

Massing Development

Character + Wayfinding

In consultations with local residents, the expressive reading of the 'house' typology within the terrace block was emphasised as an important aspiration for the terrace. The design has responded to this through the arrangement of openings, materiality and a distinct roof line.

Plot J's roof line follows a butterfly silhouette that is recognisable from a distance. This butterfly roof mediates between the 6+4 bed houses and continues through to the maisonette block, unifying the terrace.

A modulating datum is introduced at the base of the terrace which moves and wraps around entrances, unifying thresholds and providing visual movement to the facade as it steps up the street.

Openings have been placed to both optimize internal arrangements and animate the facade, with openings stepping to break a rigid grid like formation. Larger openings have been introduced on the maisonette block to celebrate living spaces and provide ample views to the wider context.

An undulating series of bays has been introduced to the rear of the terrace, internally accommodating kitchen and dining spaces, but also providing a dynamic response to the southern facade, creating a distinctive ending and way finding point to the north of the masterplan and community lane.



Northern Facade 6bed and 4bed houses, study for mediating scale of butterfly roof form



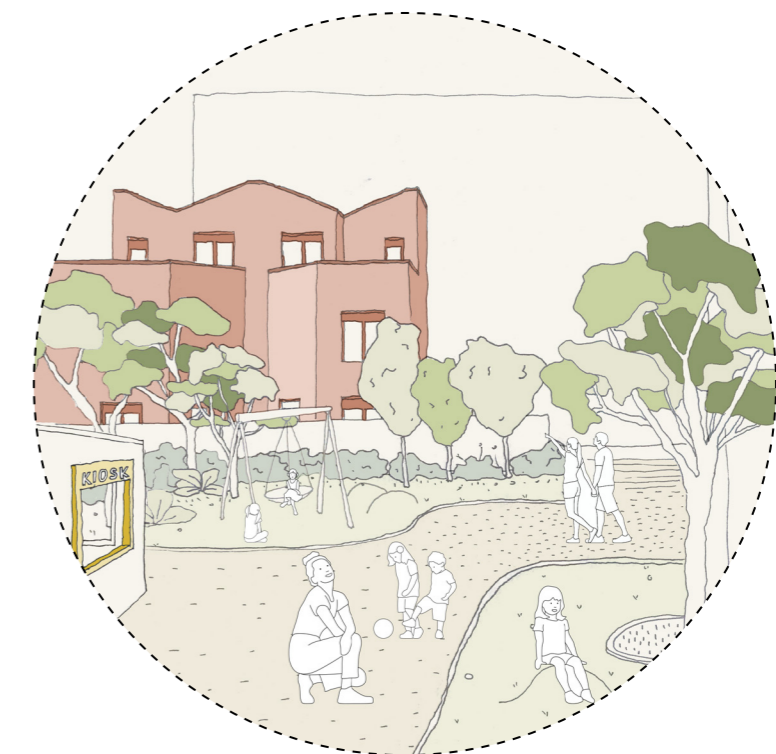
Northern Facade maisonette block, study for playful positions of larger openings



Historic image of Lochnagar Street, 1979.



Character of Lochnagar Street



Southern approach to Lochnagar St from Leven Rd, with undulating bays.

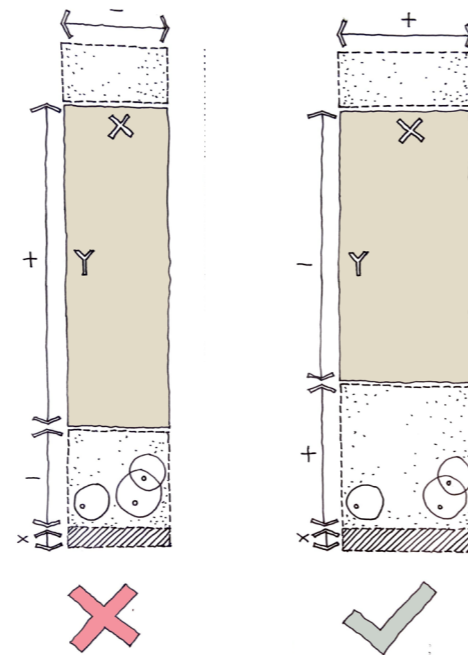
Massing Development

Space Planning

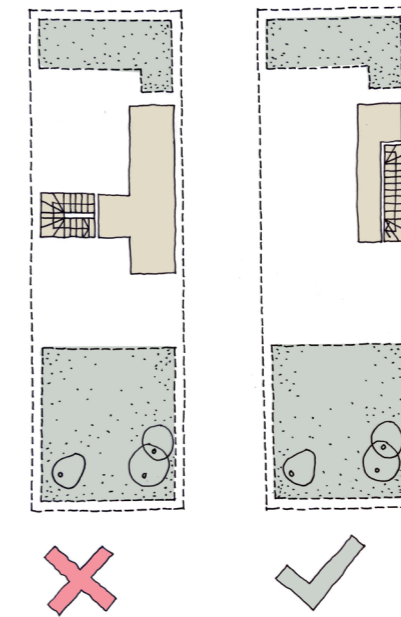
Adjacent diagrams reflect the principles and dimensions which have guided the arrangement of plot J. The terrace comprises of 13 houses (nine 4bed & four 6 bed houses) with a maisonette block bookending the terrace containing six 3bed units. Equal width has been given to each house, allowing for generous frontages to amenity spaces and room sizes which has been employed across all floor plates.

The proportional width of each home has been guided by internal arrangements ensuring all rooms on all levels benefit from generous internal proportions, avoiding 'box rooms' and inefficient circulation sequences between north and south.

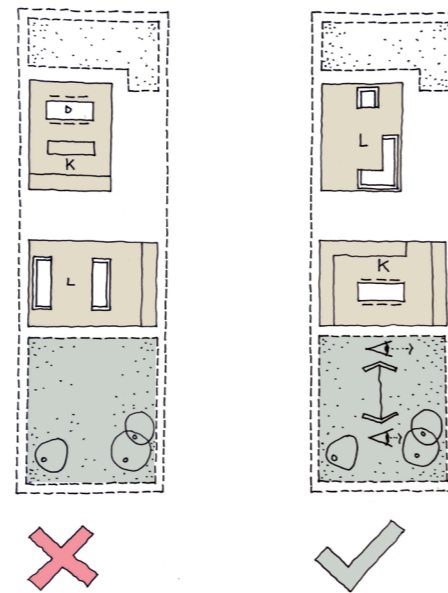
The houses have been designed through resident steering group workshops, which has ensured the design response is accommodating specific spatial planning needs of local residents. These design responses specifically include: the position of kitchen and dining spaces to private amenity space, size and proportion of private amenity and the position and size of utility and storage provisions.



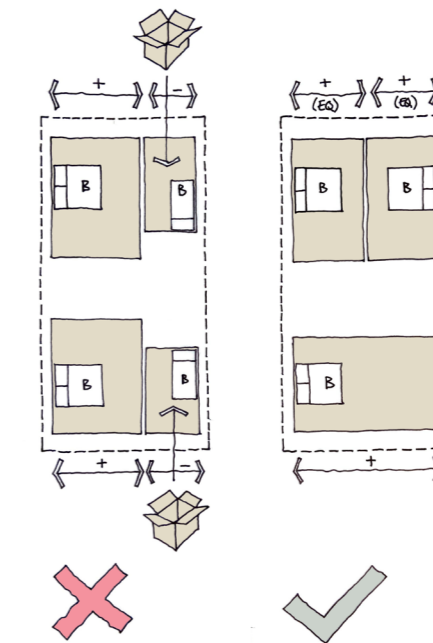
Proportional frontages to street and amenity space



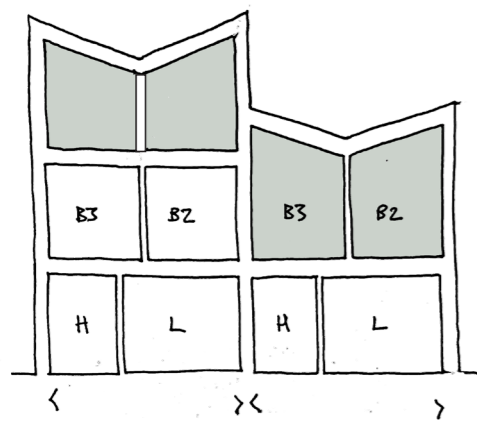
Efficient circulation sequence



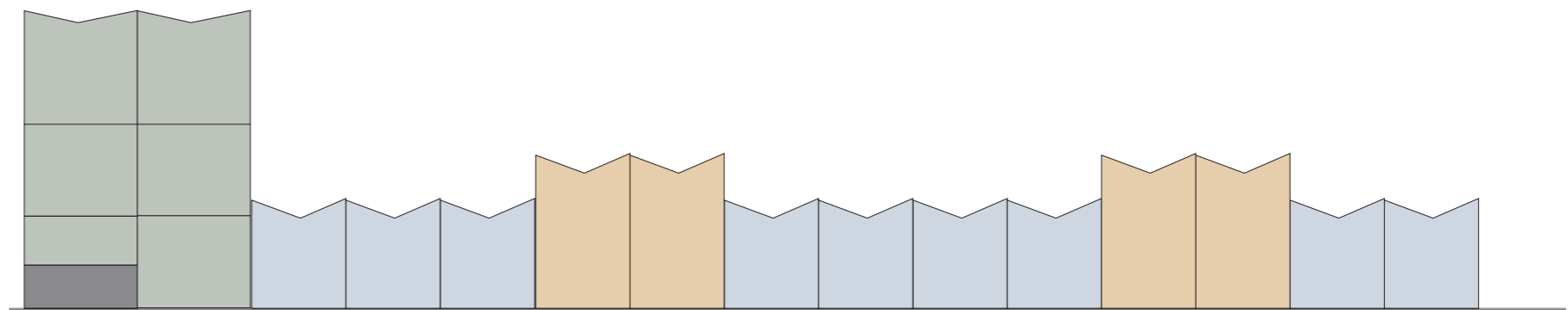
Kitchen and Dining space linking to private amenity space



Equal widths to bedroom spaces, avoiding box room condition



Typical Section 6bed + 4bed homes



Home Typology Diagram: Lochnagar Street ● 3b5p ● 4b6p ● 6b9p

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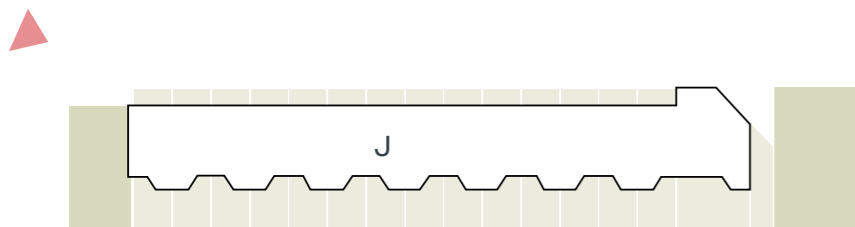
Proposed

View from Lochnagar Street

The adjacent view presents an artist's impression of the proposal taken from Lochnagar Street at the Junction with the A12, looking East. The material and detail façade response shall be outlined in the following pages.



North West view of Lochnagar Street.



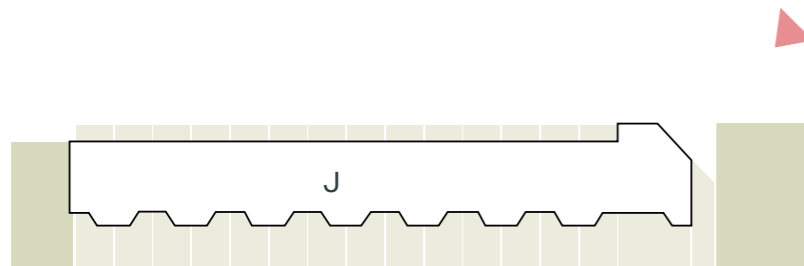
Key Plan

Massing Development

Proposed

View from Lochnagar Street

The adjacent view presents an artist's impression of the proposal taken from Lochnagar Street at the Eastern extremity, looking West. The material and detail façade response shall be outlined in the following pages.



Key Plan



North East View of Lochnagar Street

Streetscape

Plot Plan

Residential Street

Lochnagar Street is activated by front doors and front gardens all along the street, with a larger shared entrance at the corner of the street adjacent to the new development at Islay Wharf. At both ends of the new residential street, sit two amenity spaces for all residents to enjoy and for the younger residents to play. A new improved allotment and community gardens has been redesigned by LDA to provide even more amenity for the new residents and to provide a generous green buffer to the A12, which will reduce air pollution and sound while also providing a place for local residents to grow food and gather with friends.

The Lochnagar Street residents will enjoy parking to the street in front of their new homes and improved connections to the wider area, with routes to the river and nearby new parks.

As part of future work, Bromley Hall school may be refurbished and a new pedestrian and cyclist route created via a new play trail. This will cement this part of the masterplan as being a destination for the local area, adjacent to Poplar works.



Proposed Plan Plot J