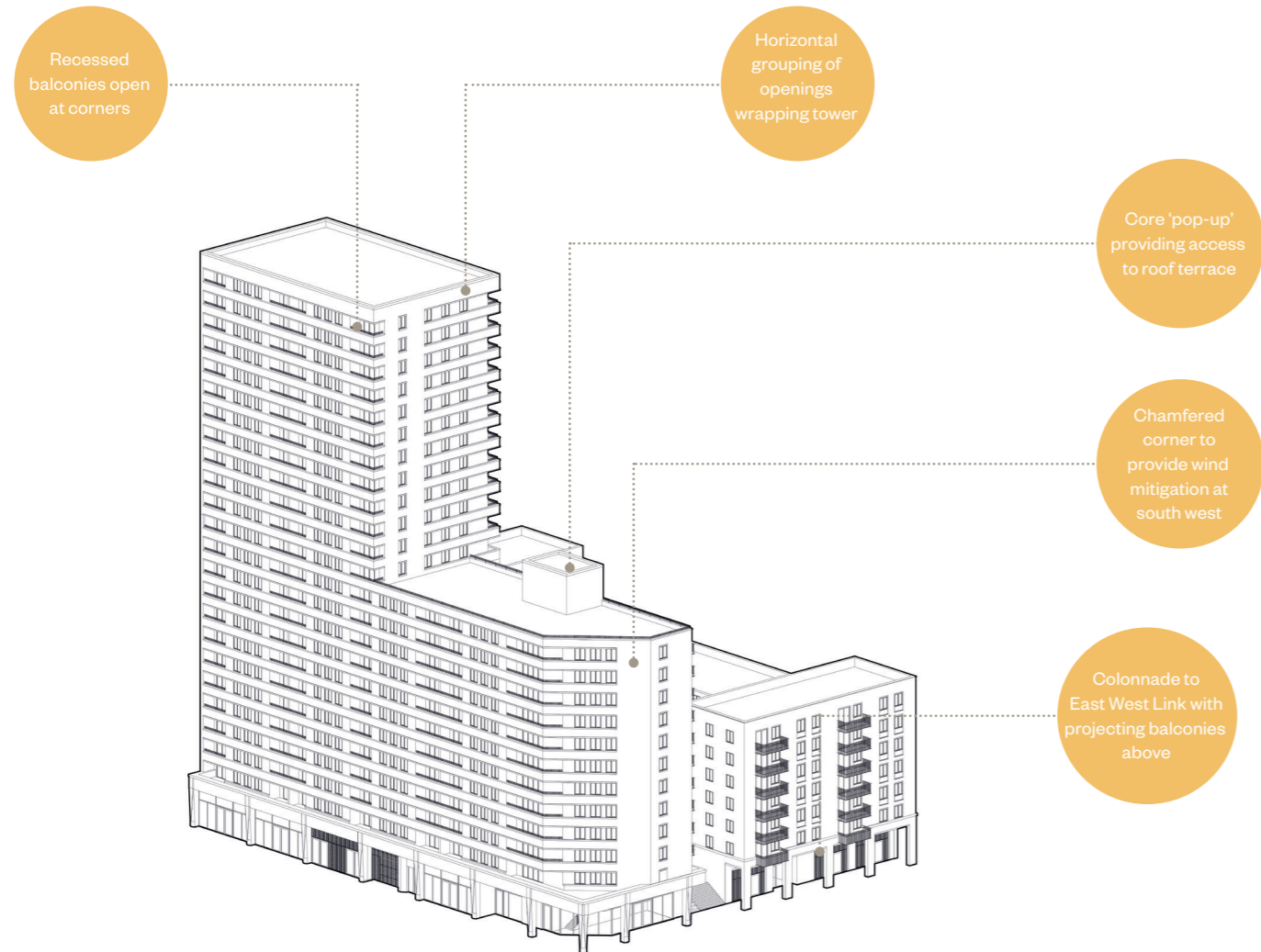
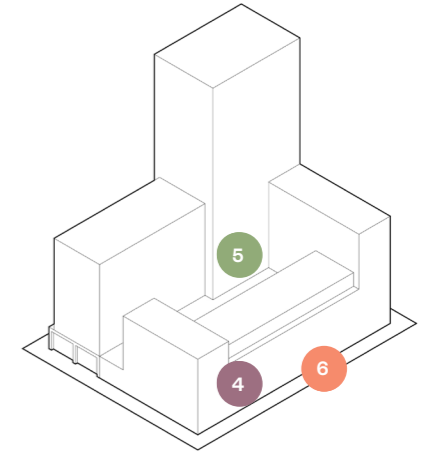
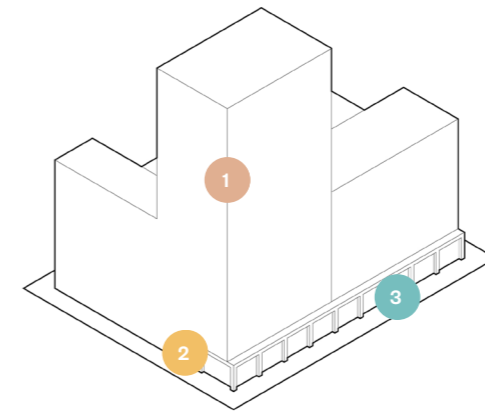
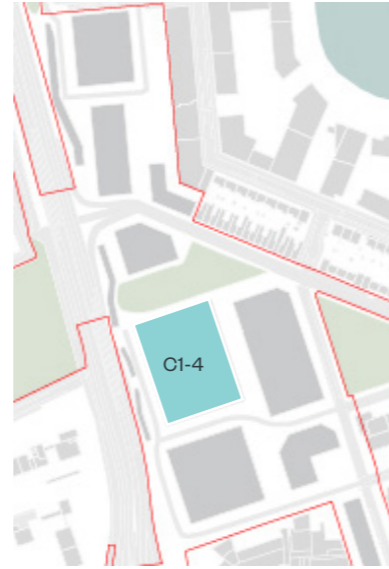


Fig.365 Isometric view of courtyard with tower (Illustrative proposal)



1 Recessed balconies

Balconies on Enterprise Yard must be recessed to provide a sense of enclosure and protection from wind, noise and pollution.



2 Residential entrance

Communal residential entrances must be double height. They should be well lit and clearly identifiable and should create a sense of arrival for residents returning home.



3 Workspace plinth

Double height workspaces (with mezzanine levels where appropriate) but be incorporated on Enterprise Yard. These spaces should activate the public realm.



4 Projecting balconies

Balconies on east-west links and on Community Lane should be projecting to provide rhythm to these streets. Simple metal balustrades coloured to match windows are appropriate.



5 Courtyard amenity

Amenity spaces should be verdant and should incorporate playable landscape. Wherever possible, homes at podium level should have their primary entrance from the podium.



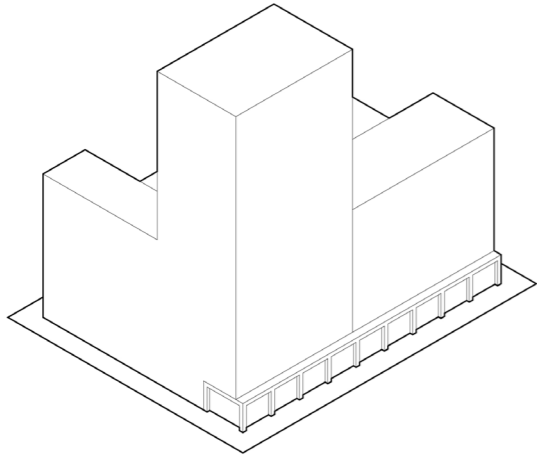
6 Maisonette entrances

Maisonette entrances on Community Lane must be clearly identifiable and be of a domestic scale. They should be recessed and paired.

6.5. Building types

5 Courtyard with Tower

Material palette



- 6.5.81. Façade principles and materials on these pages refer predominantly to the Enterprise Yard elevation and tower C1 at the north west corner.
- 6.5.82. The primary façade material **should** be brick at the upper levels and the base, as with other building in this character area, **should** be in a high quality cast material.
- 6.5.83. Workspace **must** be incorporated at plinth level. Where ancillary spaces such as cycle stores or plant are incorporated, façade treatment **must** be consistent with the architectural language of Enterprise Yard.
- 6.5.84. The plinth **must** incorporate residential entrances which are clearly identifiable and create a sense of arrival for residents returning home.



Fig.366 Pale brick with warm tone

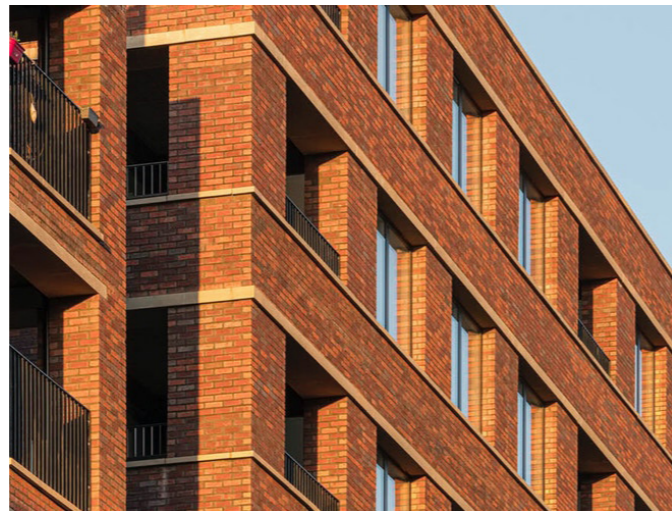


Fig.367 Banding detail emphasising facade expression



Fig.368 Double height base with non-residential uses at ground floor



Fig.369 Building steps back to from colonnade at base

Elevation design principles

- 6.5.85. Following the principles established for Building B1-B2 (Tower with leg), the enterprise Yard elevation **must** read as a volume which steps up to the north, joining the tall buildings cluster at Highland Place **1**.
- 6.5.86. Appropriate wind mitigation measures, such as the chamfer to the south west corner shown here **must** be incorporated where required **2**.
- 6.5.87. The residential façade **should** be in brick and articulation **should** act as a counterpoint to the verticality of the tower. This geometry **must** be expressed through detailing (shown here as horizontal banding **3**) consistent with the other buildings on Enterprise Yard (other than B3).
- 6.5.88. The building **must** meet the ground in a consistent with the other buildings on Enterprise Yard (the residential façade **must** be set back from the plinth by at least 2m on Enterprise Yard). The plinth **should** incorporate a motif common to the other buildings in this area **4**.
- 6.5.89. Window and balcony openings (shown here stacking to form a secondary vertical weave behind the primary horizontal expression **5**) **should** be designed to respond subtly to the geometry of Balfour Tower
- 6.5.90. Workspaces at the base of the building **must** be double height and should be predominantly glazed **6**. Ancillary spaces, car park entrances and other non-residential elements of the façade **should** be designed with an industrial aesthetic and in such a way as to minimise their impact on the street.

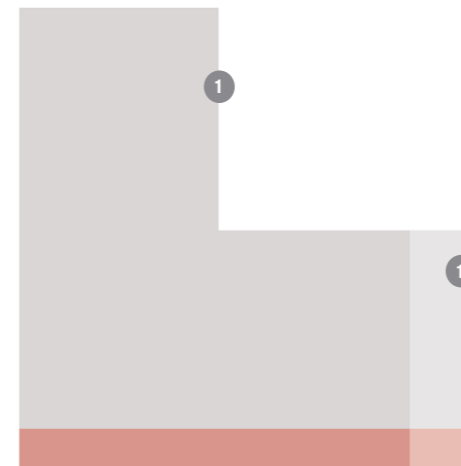


Fig.370 Building C (Enterprise Yard side) - façade principles O1 (Illustrative)

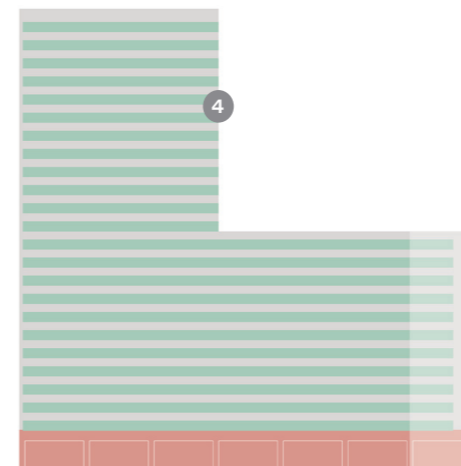


Fig.371 Building C (Enterprise Yard side) - façade principles O2 (Illustrative)

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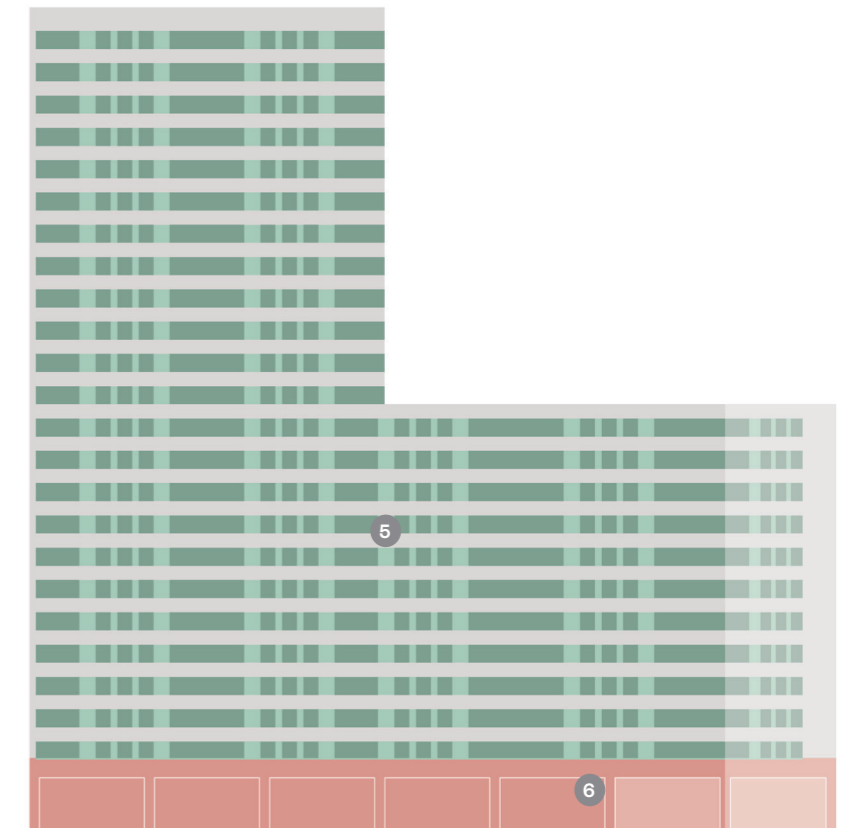


Fig.372 Building C (Enterprise Yard side) - façade principles O3 (Illustrative)



6.5. Building types

5 Courtyard with Tower

Illustrative proposal

- 6.5.91. The illustrative proposal is designed to incorporate the design criteria set out in the Design Code.
- 6.5.92. The predominant façade material is a pale brick in a warm tone which will be common to the other residential buildings on Enterprise Yard (other than B3).
- 6.5.93. Concrete banding helps to emphasise the horizontality of the façade. These bands wrap around building corners before terminating.
- 6.5.94. Windows and balconies stack to give the impression of a secondary vertical 'weave' sitting behind the foremost horizontal layer.
- 6.5.95. Windows are in a dark bronze anodised aluminium with other metalwork, such as screens or balcony guardings coloured to match.
- 6.5.96. The building meets the ground in a pale concrete plinth incorporating a pleated detail at the columns.
- 6.5.97. The plinth incorporates workspaces, plant, communal residential entrances and a car park entrance and access to the commercial cycle hub. A consistency of material (a bronze metal) and detail (perforated metal panels with a motif consistent between buildings on Enterprise Yard) unifies the non-residential elements.

Key

- | | |
|---|---|
| 1 Concrete plinth with pleated detail | 6 Window with aluminium frame in anodised bronze finish |
| 2 Glazed residential entrance | 7 Concrete banding |
| 3 Chamfered corner colonnade beneath plinth | 8 Chamfered corner above plinth level |
| 4 Pale brick with warm tone | |
| 5 Recessed balcony with bronze metal guarding | |



Fig.373 Illustrative partial east elevation of Building C4 on Enterprise Yard



Fig.374 Illustrative view of chamfer at south west corner of Building C4



Fig.375 Illustrative view of colonnade formed at base of building



Fig.376 Illustrative view of Enterprise Yard looking north

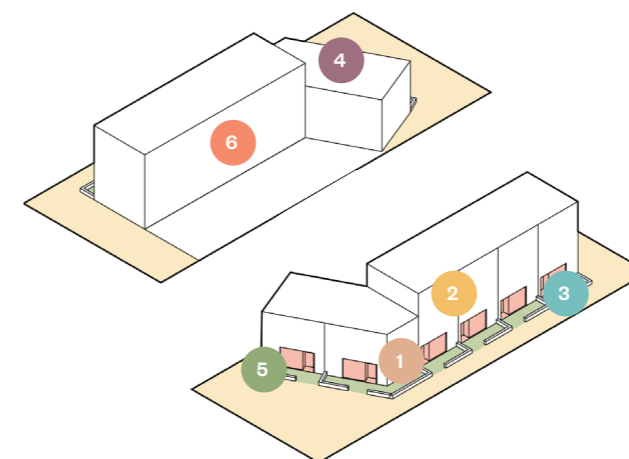
6.5. Building types

6 Linear Residential

6.5.98. These homes sit on Community Lane North and overlook a pedestrian and cycle priority area with significant elements of landscape and play.

6.5.99. Their scale is very different to the apartment buildings in this area and they respond to their larger neighbours with in the Site, as well as the Atelier Court to the east.

6.5.100. Their roof form is distinctive and will define each individual dwelling, distinguishing them from the apartment buildings. Individual entrances are recessed and with a change in material and/or detail.



Material palette

6.5.101. Community Lane will incorporate a mix of dwelling types including houses, apartments and maisonettes.

6.5.102. High quality brick **must** be used throughout, with detail and architectural expression, such as at windows and entrances, also predominantly in brick.

6.5.103. Other materials, such as glazed brick, concrete and render can be used to express entrance and articulate window openings/surrounds.

6.5.104. Variations in roof form **must** be used to provide relief and setbacks to the uppermost level are particularly appropriate here.



1 Entrances

Individual entrances should be articulated and given importance. A change in material and/or detail is appropriate here.



2 Window detail

Window surrounds should be expressed and any details should compliment but be distinct from those of the other character areas.



3 Curtilage wall

A low wall should separate front gardens from Community Lane to facilitate interaction between neighbours and activate the public realm.



4 Roof form

Roof form should express individual dwellings and establish the distinctive character of the houses.



5 Amenity space

Private amenity space should be provided at ground level.



6 Pale brick

Brick colour should be pale and warm to minimise the impact of the proposed development on the existing homes to the east.

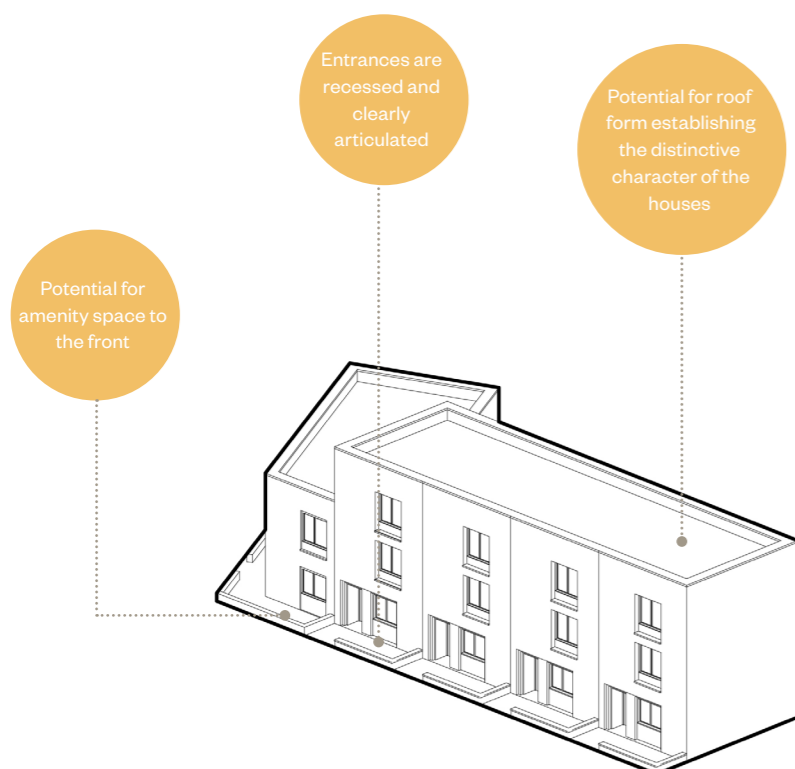


Fig.377 Isometric view of linear residential building (Illustrative proposal)

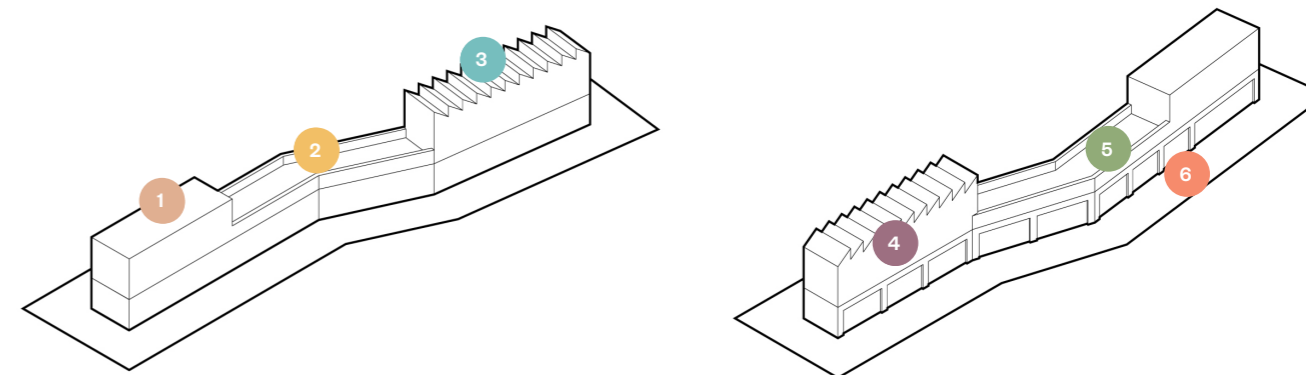
6.5. Building types

7 Linear Workspace

6.5.105. The new Poplar Works buildings which sit between the A12 and Enterprise Yard are distinct in type from any other buildings in the masterplan. They respond to the language established by the existing Poplar Works building at the north of the Site, incorporating and developing elements of its form and colour palette.

6.5.106. There are three buildings of this type, which will follow the same principles but will express themselves slightly differently as they respond to different public realm conditions.

6.5.107. These buildings are linear and are grounded in a strong, simple, public facing base. In contrast, the upper storey is playful and less regular, incorporating a more expressive roof form, signage and windows.



Saw-tooth roof form in dark coloured cladding

Workspace frontage with perforated metal shutters with industrial aesthetic

Terrace/spill-out space overlooking Highland Place and the Underbridge

Large scale signage follows form of building and creating a sense of identity.



1 **Planted roof**

The roofs of new Poplar Works buildings should be densely planted to provide a visual amenity and to help to screen the A12 from homes on Enterprise Yard.



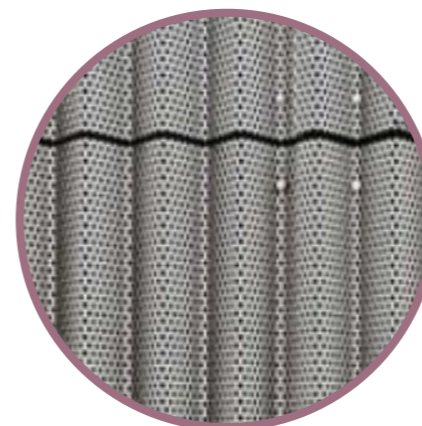
2 **Terrace**

Where Poplar Works buildings overlook key public spaces such as Highland Place, they should form terraces where workspaces can spill out and create activity.



3 **Roof form**

The roof form of these buildings, particularly at and key nodes, should be interesting and playful and should incorporate an industrial aesthetic.



4 **Industrial top**

The upper levels of these buildings must be in a material that contrasts with their concrete base. Materials must have an industrial aesthetic.



5 **Large signage**

Highland Place should be activated with large scale signage above the Underbridge. This signage should be visible from a distance and should be illuminated.



6 **Workspace frontage**

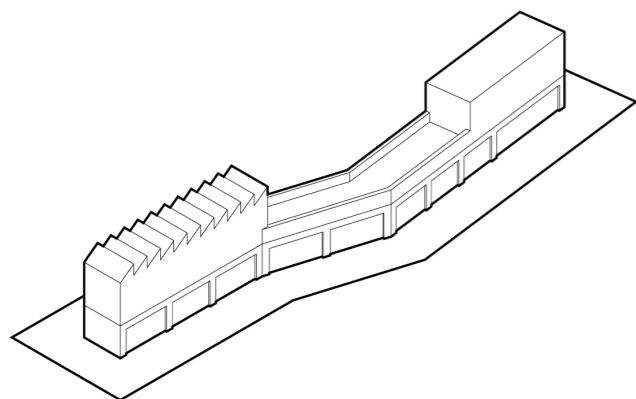
Workspace frontages should be consistent between buildings and should borrow from the language of traditional maker-space such as tailors, cobblers and furniture makers.

Fig.381 Isometric view of linear workspace building (Illustrative proposal)

6.5. Building types

7 Linear Workspace

Material palette



6.5.108. The primary façade of these buildings **must** be to Enterprise Yard. The façade to the A12 (the west) **should** be seen as a secondary façade, with openings for admitting light rather than framing views.

6.5.109. The roof form **must** step up and down along the length of the building to articulate key nodes and to provide terrace and spill out spaces areas for the workspaces.

6.5.110. The base **should** be similar to the workspace plinths of the other buildings on Enterprise Yard and **should** incorporate the same cast-in designs and perforated details to screens and shutters.

6.5.111. These buildings **should** be playful.



Fig.382 Corrugated industrial cladding



Fig.383 Contrasting building top with playful roof form

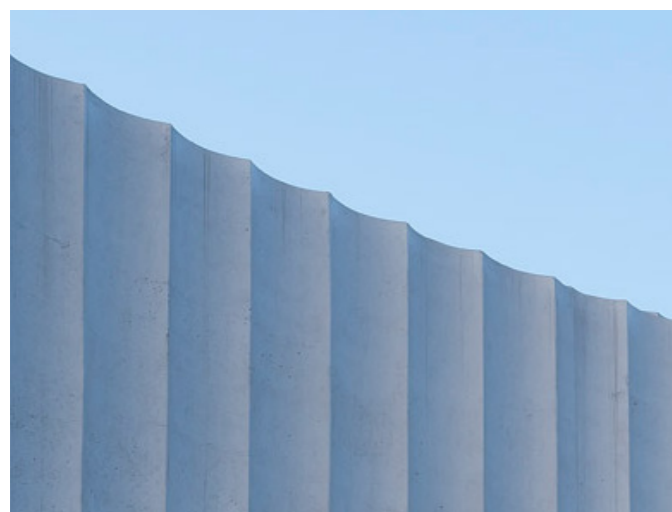


Fig.384 Cast-in pleated motif



Fig.385 Base with industrial aesthetic

Elevation design principles

6.5.112. This building is long, low and linear. It **must** screen as much of the A12 from view as possible, both for pedestrians on Enterprise Yard and for residents in west-facing homes **1**.

6.5.113. The building **must** follow the line of Enterprise Yard, with the façade changing in plane where appropriate **2**.

6.5.114. Changes in height **must** be used as a counterpoint to the linearity of the building. This building should step up at the north and south and incorporate roof forms which provide interest and variety along the street **3**.

6.5.115. The aesthetic of the building **must** be industrial **4**.

6.5.116. The base of the building **must** respond to the materiality of Enterprise Yard and incorporate similar motifs and details **5**.

6.5.117. Where these buildings overlooks Highland Place, large scale signage **should** be incorporated as a key feature of the façade **6**. The signage **should** be illuminated, helping to activate the public realm after dark.

6.5.118. Openings in the plinth **should** frame small scale maker spaces. The language of these façades **should** borrow for traditional frontages of these types (a mix of small scale manufacturing and sales) such as tailors' shops. Large glazed openings are appropriate here **6**.

6.5.119. Terraces **should** be formed in appropriate locations (for example, overlooking Highland Place) by stepping the roof line down. This **should** provide activation to the public realm and an amenity for workspace users **8**.

6.5.120. The Upper level **should** be in a material with an industrial aesthetic. The colour of this material **should** contrast with the concrete plinth below and respond to the existing Poplar Works building to the north (dark materials are appropriate) **9**.

6.5.121. Window openings at upper levels **should** contrast with those below, but should be regular as a counterpoint to the playfulness of the roof line **10**.

6.5.122. Wherever possible, dense planting **should** be provided to the roofs of these buildings, providing a visual amenity and additional screening of the A12 for residents in west-facing homes.

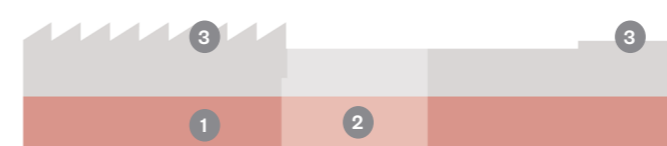


Fig.386 Building B5 - façade principles O1 (Illustrative)

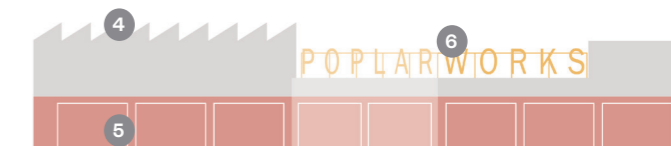
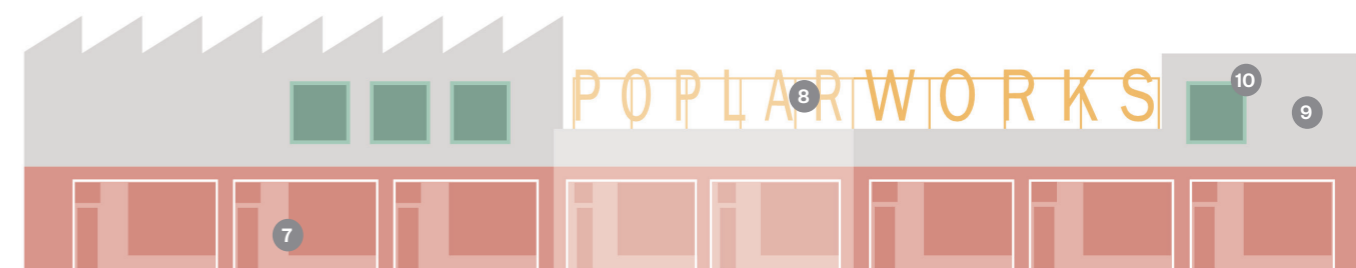


Fig.387 Building B5 - façade principles O2 (Illustrative)



SOUTH ENTERPRISE YARD NORTH

Fig.388 Building B5 - façade principles O3 (Illustrative)