

3.3. Access and movement

Servicing and refuse routes

3.3.19. Aberfeldy Village Masterplan includes a range of refuse storage and collection strategies.

- Proposals should include:
- Traditional communal Eurobin collections - Buildings F, H1, H2 and H3
 - SULO underground collection - Building I
 - Traditional individual wheelie bin collections - Building J
 - Portable waste compactors in podiums - Buildings A, B, C, D and E

Inactive frontages must be avoided. Commercial refuse stores should be located along Enterprise Yard and residential refuse stores on secondary elevations.

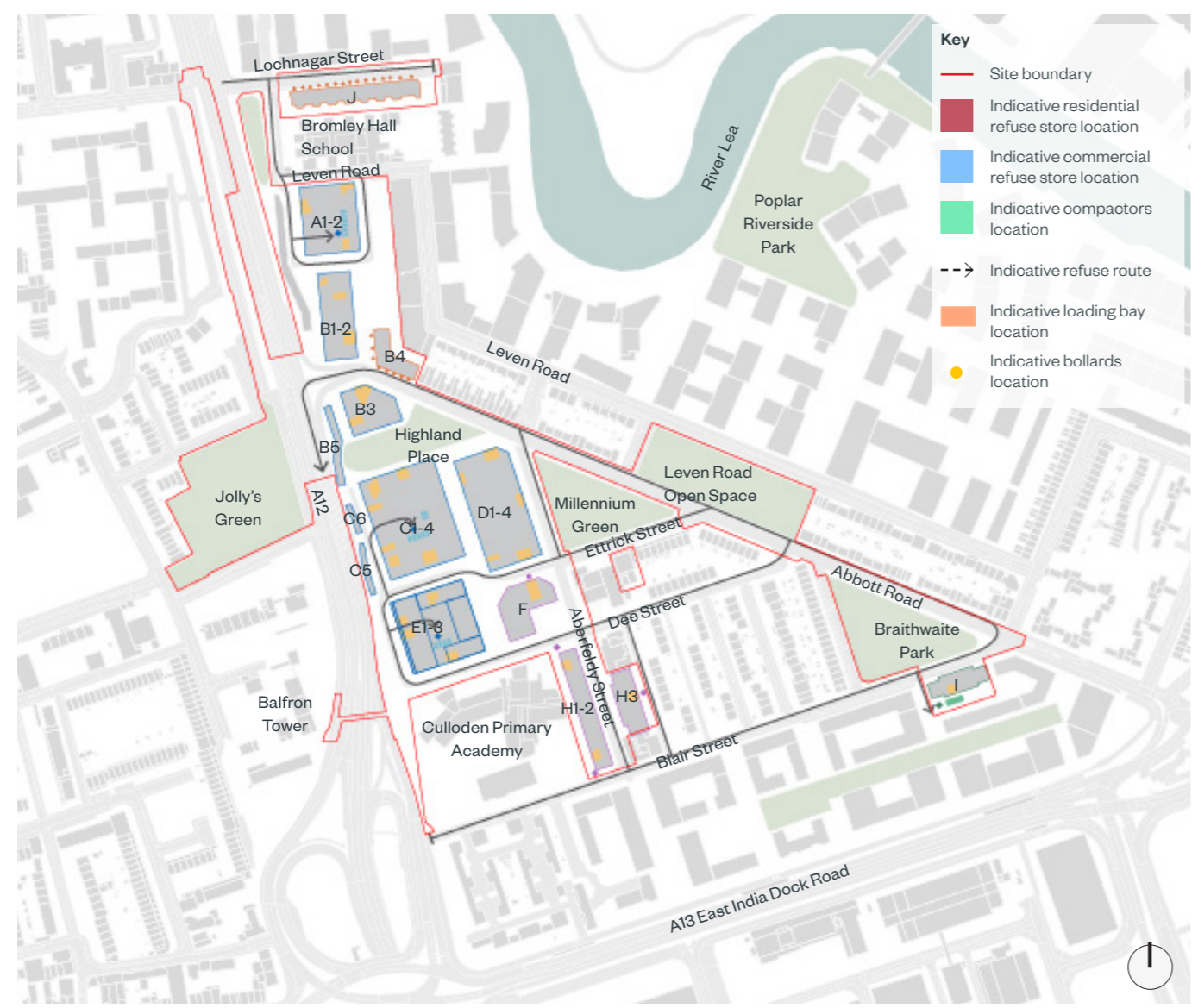


Fig.32 Refuse Strategy plan (illustrative plan)

Inclusive design

3.3.20. Inclusive design is central to the policies of the London Plan 2021, with mention of it throughout the text of the Plan. Policy D5 states: "Development proposals **should** achieve the highest standards of accessible and inclusive design. They **should**:"

- Be designed taking into account London's diverse population;
- Provide high quality, people-focused spaces that are designed to facilitate social interaction and inclusion;
- Be convenient and welcoming with no disabling barriers;
- Providing independent access without additional undue effort, separation or special treatment;
- Be able to be entered, used and exited safely, easily and with dignity for all.

3.3.21. The Commission for Architecture and the Built Environment published a guide called "The Principles of Inclusive Design" in 2006, which states that inclusive design:

- Places people at the heart of the design process;
- Acknowledges diversity and difference;
- Offers choice where a single design solution cannot accommodate all users;
- Provides for flexibility in use; and
- Provides buildings and environments that are convenient and enjoyable to use for everyone

3.3.22. These criteria are important factors in recommending the most inclusive (not just accessible) solutions for a development within the client's resources. Inclusive environments remove obstacles for all potential users, especially people who have one or more of the protected characteristics listed in the Equality Act 2010.

Further guidance and information on Inclusive Design are provided within the dedicated Chapter 8 "Inclusive design" of the "Design and Access Statement: The Masterplan".

Inclusive design principles

3.3.23. Access provisions incorporated into the proposals at this stage that are key to the aim of providing an accessible environment are:

- Ensuring pedestrian and cycling routes as inclusive as possible;
- Animating street frontages of building to provide interest, passive surveillance, safety and convenience for all users, especially older and disabled people, children and their carers;
- Provision of mixed use on the Site, reducing travel distance to work, eat and socialise which are especially critical for older and disabled people with limited mobility;
- Optimize the locations of vertical circulation within the new buildings and horizontal connections; and
- Promoting the concept of inclusive design within the design team.

3.3.24. The public realm, including play, has been designed taking account of relevant policy including: LBTH's Local Plan 2030, and SPD Designing High Density Living. In addition, the proposals respond to relevant guidance and policy of The London Mayor including: The London Plan, The Good Growth by Design : Making London Child Friendly and Housing Design Guide.

3.3.25. Inclusivity has been placed at the heart of the public realm approach to make it as accessible as possible to the widest range of users. Design has not only considered physical disabilities, such as mobility and visibility but also neuro-diversity.

3.3.26. Safety and security of all users is key to inclusivity and access at Aberfeldy. This has been guided by Secure by Design principles and The London Mayor's Safety in Public Spaces policy and particular attention has been given to sometimes overlooked groups such as women, girls and gender diverse people.

Proposals must follow inclusive design principles in order to allow equal access to everyone, including all age-groups and abilities.

3.4. Land use

Land use overview

3.4.1. Aberfeldy Village Masterplan is a mixed-use neighbourhood. The plan below identifies the locations of residential and non-residential uses within the proposed development.

3.4.2. Workspace and commercial uses at ground floor are located along Enterprise Yard, while Community Lane is a residential only area. Retail at ground floor is introduced along the High Street character area and Plot B3 will include retail at basement level, accessed from the underpass approach, with two storeys of residents' facilities above.

Proposals must provide non-residential uses in accordance to the land use distribution strategy.

The proposals must follow the Parameter Plans "Land Use Basement", "Land Use Lower Ground Floor Plan", "Land Use Upper Ground Floor", "Land Use First Floor" and "Land Use Upper Floors".

Planning use classes will be designated for each location and set out in the Development Specification

More information on land use can be found in Chapter 3 "The Masterplan" of the "Design and Access Statement: The Masterplan".

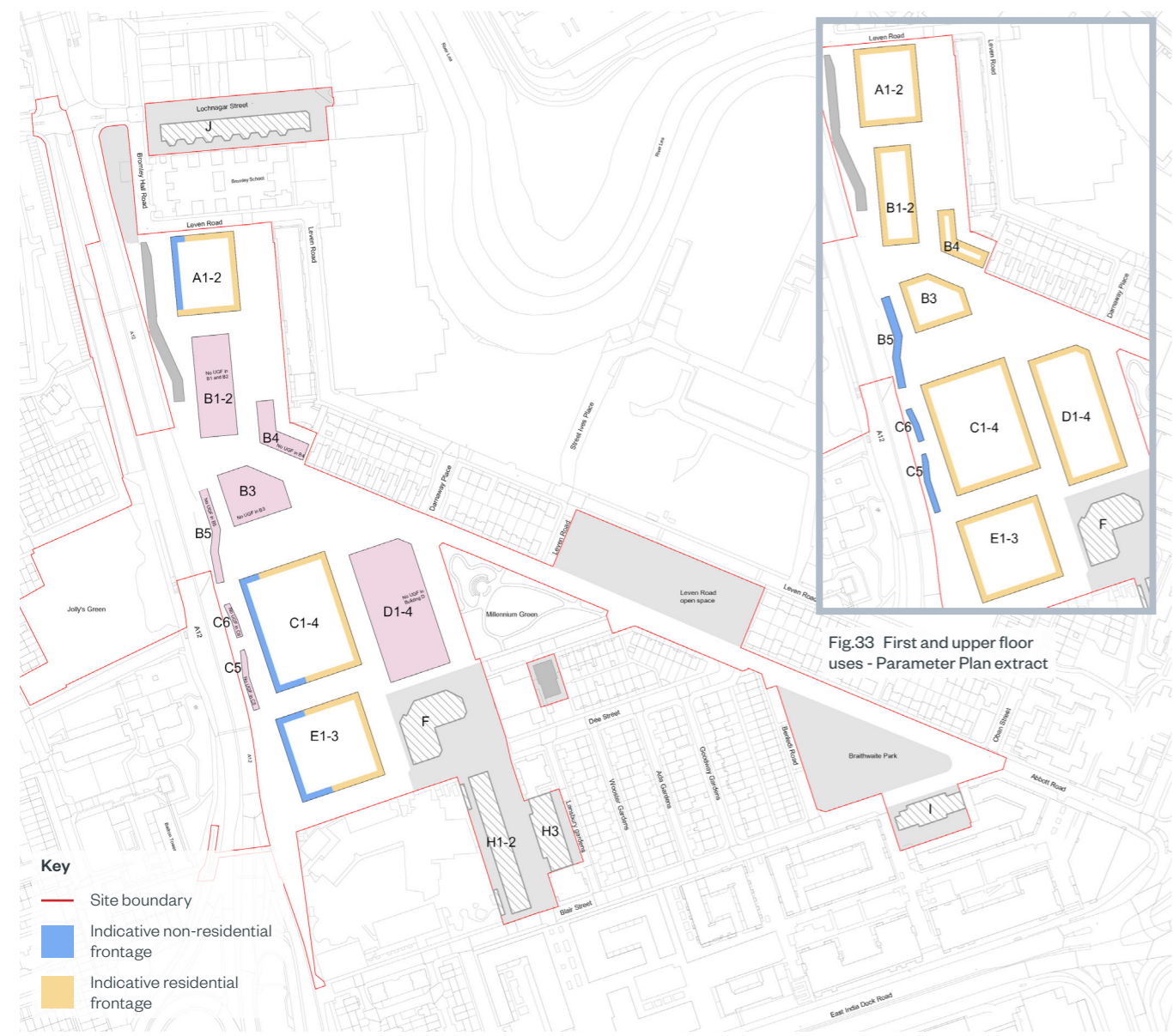


Fig.33 First and upper floor uses - Parameter Plan extract

Fig.34 Upper ground floor uses - Parameter Plan extract

Residential uses

3.4.3. As a mixed use neighbourhood, the relationship between residential and non-residential areas at Aberfeldy requires careful consideration.

3.4.4. Residential uses will be accessed from a variety of different spaces, from the more domestic scale of Community Lane, to the more active and urban environment of the East West Links and Enterprise Yard, as well as key public spaces such as Highland Space and Millennium Green. The relationship between residential entrances and outlook will need to consider and respond to the character of the public realm.

Access to residential units **should** be provided from legible entrance lobbies on the street or in residential courtyards. These **should** follow the indicative access illustrated on the movement diagrams. Residential access areas will need to be well overlooked with a requirement for entrance lobbies to be located adjacent to court entrances.

Attention **should** be given to how ancillary frontages to bin/bike stores and plant rooms can be integrated into the façade and designed with a discreet appearance.

Non-Residential uses

Employment

3.4.5. Aberfeldy Village Masterplan provides workspace of varying types, which will respond to different needs and **should** be designed to define and enhance the character of the street and public realm.

When designing the workspace buildings, adaptability to allow change over time **should** be allowed.

Workspace

3.4.6. Plots B5, C5 and C6 on Enterprise Yard are ideally suited for micro workspace, which provides units starting at 15 sqm for early stage businesses and freelancers. These units **should** be 4 meters floor to ceiling height, with good natural light and have shared welfare facilities for bathrooms, showers, kitchen points and, where possible, a shared meeting room.

Workspace buildings **should** have positive relationship with the adjacent streets and public realm, providing overlooking and animating the frontage. Entrances to individual workspace units and workspace clusters **must** be visible from the street.

The architectural language **should** respond to the existing Poplar Works building at the north of the Site and incorporate a robust base and playful roof line. Signage **should** be coherent and integrated.

Retail

3.4.8. Retail spaces will be provided on Aberfeldy Street. Retail provision in the Aberfeldy Village Masterplan Outline Proposals **should** respond to the language of retail space in Phase A (the Detailed Proposals).

3.4.9. Retail space will be provided in the basement of building B3. A public facing use, such as a cycle cafe, is appropriate in this location. The architecture **should** respond to the language of the Underbridge established by the landscape and public realm proposals.

Accessibility

All units **should** have good access to loading bays and can easily access deliveries and collections. Proposals **must** provide a suitable level of cycle parking for staff, business and leisure visitors.

Coherently designed and distinct character areas will assist wayfinding. Any applied signage **should** respond to and be integrated with the character of the architecture and public realm.

3.4. Land use

Site wide approach to meanwhile uses

3.4.10. All the Masterplan phases **should** follow the key principles applied to the meanwhile uses within Phase A. In particular, future meanwhile uses **should** be:

- Flexible (able to grow and change over time, allow multiple uses, provide a safe environment during the day and night, act as a testing ground);
- Local (draw upon the existing meanwhile initiatives, their colour, patterning and diversity, feed into the narrative of the Aberfeldy patchwork, use the construction hoarding to direct and educate, engage residents and the public through the design process);
- Resourceful (provide a graphic identity that can change over time, creatively use materials, grow trees and plants which can be included into the later phases of the development, develop learning and skills in the local area);
- Lively (use elements able to encourage a positive behaviour in the area, create a destination and encourage users to be actively engaged in the space, allow space for start-up businesses and allow spaces for events);
- Inclusive (include existing tenants, provide spaces with varied sizes and orientations, integrate play space and circulation).

3.4.11. Meanwhile uses **should** reflect the place-making strategy and work in line with the construction phasing.

3.4.12. The following meanwhile uses have been tested with and are supported by the local community:

- Safe cycling and walking routes - this has been highlighted as a priority from the local community. Interventions could include paint on the ground, temporary lighting, crossings and improved connections, safe routes to school.
- Play and activity - including socialising, relaxing, being active and outdoor. These could be included within existing open spaces like Millennium Green and Braithwaite Park.
- Healthy eating and meeting - starting from Aberfeldy Street, pop-up markets and seating with tables could be introduced. Local businesses **should** be involved.
- Community gardens - areas along Dee Street and other existing and future streets could include mobile gardens and places where to grow your own food. These could be incorporated in more permanent interventions in later phases.
- Pop-up cinema and events - proposed open spaces and the Town Square could host a variety of events, such as music events, film screenings, showcasing the history and future of the area. These **should** be welcome all age-groups.

Further information on meanwhile uses can be found in the "Design and Access Statement: Detailed Proposals" and the "Design and Access Statement: The Masterplan".

- Key
- Safe routes
 - Play and activity
 - Healthy eating and socialising
 - Community gardens
 - Cinema and events
 - Art walks

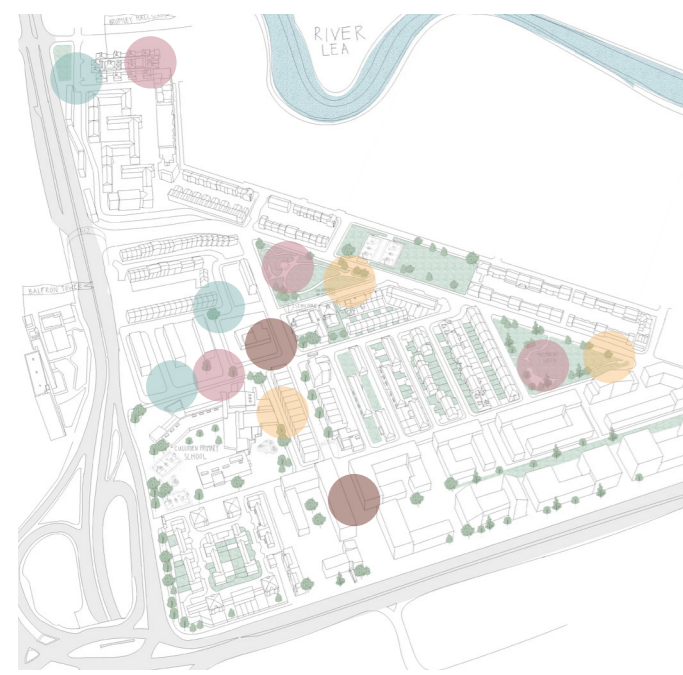


Fig.35 Site wide meanwhile uses indicative location plan

Relevant precedents for Design Guidance



Fig.36 Elephant Park, Southwark, Jan Kattein



Fig.37 College Square Croydon, Spacial Practices, Central Saint Martins, Morris+Company Croydon Schools project



Fig.38 Argent Hoarding, Kings Cross



Fig.39 Curve Garden, Dalston, Muf



Fig.40 Blue House Yard, Wood Green, Jan Kattein



Fig.41 Movement Cafe, Greenwich Park, Morag Myerscough

3.5. Massing

Heights

3.5.1. The heights within Aberfeldy Village Masterplan vary between 9m AOD and 100m AOD. The heights strategy responds to the surrounding context and specific character areas.

3.5.2. Generally taller buildings are positioned along the A12 corridor and mark key strategic connections for the wider context. Lower scale buildings are located along Community Lane, the residential and family-oriented part of the masterplan.

Proposed buildings **must** respect the heights strategy and avoid overlooking issues. Sunlight and daylight studies **must** be undertaken to ensure good levels of light within the scheme, minimising impact on surrounding areas.

The proposals **must** follow the Parameter Plan "Building heights", which outlines the maximum heights in meters AOD for each development plot.

Further information on massing can be found in Chapter 5 "The Masterplan" of the "Design and Access Statement: The Masterplan".

Tall buildings

3.5.3. A cluster of tall buildings is located along the A12 marking the main east west connection and Highland Place.

Building B3 **must** be the tallest building of the masterplan, with heights descending towards building B2 to the north and C1 to the south.

Plinths and setbacks

3.5.4. Plinths **should** be introduced along Enterprise Yard to plots A1-2, B1-2, C1-4 and E1-3.

3.5.5. Setback at upper levels **should** be introduced in plots B3, C1-4 and E1-3 along Community Lane and on plot D1-4 facing Millennium Green, Ettrick Street and Highland Place.

Plinths and upper level set backs setbacks **should** be a minimum of 2m from the face of the building below.

Floor to ceiling heights

Floor Residential floor to ceiling height **must** be minimum 2.5m in habitable spaces.

Non-residential spaces within plots A1-2, C1-4 and E1-3 **must** be tall enough to comfortably accommodate mezzanine levels.

Building orientation

3.5.6. The proposed masterplan minimises single aspect and north facing homes and only includes east-west double loaded buildings.

Double loaded buildings **should** only be located in blocks with east-west orientation.

Single aspect north facing flats **should** be avoided.



Fig.42 Height Strategy diagram (illustrative plan)

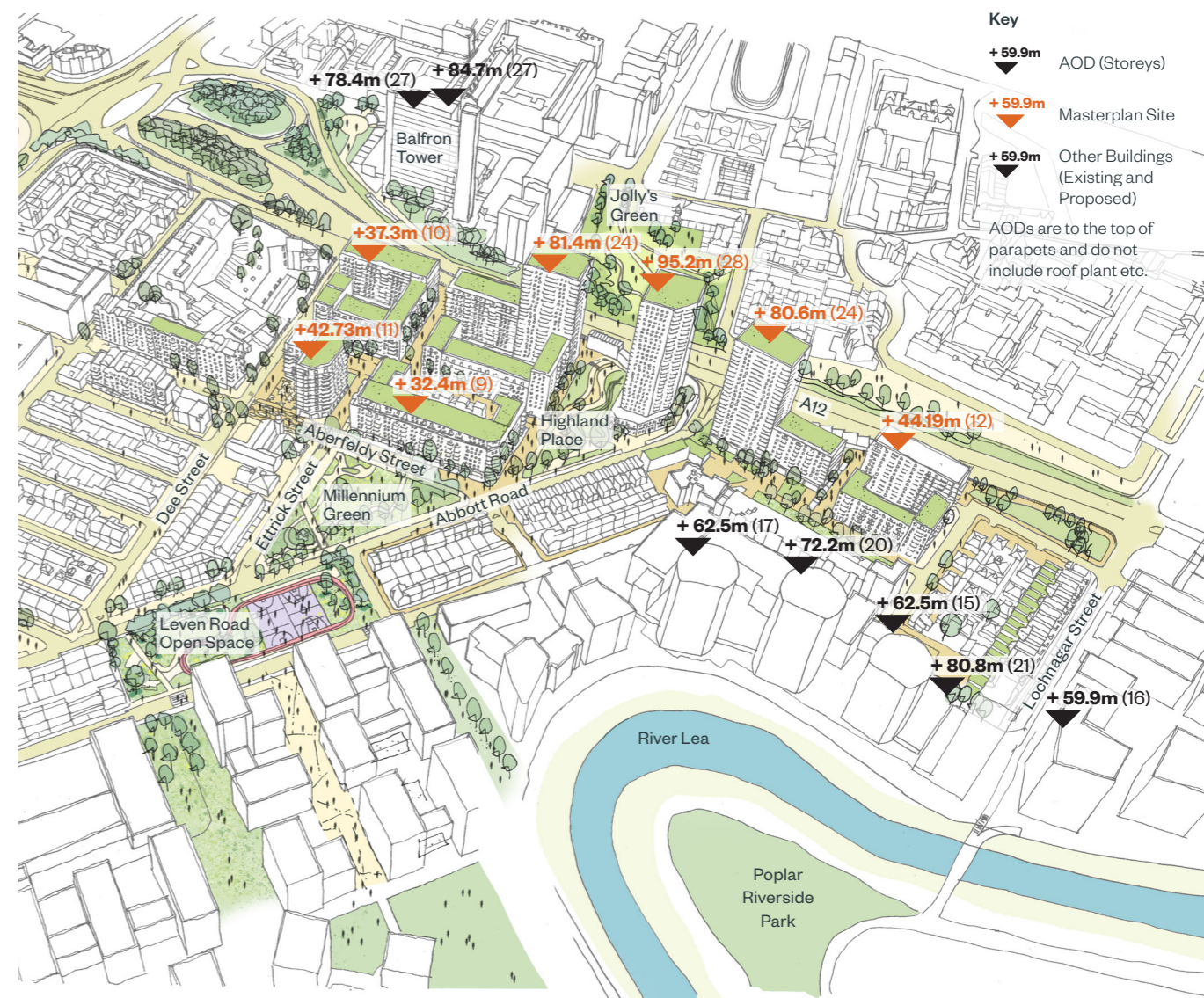


Fig.43 Illustrative axonometric view showing indicative AODs within the masterplan Site and some key existing and proposed buildings in close proximity to the Site

3.5. Massing

Balcony strategy

3.5.7. The balcony strategy has been identified and is illustrated on the diagram below. The proposal includes a mix of recessed and projecting balconies, the locations of which respond to Site conditions, aspect, and building orientation:

- Recessed balconies **must** be provided for all homes facing the A12 corridor (Enterprise Yard);
- Projecting balconies are appropriate overlooking Community Lane and Aberfeldy Street;
- Recessed balconies **must** be used for all homes in Building B3;

- Projecting balconies are appropriate in courtyard locations but building C1 **should** incorporate recessed balconies on all sides;
- North facing homes **must** use projecting balconies.

Proposals **must** follow the overarching balcony strategy. Buildings **should** look to take advantage of positive views and aspects.

Further information on the balcony strategy can be found in Chapter 6 "Buildings" of the "Design and Access Statement: The Masterplan".

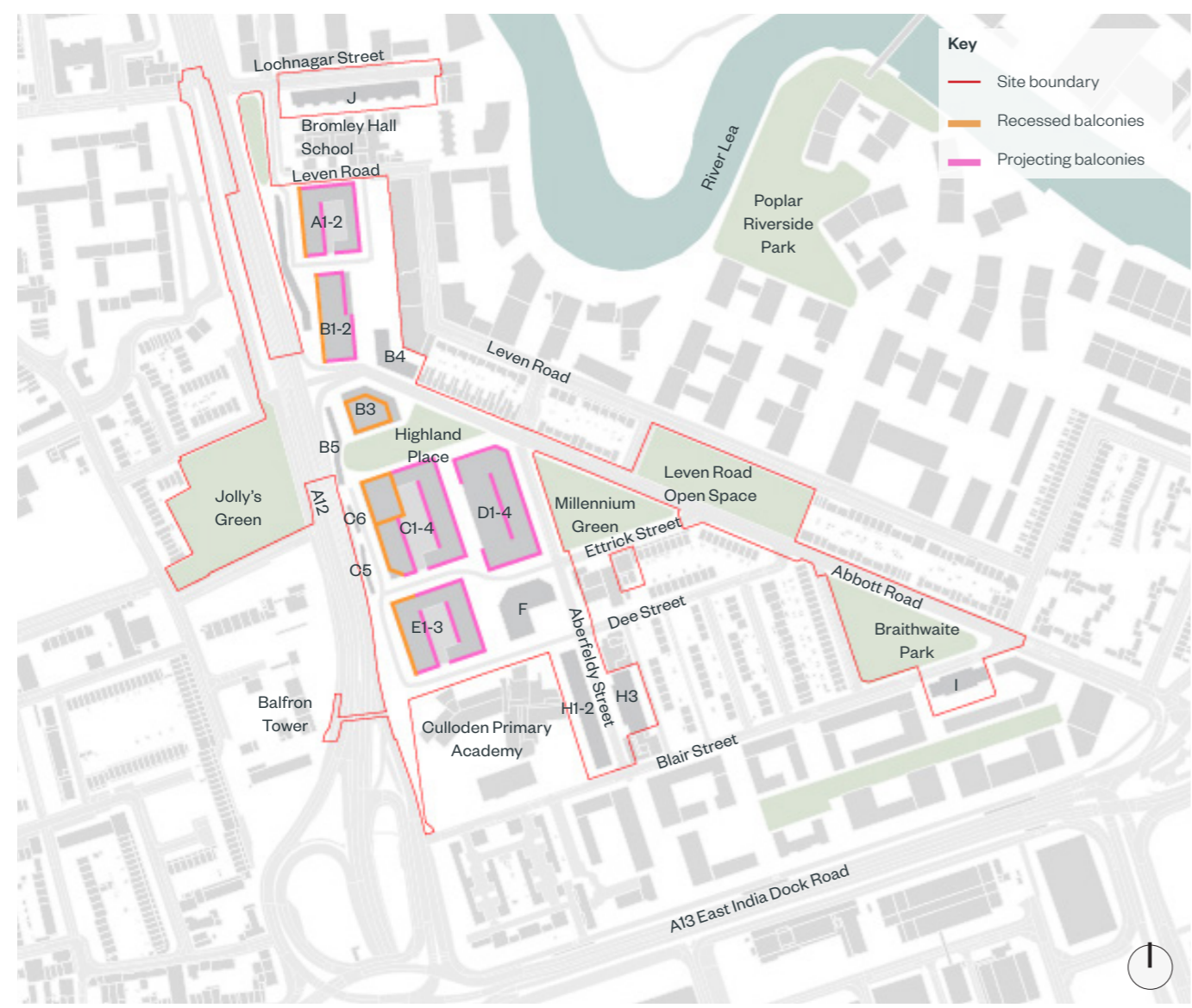


Fig.44 Balcony Strategy plan (illustrative plan)

Relevant precedents for Design Guidance

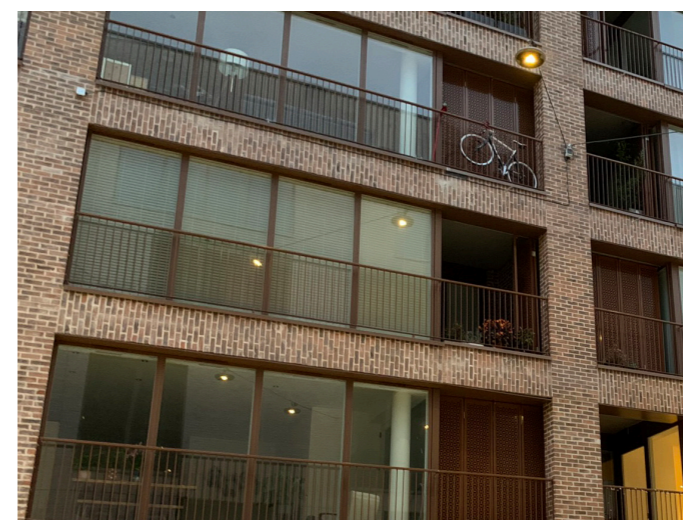


Fig.45 Recessed balconies - Fish Island, Hackney Wick

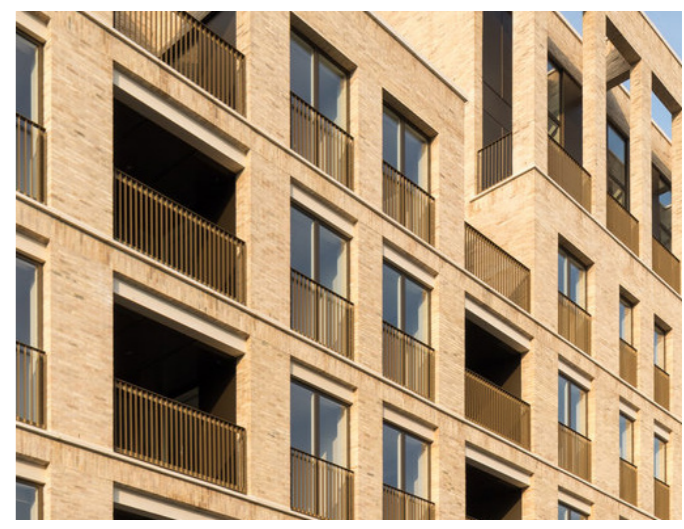


Fig.46 Recessed balconies - Kings Crescent, Hackney



Fig.47 Projecting balconies - South Gardens, Elephant Park

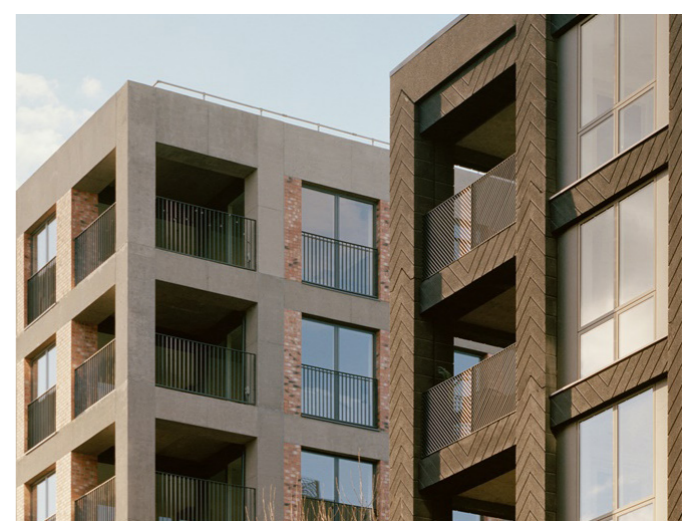


Fig.48 Recessed balconies - Fish Island, Hackney Wick



Fig.49 Projecting balconies - Brentford Lock, Brentford



Fig.50 Projecting balconies - Fish Island, Hackney Wick

3. 6. Public realm and landscape

Key areas

- 3.6.1. The threads of the masterplan, new links and connections through the site, define the character of the public realm.
- 3.6.2. The Healthy Street is a pedestrian friendly, green street with a narrowed carriageway, new trees and planted road edge. It connects existing and proposed open spaces, including the new Highland Place which becomes a key link to Jolly's Green in the proposal.
- 3.6.3. The High Street is the commercial and cultural heart of the scheme, with a formal avenue of mature existing trees, a neighbourhood square, seating, tables and play structures. The materiality is of East London character with integrated planting and a dramatic lighting strategy encouraging evening activity.

- 3.6.4. Community Lane is a soft and green environment for neighbours to meet and gather. It is a car-free pedestrian and cycle route, with both formal and informal seating, a central lawn and play.
- 3.6.5. Enterprise Yard is a hard, urban space for makers with robust materials and a woodland edge of greenery lining the A12. A greener and safer approach to the Dee Street underpass is incorporated.
- 3.6.6. The East West Links are the connecting neighbourhood streets which function for both vehicles and pedestrians. They connect Community Lane and Enterprise Yard in robust materiality, with new street tree planting and informal opportunities for seating.

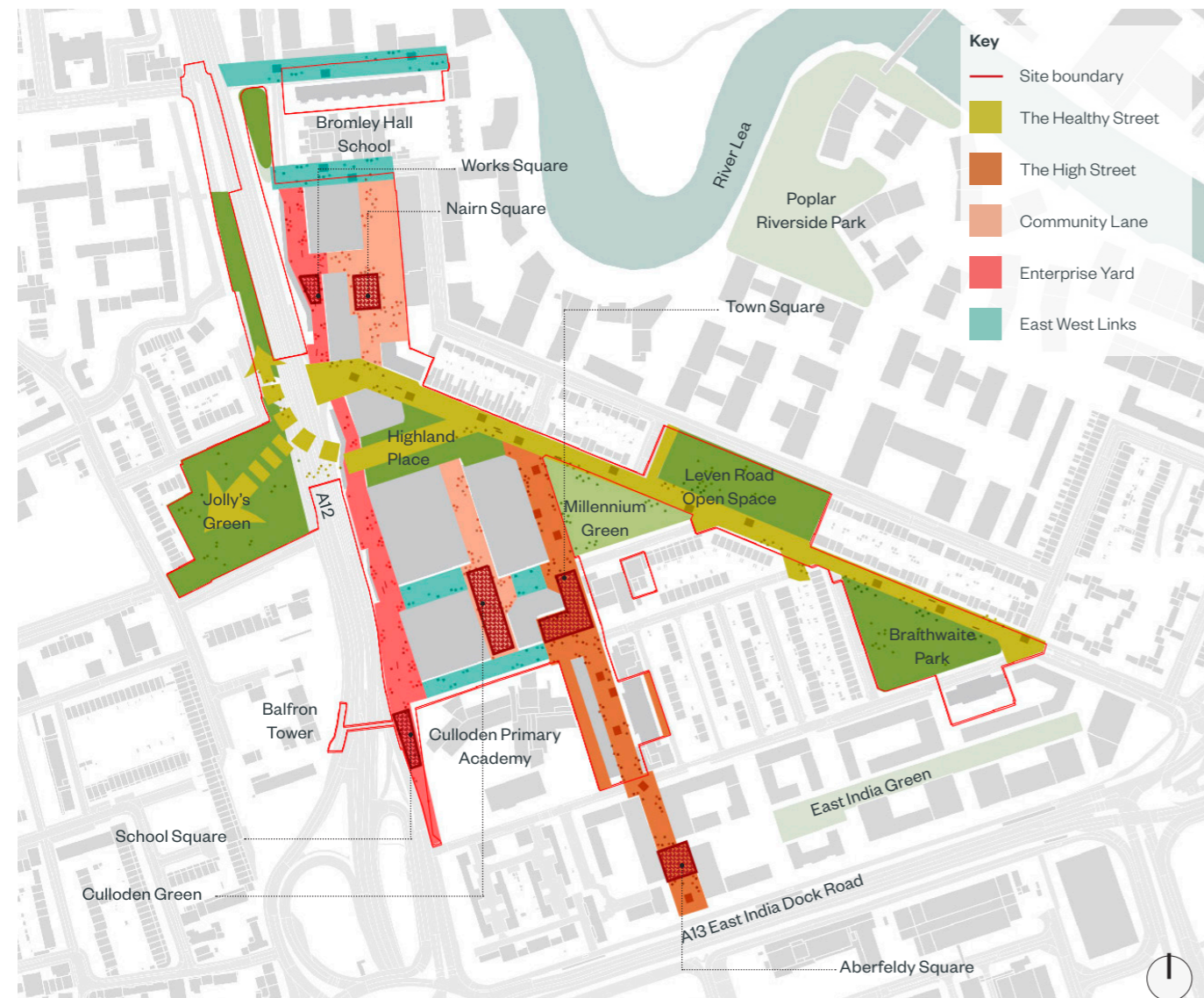


Fig.51 First Life, then spaces

Relevant precedents for Design Guidance



Fig.52 Healthy Street character



Fig.53 High Street character



Fig.54 Community Lane character



Fig.55 Enterprise Yard character



Fig.56 East West Links character

3. 7. The look and feel of the neighbourhood

Materiality

- 3.7.1. The proposed scheme has a clear and holistic material strategy which is tied to building typology and character area.
- 3.7.2. Brick is the primary material for residential façades. Differentiation in the colour, type, and detailing of brickwork will help to define families of buildings and character areas.
- 3.7.3. Where residential buildings address commercial streets, these buildings will typically have non-residential uses at ground level. Concrete plinths **must** be used in these locations to define change in use and character.

- 3.7.4. In locations in which residents have on-street access direct to their front doors, brickwork **should** typically come to ground level and relate to a more domestic and pedestrian focussed public realm.
- 3.7.5. Building B3 **must** be clearly differentiated from other buildings in the masterplan to emphasise it's status as a marker building at the new connection between Jolly's Green and Highland Place.
- 3.7.6. The images to the right and overleaf show indicative types of materials to be used across the masterplan.

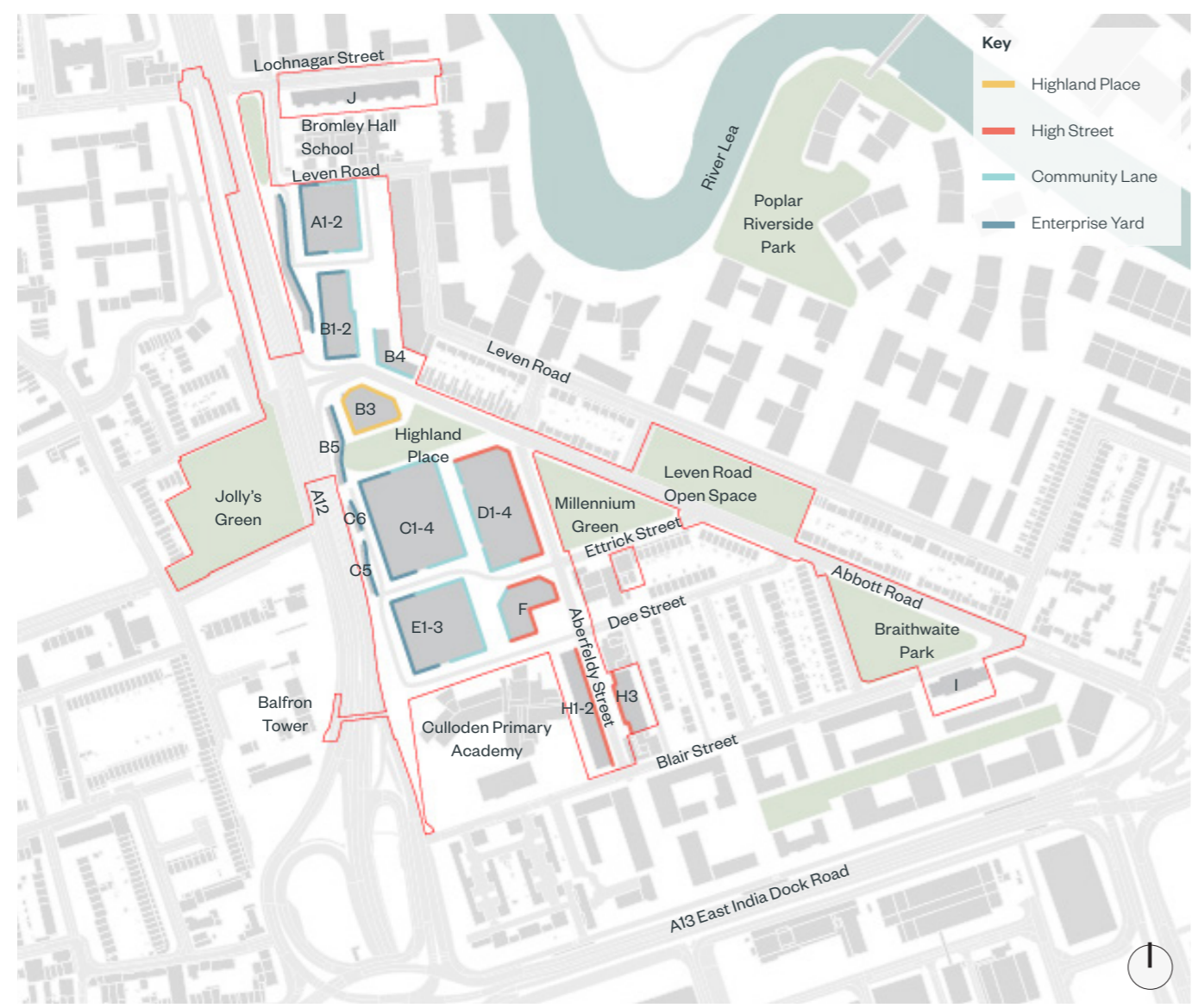


Fig.57 Plan illustrating the distribution of materials across the masterplan (illustrative plan)

Highland Place

Architecture

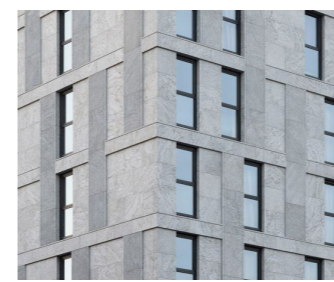


Fig.58 Concrete panels with varying texture



Fig.59 Textured concrete panel

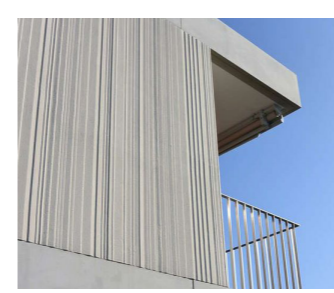


Fig.60 Concrete panel with scalloped detail



Fig.61 Dark polished concrete

- 3.7.7. The key architectural element within Highland Place is Building B3, which marks the new pedestrian and cycle connection with Jolly's Green on the east if the A12.
- 3.7.8. The form, materiality and design **must** mark Building B3 as a singular element. This building **should** create a dialogue with Balfroun Tower, and respond subtly and sensitively to its scale and geometry.
- 3.7.9. A high quality façade with a robust, industrial aesthetic is appropriate in this location, and variations in colour, texture and finish **should** be simple and subtle.
- 3.7.10. Downpipes **must** be only on courtyard elevations and otherwise integrated. They **should** be located within external façades or internal to avoid downpipes on all street facing external elevations.

Public realm



Fig.62 Timber terraced seating



Fig.63 Coloured play surfacing

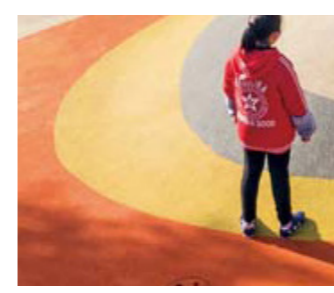


Fig.64 Coloured asphalt paths

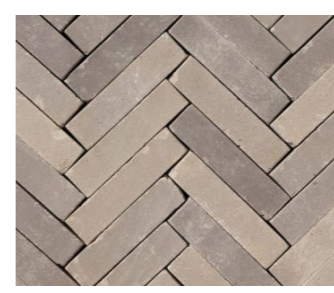


Fig.65 Small unit Dutch clay pavers

- 3.7.11. The materiality and design of Highland Place **must** connect it to the existing parks and green spaces adjacent. Materials **should** read as part of a park and green space palette, whilst also complementing those used in the surrounding streets and spaces.
- 3.7.12. Timber **should** be used in appropriate locations to soften and complement the use of concrete within the architecture.
- 3.7.13. Injections of colour through play areas **should** respond to the use of colour within the architecture.
- 3.7.14. Paving on the outskirts of the green space **should** tie into the network of surrounding streets to create a subtle transition.