



**Design Addendum**

For Reselton Properties

## Preface

This Design Addendum has been prepared in direct response to a series of comments provided by London Borough of Richmond Upon Thames regarding the submitted proposals for the former Stag Brewery site in Mortlake.

The exact questions (in black) as well as a response (in grey) and accompanying illustrations are provided to clearly explain where amendments have been made or justification is instead provided.

Substitution planning drawings have been provided for all amendments outlined within this document. The drawing list is provided opposite. Previously submitted planning drawings that are not included within the list should be considered to remain unchanged and current.

The compliance schedule has also been updated to reflect these amendments - a new revision will be provided along with the substitution drawings.

### Application A substitution and/or new drawings:

#### Basement Plans

C645_Z1_P_B1_001_A	Proposed Development Area 1 Basement Plan
C645_Z2_P_B1_001_A	Proposed Development Area 2 Basement Plan

#### Masterplan Drawings

C645_Z1_P_00_001_A	Proposed Development Area 1 Ground Floor Level Plan
C645_Z1_P_TY_001_A	Proposed Development Area 1 Typical Floor Level Plan

#### Building Plans

C645_B2_P_00_001_A	Building 2 - Proposed Ground Floor Plan
C645_B2_P_TY_001_A	Building 2 - Proposed Typical Floor Plan
C645_B2_P_05_001_A	Building 2 - Proposed Fifth Floor Plan
C645_B2_P_06_001_A	Building 2 - Proposed Sixth Floor Plan
C645_B2_P_07_001_A	Building 2 - Proposed Seventh Floor Plan
C645_B2_P_RF_001_A	Building 2 - Proposed Roof Plan
C645_B3_P_00_001_A	Building 3 - Proposed Ground Floor Plan
C645_B3_P_TY_001_A	Building 3 - Proposed Typical Floor Plan
C645_B3_P_05_001_A	Building 3 - Proposed Fifth Floor Plan
C645_B3_P_RF_001_A	Building 3 - Proposed Roof Plan
C645_B4_P_00_001_A	Building 4 - Proposed Ground Floor Plan
C645_B5_P_00_001_A	Building 5 - Proposed Ground Floor Plan
C645_B5_P_01_001_A	Building 5 - Proposed First Floor Plan
C645_B5_P_02_001_A	Building 5 - Proposed Second Floor Plan
C645_B5_P_RF_001_A	Building 5 - Proposed Roof Plan
C645_B6_P_00_001_A	Building 6 - Proposed Ground Floor Plan
C645_B7_P_00_001_A	Building 7 - Proposed Ground Floor Plan
C645_B7_P_TY_001_A	Building 7 - Proposed Typical Floor Plan
C645_B7_P_05_001_A	Building 7 - Proposed Fifth Floor Plan
C645_B7_P_06_001_A	Building 7 - Proposed Sixth Floor Plan
C645_B7_P_06_001_A	Building 7 - Proposed Seventh Floor Plan
C645_B7_P_RF_001_A	Building 7 - Proposed Roof Plan
C645_B8_P_00_001_A	Building 8 - Proposed Ground Floor Plan
C645_B8_P_TY_001_A	Building 8 - Proposed Typical Floor Plan
C645_B8_P_05_001_A	Building 8 - Proposed Fifth Floor Plan
C645_B8_P_06_001_A	Building 8 - Proposed Sixth Floor Plan
C645_B8_P_07_001_A	Building 8 - Proposed Seventh Floor Plan
C645_B8_P_RF_001_A	Building 8 - Proposed Roof Plan
C645_B9_P_00_001_A	Building 9 - Proposed Ground Floor Plan
C645_B9_P_TY_001_A	Building 9 - Proposed Typical Floor Plan
C645_B10_P_00_001_A	Building 10 - Proposed Ground Floor Plan
C645_B10_P_TY_001_A	Building 10 - Proposed Typical Floor Plan
C645_B10_P_04_001_A	Building 10 - Proposed Fourth Floor Plan
C645_B11_P_00_001_A	Building 11 - Proposed Ground Floor Plan
C645_B12_P_00_001_A	Building 12 - Proposed Ground Floor Plan

#### Building Elevations

C645_B1_E_E_001_A	Building 1 - Proposed East Elevation
C645_B1_E_N_001_A	Building 1 - Proposed North Elevation
C645_B1_E_S_001_A	Building 1 - Proposed South Elevation
C645_B1_E_W_001_A	Building 1 - Proposed West Elevation
C645_B2_E_E_001_A	Building 2 - Proposed East Elevation
C645_B2_E_N_001_A	Building 2 - Proposed North Elevation 1
C645_B2_E_N_002_A	Building 2 - Proposed North Elevation 2
C645_B2_E_S_001_A	Building 2 - Proposed South Elevation
C645_B2_E_W_001_A	Building 2 - Proposed West Elevation 1
C645_B2_E_W_002_A	Building 2 - Proposed West Elevation 2
C645_B3_E_E_001_A	Building 3 - Proposed East Elevation
C645_B3_E_N_001_A	Building 3 - Proposed North Elevation
C645_B3_E_S_001_A	Building 3 - Proposed South Elevation
C645_B3_E_W_001_A	Building 3 - Proposed West Elevation
C645_B4_E_E_001_A	Building 4 - Proposed East Elevation
C645_B4_E_N_001_A	Building 4 - Proposed North Elevation
C645_B4_E_S_001_A	Building 4 - Proposed South Elevation
C645_B4_E_W_001_A	Building 4 - Proposed West Elevation
C645_B5_E_H_001_A	Building 5 - Proposed Hotel Elevations
C645_B5_E_S_001_A	Building 5 - Proposed South Elevation
C645_B5_E_E_001_A	Building 5 - Proposed East & North Elevations
C645_B5_E_N_001_A	Building 5 - Proposed North & West Elevations
C645_B6_E_E_001_A	Building 6 - Proposed East Elevation
C645_B6_E_N_001_A	Building 6 - Proposed North Elevation
C645_B6_E_S_001_A	Building 6 - Proposed South Elevations 1
C645_B6_E_S_002_A	Building 6 - Proposed South Elevations 2
C645_B6_E_W_001_A	Building 6 - Proposed West Elevation
C645_B7_E_E_001_A	Building 7 - Proposed East Elevation
C645_B7_E_N_001_A	Building 7 - Proposed North Elevation
C645_B7_E_S_001_A	Building 7 - Proposed South Elevation
C645_B7_E_W_001_A	Building 7 - Proposed West Elevation
C645_B8_E_E_001_A	Building 8 - Proposed East Elevation
C645_B8_E_N_001_A	Building 8 - Proposed North Elevation
C645_B8_E_S_001_A	Building 8 - Proposed South Elevation
C645_B8_E_W_001_A	Building 8 - Proposed West Elevation 1
C645_B8_E_W_002_A	Building 8 - Proposed West Elevation 2
C645_B9_E_E_001_A	Building 9 - Proposed East Elevation
C645_B9_E_N_001_A	Building 9 - Proposed North Elevation
C645_B9_E_S_001_A	Building 9 - Proposed South Elevation
C645_B10_E_N_001_A	Building 10 - Proposed North Elevation
C645_B10_E_S_001_A	Building 10 - Proposed South Elevation
C645_B11_E_E_001_A	Building 11 - Proposed East Elevation
C645_B11_E_N_001_A	Building 11 - Proposed North Elevation
C645_B11_E_S_001_A	Building 11 - Proposed South Elevation
C645_B12_E_N_002_A	Building 12 - Proposed North Elevation 2

**Application B substitution drawings:**

**Site Sections & Elevations**

C645\_Z1\_E\_AA\_001\_A Proposed Site Elevation AA  
C645\_Z1\_E\_BB\_001\_A Proposed Site Elevation BB  
C645\_Z1\_E\_CC\_001\_A Proposed Site Elevation CC  
C645\_Z1\_E\_DD\_001\_A Proposed Site Elevation DD  
C645\_Z1\_E\_EE\_001\_A Proposed Site Elevation EE  
C645\_Z1\_E\_FF\_001\_A Proposed Site Elevation FF  
C645\_Z1\_E\_GG\_001\_A Proposed Site Elevation GG  
C645\_Z1\_E\_HH\_001\_A Proposed Site Elevation HH  
C645\_Z1\_E\_II\_001\_A Proposed Site Elevation II  
C645\_Z2\_E\_LL\_001\_A Proposed Site Elevation LL  
C645\_Z2\_E\_PP\_001\_A Proposed Site Elevation PP  
C645\_Z2\_E\_QQ\_001\_A Proposed Site Elevation QQ  
C645\_Z2\_E\_RR\_001\_A Proposed Site Elevation RR  
C645\_Z1\_S\_AA\_001\_A Proposed Site Section AA  
C645\_Z1\_S\_BB\_001\_A Proposed Site Section BB  
C645\_Z1\_S\_CC\_001\_A Proposed Site Section CC

**School Application**

C645\_Z3\_P\_AL\_001\_A Proposed Site Plan  
C645\_Z3\_E\_AL\_001\_A Proposed Elevations  
C645\_Z3\_P\_RF\_001\_A Proposed Roof Plan

**Wheelchair Accessible Unit Plans**

C645\_B2\_P\_00\_004\_A Building 2 - Accessible Unit Apartment 2.G.7  
C645\_B2\_P\_00\_005\_A Building 2 - Accessible Unit Apartment 2.G.6  
C645\_B2\_P\_00\_006\_A Building 2 - Accessible Unit Apartment 2.G.8  
C645\_B2\_P\_05\_003\_A Building 2 - Accessible Unit Apartment 2.5.11  
C645\_B2\_P\_06\_002\_A Building 2 - Accessible Unit Apartment 2.6.6  
C645\_B2\_P\_TY\_002\_A Building 2 - Accessible Unit Apartment 2.TY.8  
C645\_B3\_P\_TY\_002\_A Building 3 - Accessible Unit Apartment 3.TY.5  
C645\_B7\_P\_00\_003\_A Building 7 - Accessible Unit Apartment 7.G.3  
C645\_B8\_P\_TY\_002\_A Building 8 - Accessible Unit Apartment 8.TY.10

**Bay Study Elevations**

C645\_Z1\_E\_01\_004 Mansion Typology Bay Study Elevation - Retail frontage  
C645\_Z1\_E\_01\_005\_A Bottling & Hotel Building Bay Study Elevation - Existing  
Façade Office  
C645\_Z1\_E\_01\_006\_A Bottling and Hotel Building Bay Study Elevation - New  
Façade Office  
C645\_Z1\_E\_01\_007\_A Bottling and Hotel Building Bay Study Elevation -  
Existing Façade Hotel

**Parameter Plans**

C645\_Z2\_P\_PR\_007\_A Proposed Building Levels - Ground Floor  
C645\_Z2\_P\_PR\_011\_A Demolition and Retention Plan

## Block 1 - Cinema

### 1. Can the isolation of the cinema be reduced?

The cinema was conceived as having an important civic role and has been positioned in a prominent location facing the entrance to the green link. The building serves as a welcoming gesture facing a significant public space, in which people can gather prior to and after visiting the cinema. Joining the cinema to another building would diminish the importance of the building and disrupt the legibility of the master plan.

The aspiration to create a civic gesture that is reminiscent of the heyday of cinema building has been integral to the design of the building. As a consequence, we referred to many historic precedents during the design process.

As part of this research, we discovered many historic precedents of free-standing/ detached cinema buildings with a successful relationship with the public realm as well as elevation treatment to areas of facade enclosing cinema screens. Early to mid 20th century cinema precedents often incorporated masonry relief and other decorative details to these solid areas of facades. The proposal for fluted concrete is not dissimilar to this approach in that it provides an elegant and decorative design with varied relief and texture (see response to item 3 for a more detailed explanation).



Example of decorative masonry - Odeon cinema, Southsea, Portsmouth



Example of decorative masonry - Odeon cinema, Chingford Mount



Example of free standing cinema - Odeon cinema, Bolton



Example of free standing cinema - Odeon cinema, Loughborough



Example of free standing cinema - Odeon cinema, Harrogate



Submitted illustrative view of proposed cinema (Block 1) from Lower Richmond

## Block 1 - Cinema

2. Provide direct level access to omit steps and ramps.

The proposed floor level of the Cinema is set mid-way between proposed Thames Street and Lower Richmond Road (LRR) and provides the ground floor of the building with relationships to both streets and to the public open space and, particularly to the circulation route and gathering space of the Green Spine.

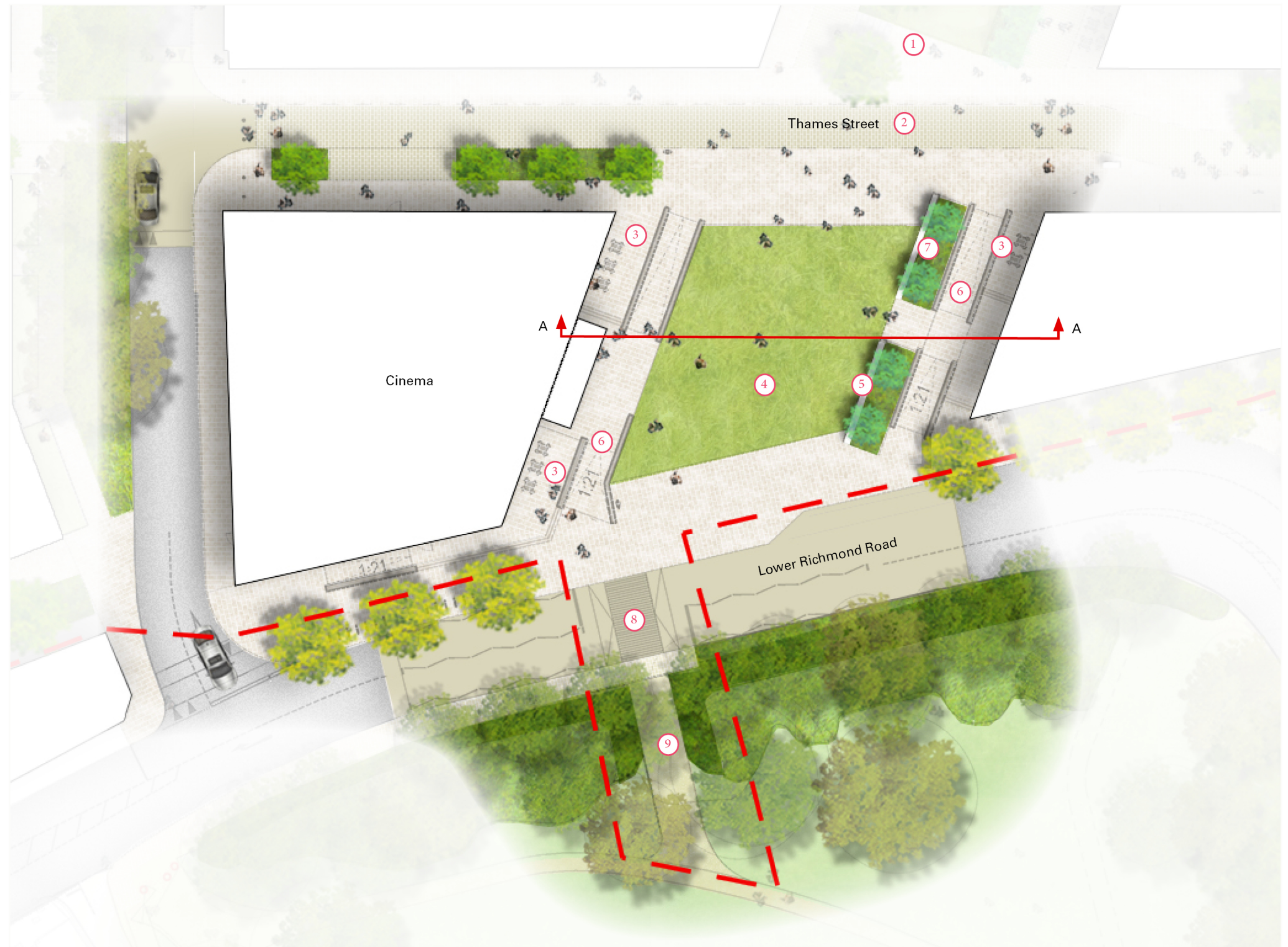
Gillespies have designed the access around the building to provide steps and accessible walkways into a central entrance landing facing into the Green Spine. The main access route from LRR and Mortlake Green and beyond is via the graded walkway that runs either side of the Green Link directly through the site to the river. Graded slopes of 1:21 incline and edged with raised kerbs / seating walls provide an accessible route to the main eastern entrance and past the building, linking LRR and Thames St. Outside the cinema, there are level areas that form spill-out terraces, slightly raised above pavement level and overlooking the Green Spine and LRR, providing animation to the streetscape as well as valuable amenity space for the users of the cinema.

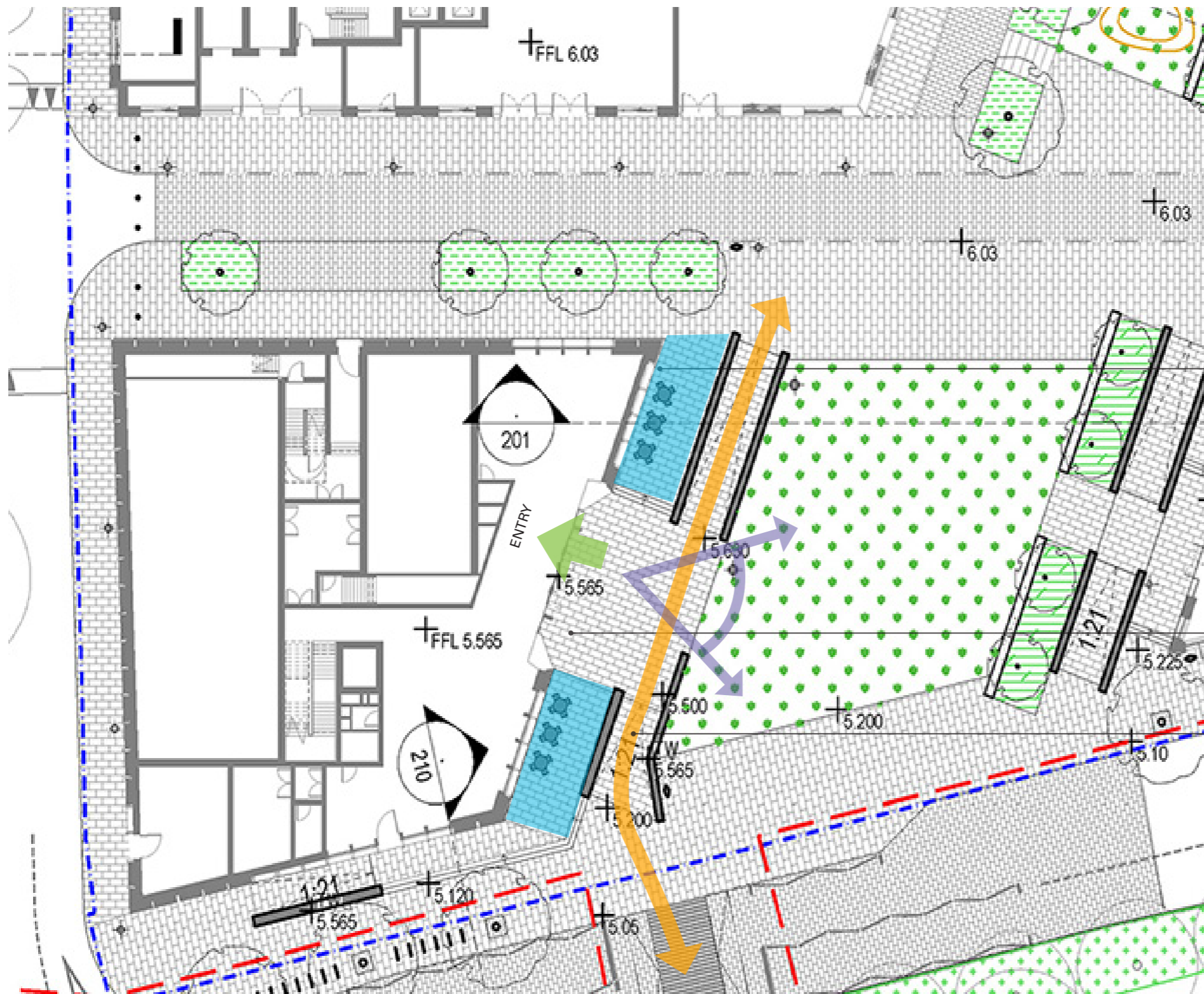
A secondary direct entry from LRR is provided with a continuous line of steps wrapping the corner and an accessible graded walkway at the western end down to footpath level. The configuration of these steps and graded walkway is designed to maintain a min public footpath along LRR past the site and

Low walls or kerbs to define the access also provide casual seating opportunities, further enlivening the streetscape and public realm with meeting places, waiting and casual interactions.

Refer to plans for annotated description of the building surrounds.

- ① Green Link with lawn, trees, planting, rain garden, spill-out spaces and access route.
- ② Thames street with service vehicle route
- ③ Outdoor seating
- ④ Lawn
- ⑤ Seating
- ⑥ Graded access
- ⑦ Rain garden
- ⑧ New crossing (pedestrian and cyclists)
- ⑨ Proposed link through Mortlake Green





Access and seating terraces facing into Green Link with graded walkway (1:21) route through to Maltings Plaza and Thames River

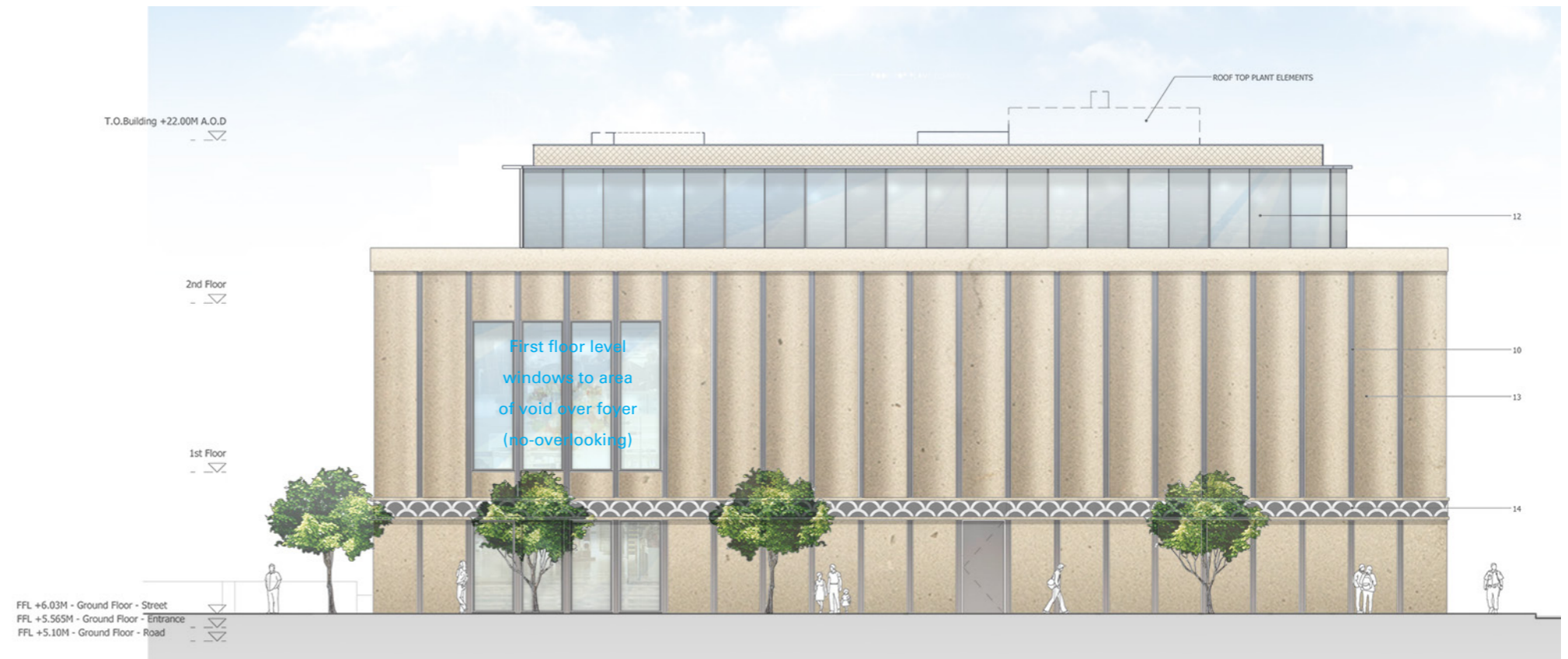
Access and seating terraces facing into Green Link with graded walkway (1:21) route through to Maltings Plaza and Thames River

Direct access route from Mortlake Green and Station into site

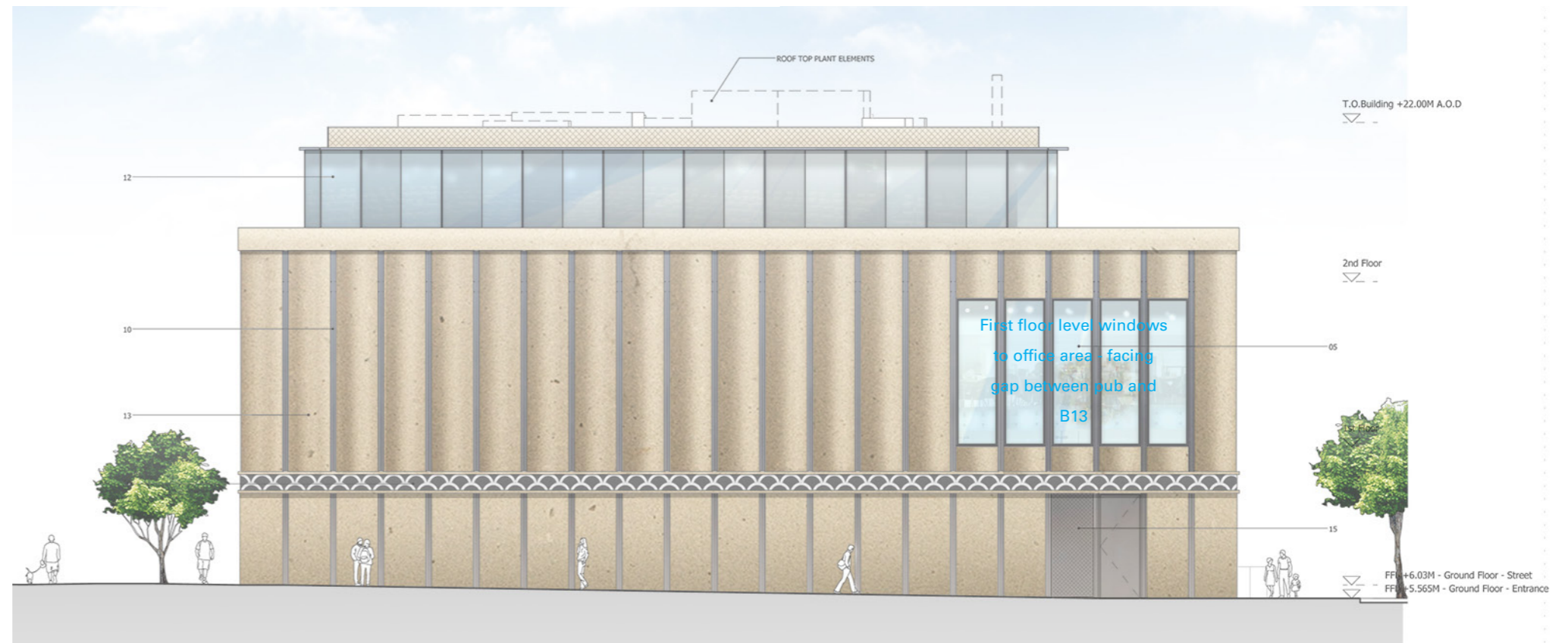
**Block 1 - Cinema**

- West and north elevations. The main view for future residents appears to be of 4 storeys of solid pre-cast concrete cladding. This will have adverse effect on the value of the residential units?

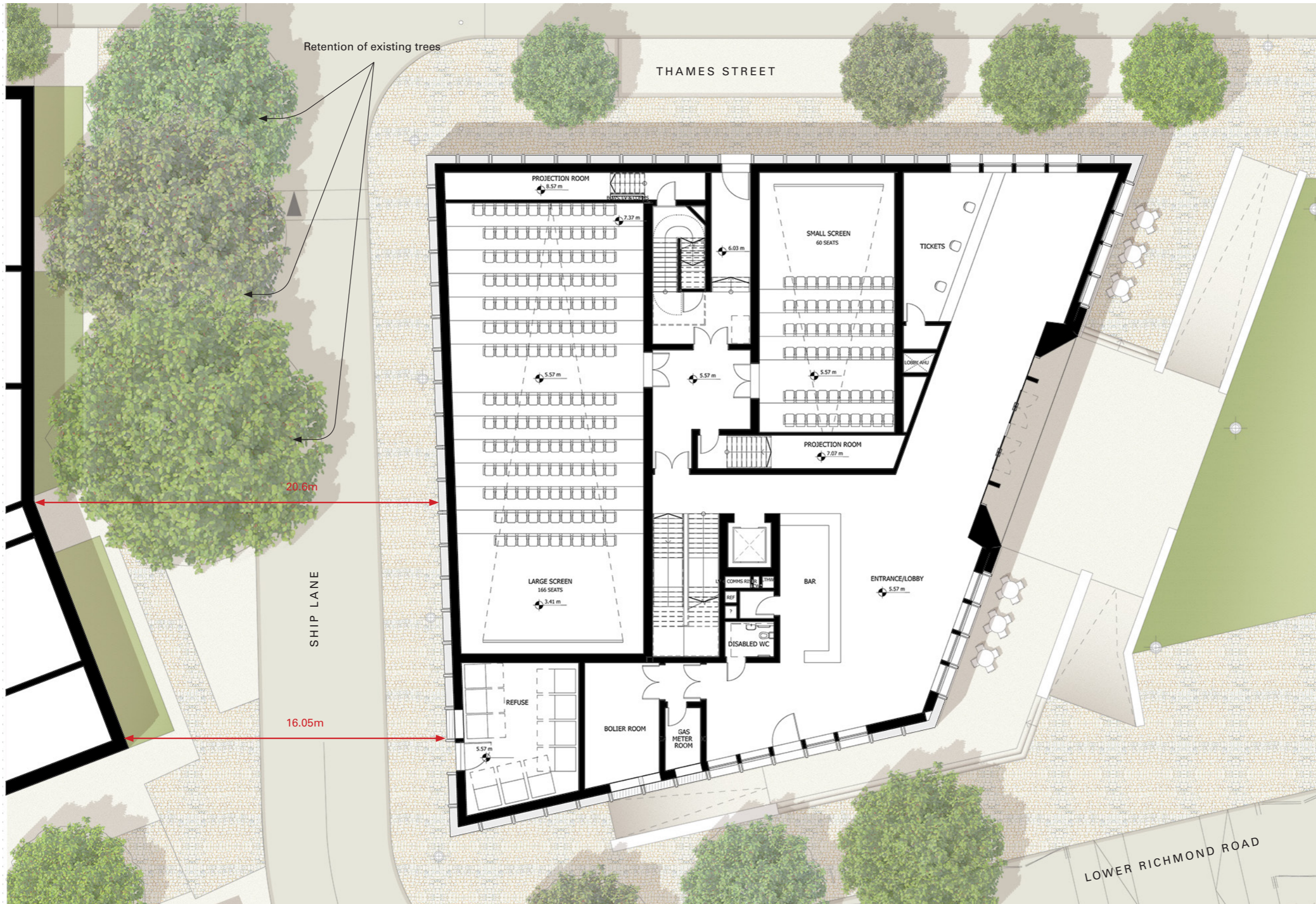
The nature of the use of the building as a cinema requires a large proportion of windowless facades. On one hand this means that those parts of the facade are not animated by windows, however that may also be seen as a benefit in terms of the lack of overlooking issues to these areas. The internal configuration of the building has been designed to specifically locate the screens (which require solid facade) to the north and west - this has been to ensure active frontages are provided towards the green link and Lower Richmond Road. The elevation treatment has been carefully considered to provide strong character and relief. The fluted concrete piers will cast light and shadow in a manner reminiscent of a cinema curtain - not dissimilar to the effect of the award winning Centre for Contemporary Arts in Nottingham (by Caruso St John Architects). By evening this fluted profile provides opportunity for subtle lighting to be incorporated in a manner that avoids light spilling towards its neighbours. We believe this is a suitably elegant approach to the challenge of providing solidity and animation at the same time.



Block 1 (cinema) - Proposed north elevation



Block 1 (cinema) - Proposed west elevation



Block 1 (cinem) - Proposed ground floor plan

**Block 1 - Cinema**

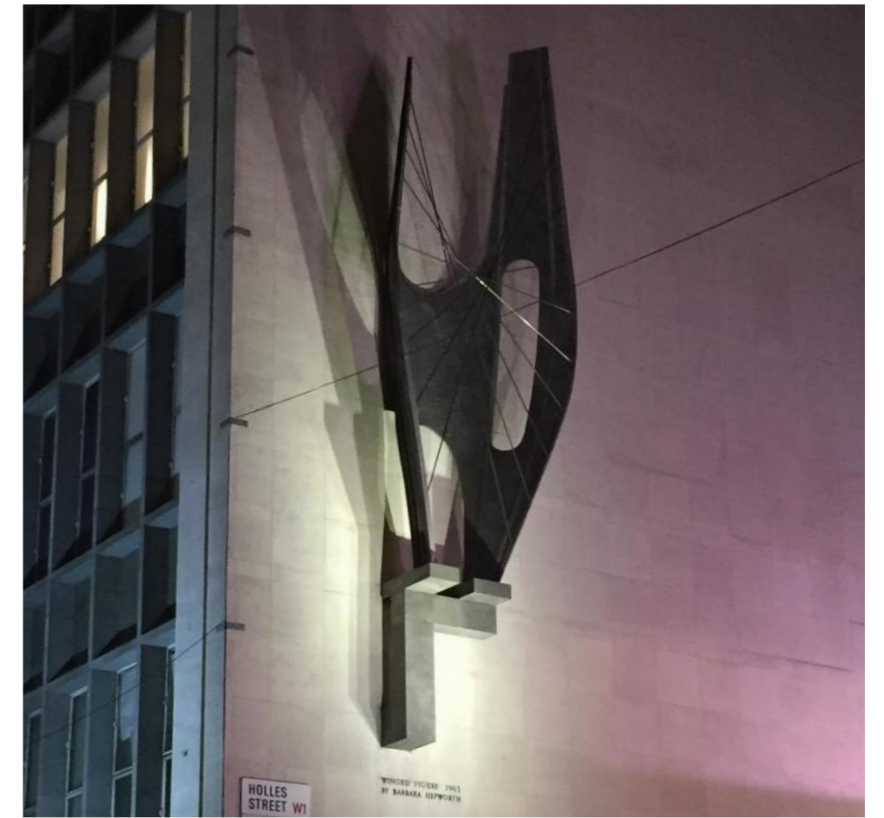
**4. Provide active frontages**

The proposed south and east facades are proposed to incorporate significant areas of glazing that respond to the public realm. The south elevation faces on to Lower Richmond Road and Mortlak Green and does not overlook any other properties. The east elevation faces on to the entrance to the Green Link and is set apart from the building opposite (B6) by 38m.

While there is limited opportunity to increase the amount of glazing to these facades, there could be potential to further animate these elevations by incorporating lighting and/artwork features which could be conditioned.



Block 1 (cinema) - Proposed south elevation



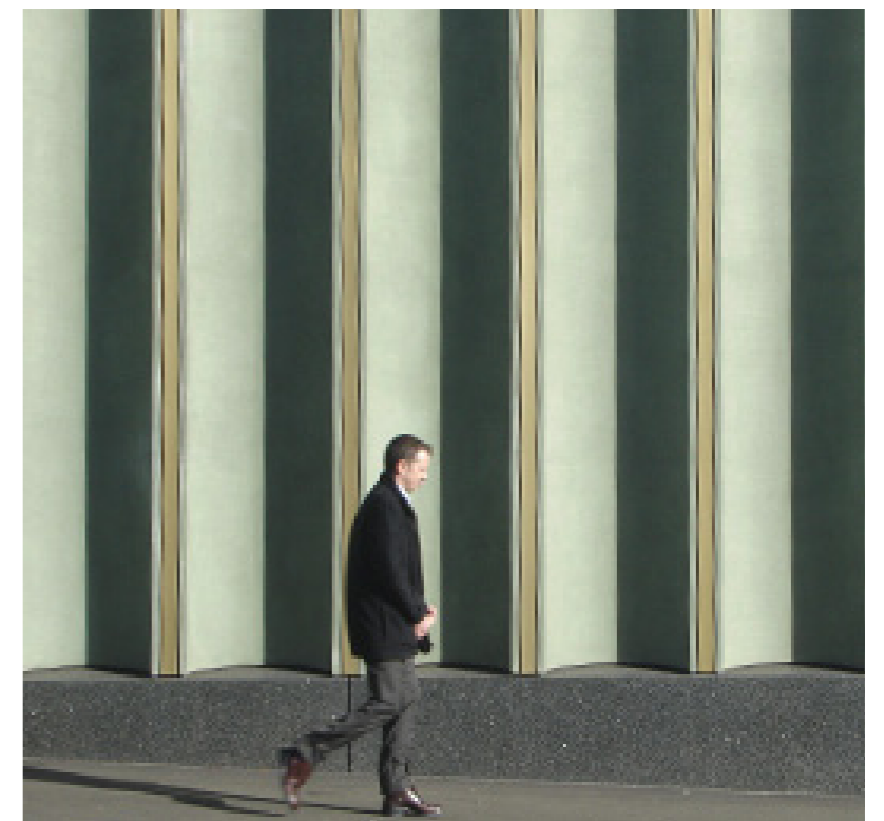
Block 1 (cinema) - Proposed south elevation



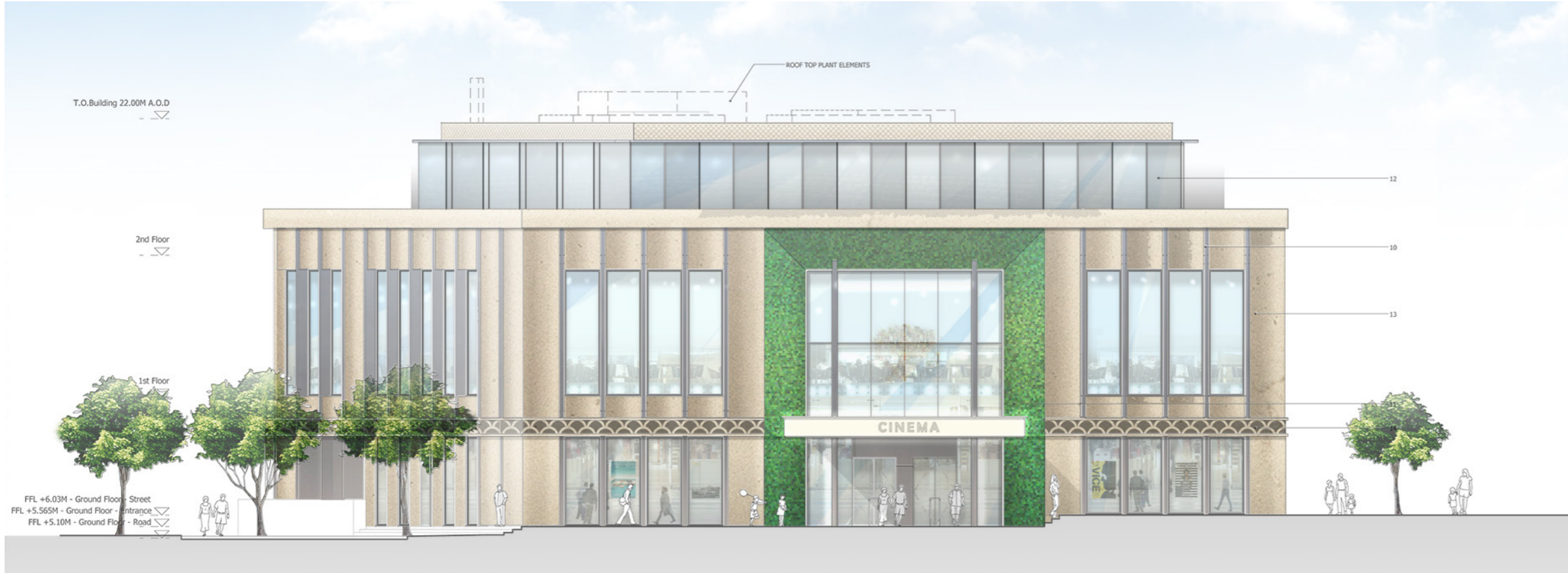
Curtain to cinema screen



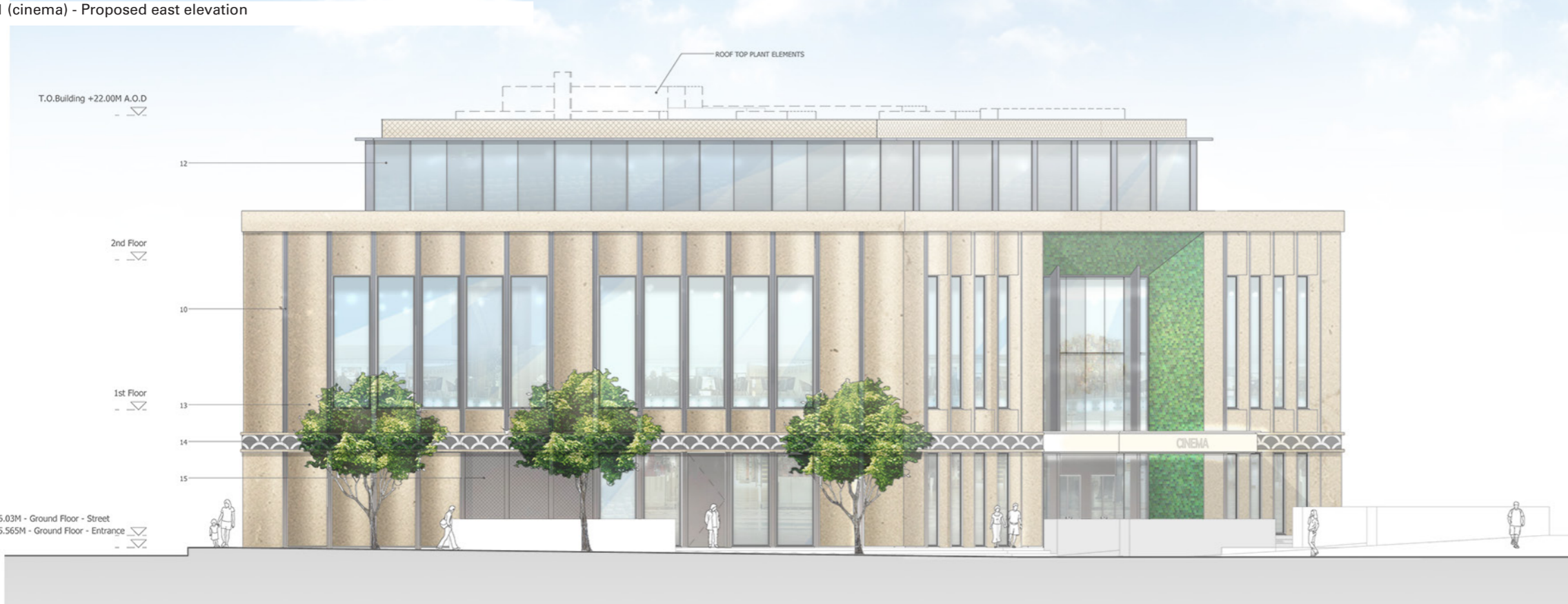
Example of historic reference to cinema curtain



Precedent of fluted concrete (a lighter colour of concrete as proposed)



Block 1 (cinema) - Proposed east elevation



Block 1 (cinema) - Proposed south elevation

## Block 1 - Cinema

### 5. Relocate the entrance of the cinema.

The entrance to the cinema has been deliberately located on the east location to benefit from a more generous spill out space and to serve as an important civic gesture. We believe that relocating the entrance to face Lower Richmond Road would disrupt pedestrian flow along the pavement and increase the risk of pedestrians spilling on to the busy road. Aside from this, we do not believe this position would be as welcoming and prominent due to the angle of approach from the station through the park. Aside from these technical constraints, it is worth noting that an important design feature of the entrance is to have a double storey height angled reveal, which is proposed as being clad in a 'bottle green' coloured tile. This will be visually prominent in the views on approach from the station and village green.



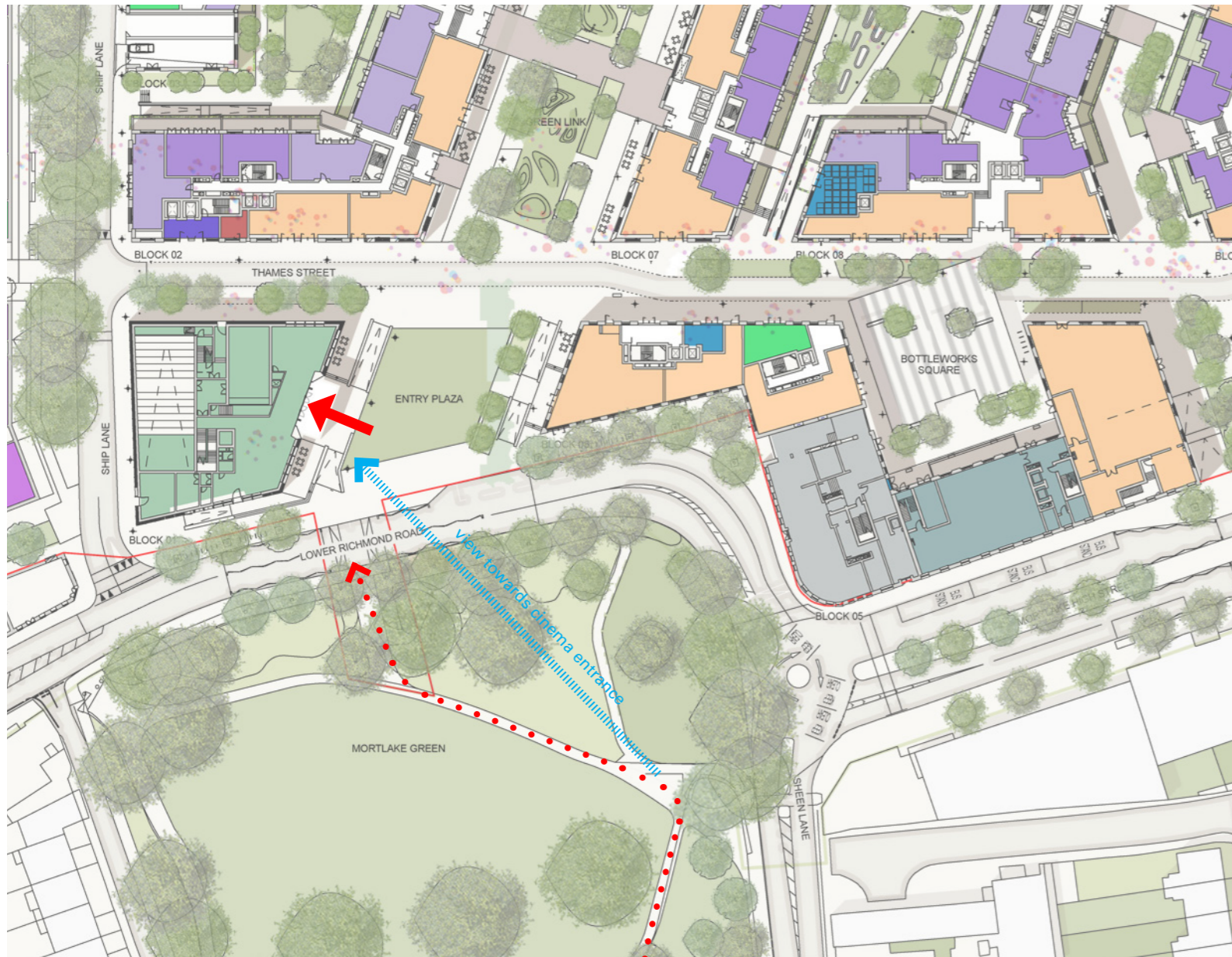
Submitted view of proposed cinema (Block 1) from Mortlake Green



Example of 'bottle green' glazed tiles



Example of tiled reveals to glazed openings - providing emphasis to reveal when viewed from an oblique angle



Plan showing direction of approach to the cinema from Mortlake Station



Coloured elevation showing coloured tiled reveal to entrance area

**Block 1 - Cinema**

- 6. Ensure any plant is centralised in roof.

The plant to the rooftop area has been minimised and located to the most central location possible. It must be acknowledged that the nature of the cinema use does result significant mechanical ventilation and cooling requirements. These items of plant require minimum separation distances as well as space to manoeuvre around for the purpose of maintenance access.

- 7. West and north elevations – dead / inactive frontage.

Please see response to item 4.

- 8. South elevation – poor relationship with street: Barriers, ramps, stairs and lack of interaction.

Please see response to item 2.

- 9. Should be level access from street – all stairs / ramps interrupt too much in townscape.

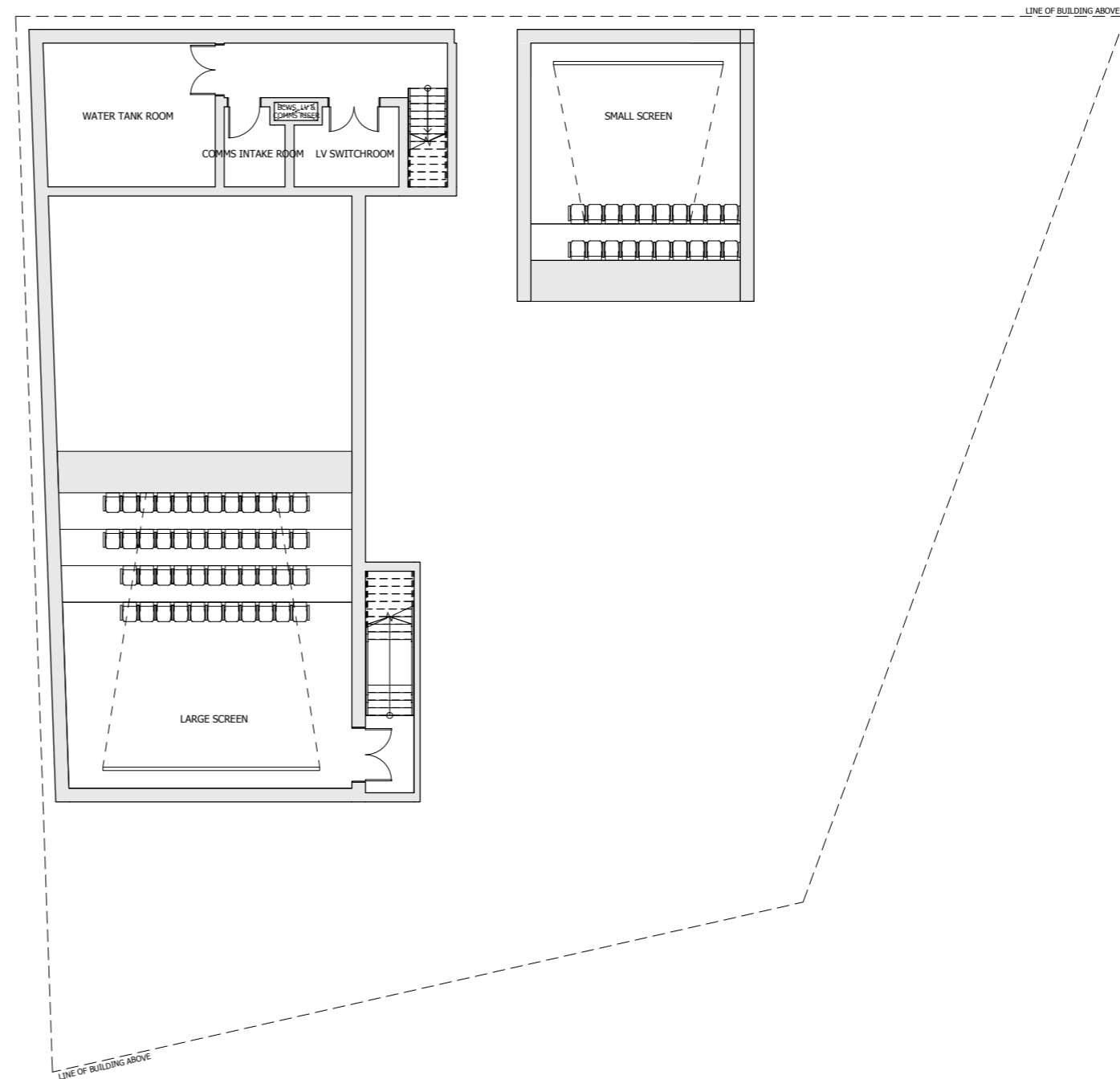
Please see response to item 2.

- 10. Cinema basement not shown on plan. Why can't the basement be lowered to provide level access?

Please see response to item 2. It is worth noting that the levels around the cinema facades vary, and that the internal level has been set to provide level access to the entrance on the East facade. The basement level consists of very small areas of basement - most of which are raked floors to cinema screens. These basement areas are not affecting the setting out of ground floor level datum.

- 11. Refer to plan comments.

Please refer to above responses.



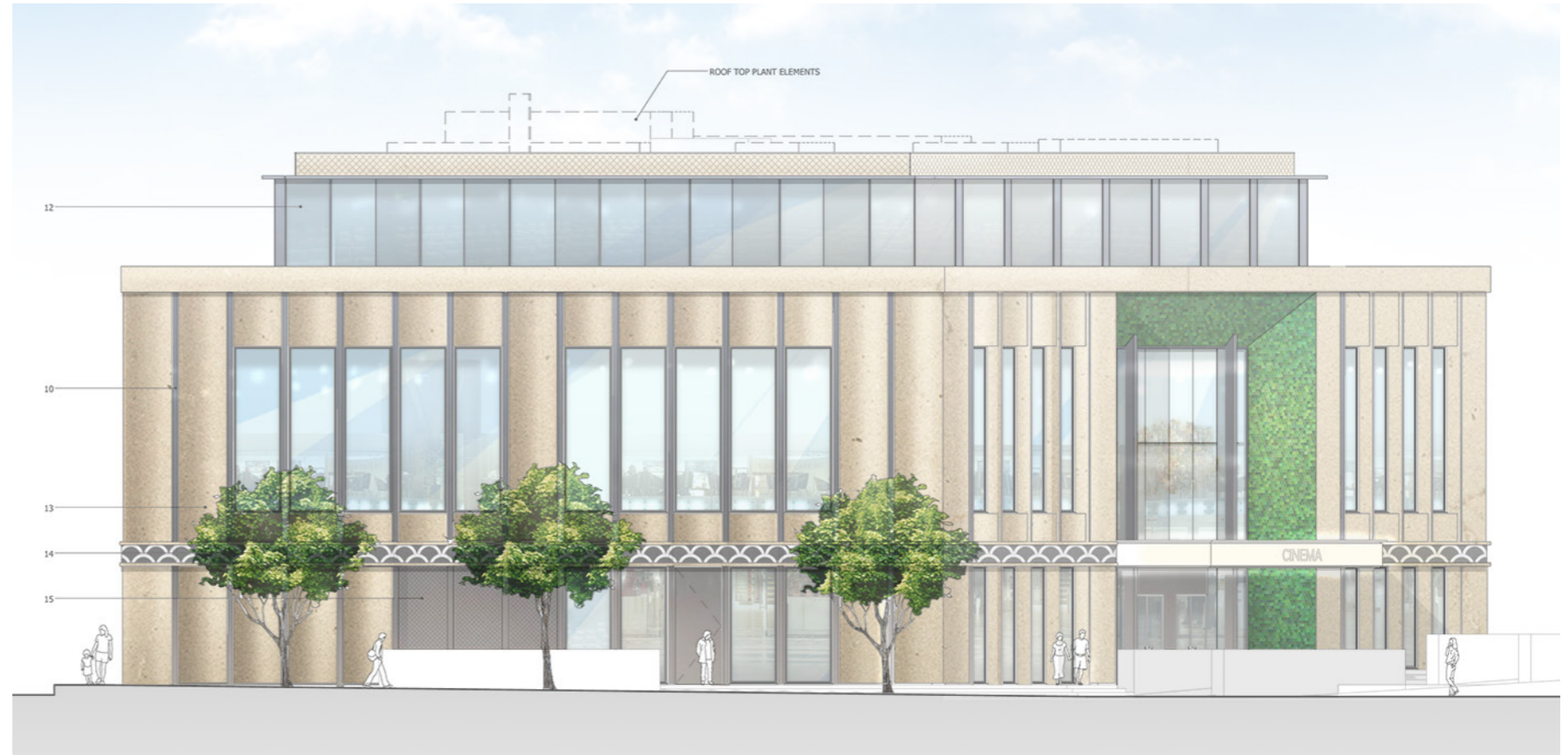
Block 1 (cinema) - Proposed basement level plan

12. Dead frontage on west and north elevations.

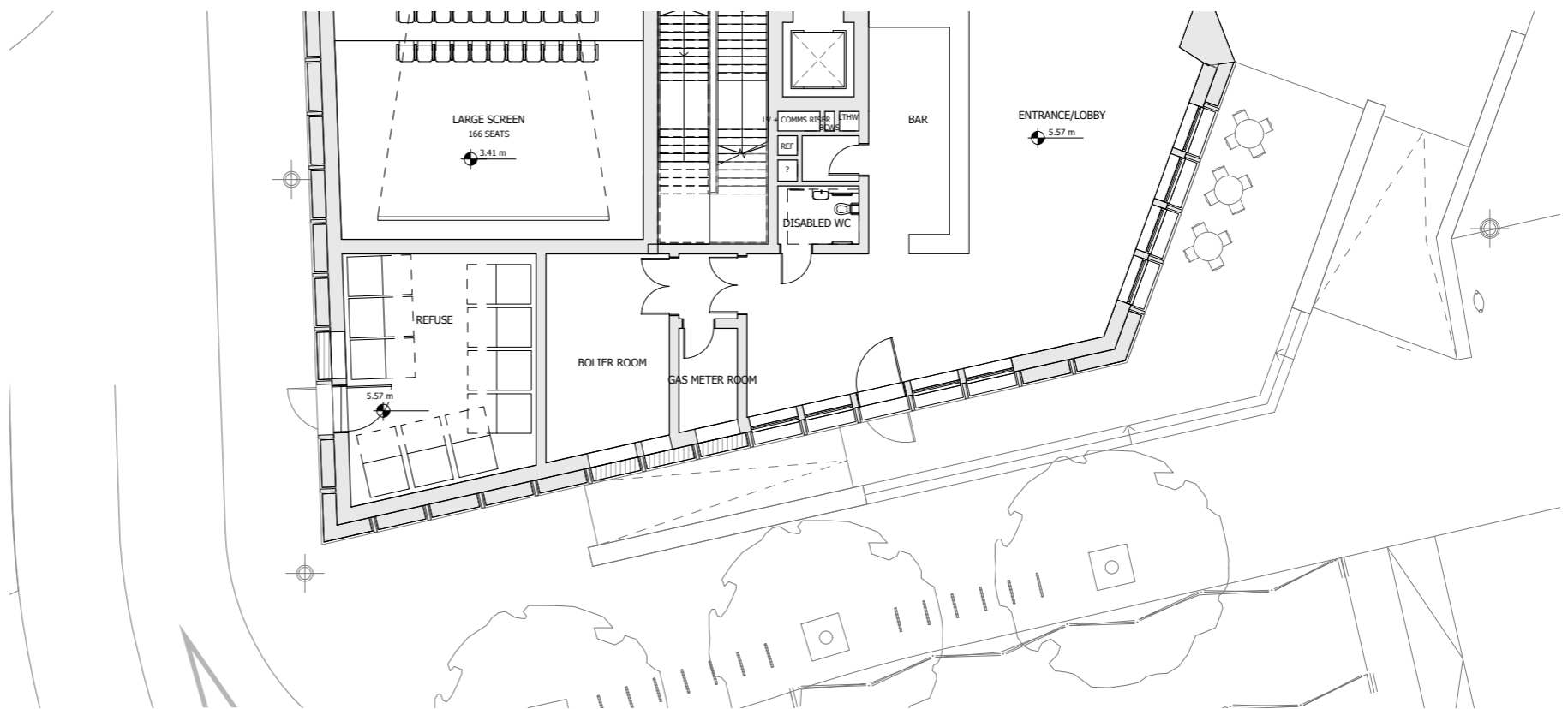
Please refer to above responses.

13. South elevation has a poor relationship with street: Refuse, boiler, second entrance.

14. As mentioned in earlier paragraphs, the cinema screens have been arranged to avoid overlooking issues with residential buildings opposite. These screen occupy most of the North and West facades. This leaves very little opportunity for the incorporation of refuse store and boiler rooms - which must have direct access from the street. The refuse cannot be collected from Lower Richmond Road since this would cause disruption to traffic. It is for this reason that it has been positioned on the corner of Ship Lane. The boiler room requires ventilation and must be positioned on a facade - it must also be positioned in a location where the flue can terminate in the set back rooftop level and so that service routes can be distributed easily to both cinema screens. It is for this reason that the North facade was discounted as a suitable location.



Block 1 (cinema) - Proposed south elevation



Block 1 (cinema) - Proposed ground floor plan

## Block 2

### 1. Turret needs refinement/ elegance

Corner 'turrets' are proposed to three strategic corners of mansion buildings. These elements aim to draw from historic precedent in terms of their design as well as serve as welcoming gateways elements that frame the view of the green link.

Each of the turret elements on buildings 2, 7 and 8 have been re-considered to provide hierarchy of window openings and a more refined top to the building - the result being an appearance more akin to historic precedents of mansion turrets that were built during the Victorian era across London.



Digby Mansions (river facing facade)



Kensington Gore



Hurlingham Court



Digby Mansions (street facing facade)



1 St James Street (by Richard Norman Shaw)



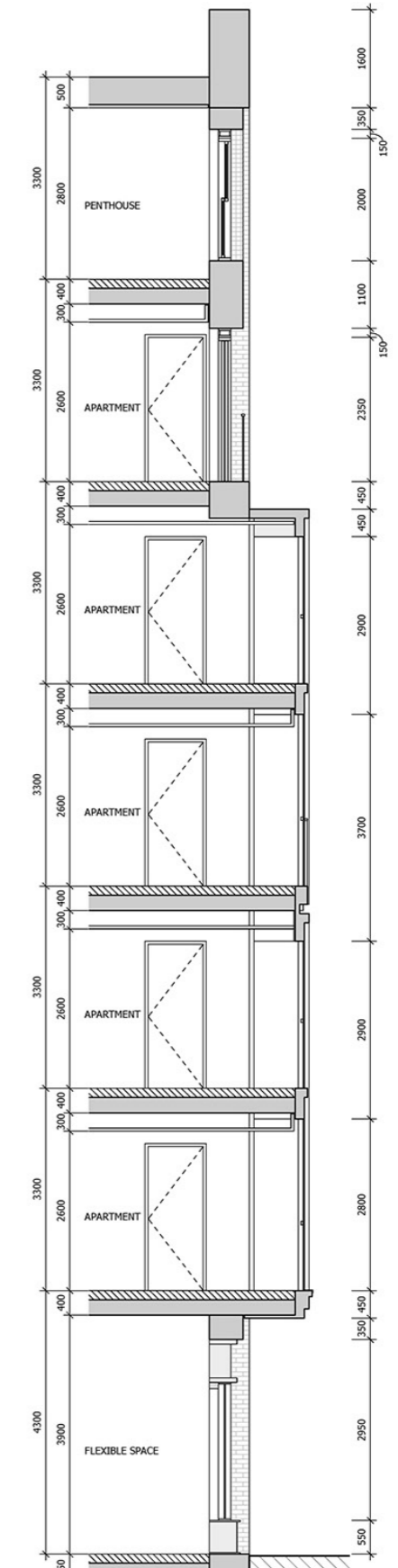
Revised view of corner elements to Buildings 2 and 7 (facing the entrance to the green link)

## Block 2

2. Gables - would it be appropriate to introduce some gables having a full pitch - may add some variation to the roofscape.

The palette of elements incorporated in the mansion buildings and clearly explained within the Design and Access Statement have been carefully refined to provide extensive opportunity for variation in the elevations of all of the mansion blocks (2, 3, 7, 8, 11 and 12. Each of the single bay, double bay and gable elements have been utilised at various different heights - the result being an incredibly varied parapet line to all of these buildings. The elements are never used in the same repeated pattern and spacing and as a consequence when mansion buildings face one another, the result is never that of a mirrored elevation. Furthermore, we have clearly demonstrated that these buildings will be organised in three clusters with differentiated colouration (of metalwork and brick) as well as brick and metalwork details. This will add to the variation of appearance when viewed from the public realm.

This leads us to a reminder that these buildings should be considered in the context of the landscape setting; which has been thoughtfully designed to provide an animated and varied public realm from which the buildings will be experienced at eye level and with perspective as opposed to a line drawn elevation.



Bay study elevation of gable element



Revised east elevation of Building 2



Revised view looking north along Green Link

**Block 2**

- River elevation - forward project in elevation looks much greater than it actually is. To improve proportions - widen gables; increase width of commercial units at ground floor.

While we disagree that the gables should be re-designed, we acknowledge that there could be opportunity to increase the amount of glazing and visibility in to the ground floor commercial units and will alter these elements wherever we think there is opportunity to successfully do so.

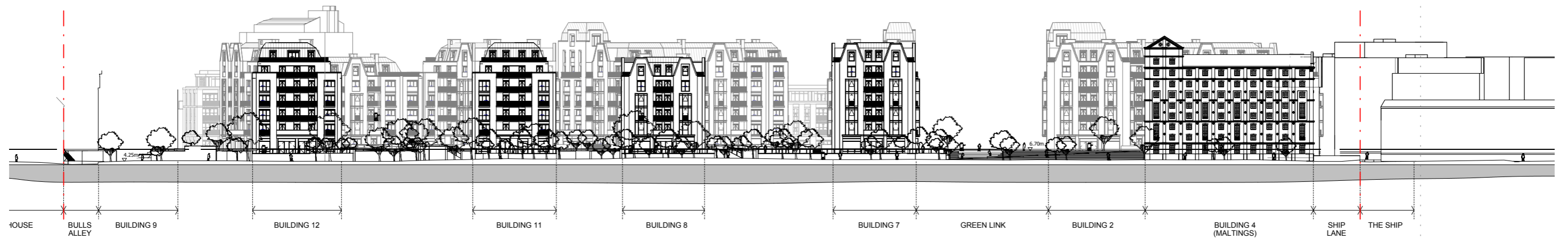
The riverfront elevation and CGI opposite clearly demonstrate that there is significant variation in the design of river facing elevations. Buildings 11 and 12 are terminated with single bays while buildings 7, 8 and 2 vary in height and terminate with gables. The result is an undulating roofscape with varied appearance. Furthermore, the metalwork details and colours of brick and metalwork are proposed to vary within each of the three mansion 'clusters' (B11 and B12, B7 and B8 and B2 and B3) further adding to the variety of the overall appearance of the masterplan.



Revised proposed north elevation of Building 2



Submitted proposed north elevation of Building 2



Proposed riverfront elevation

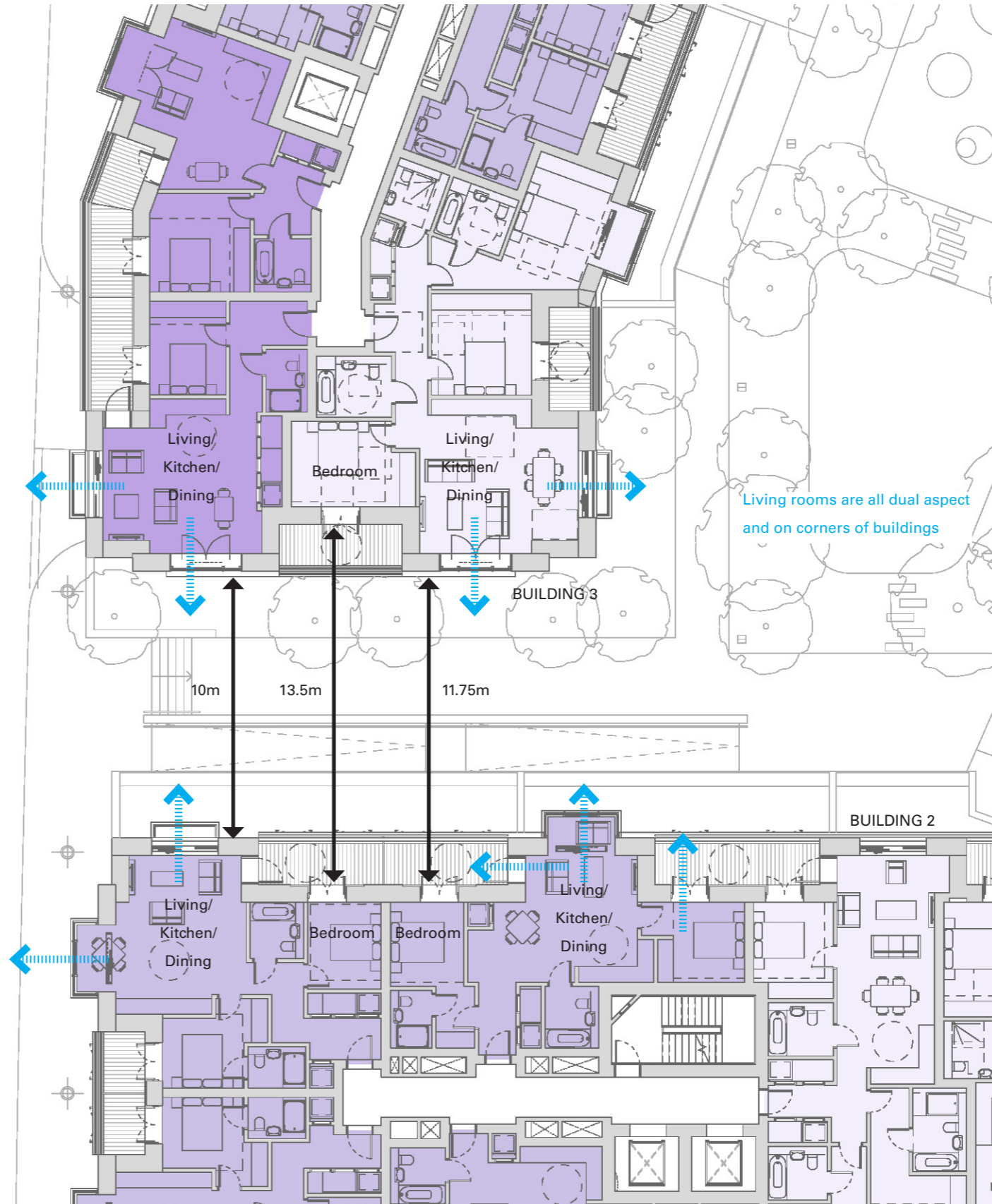


Revised CGI of proposed riverfront elevations

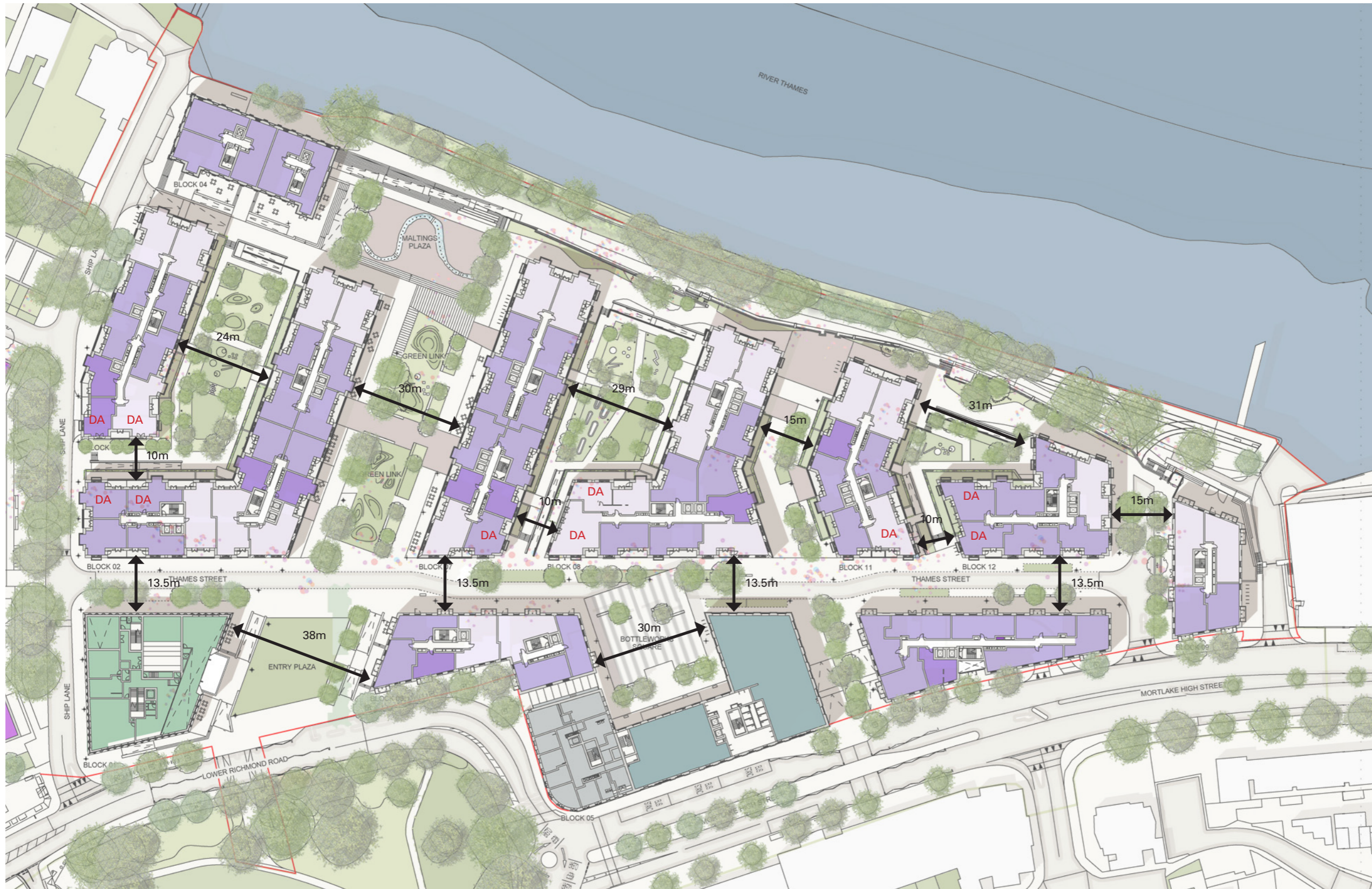
**Block 2**

- 4. Block 2 with Block 3: North facing, single aspect, only a 10m distance (and 12m on upper floors) - unacceptable living conditions.
- 5. Block 2 with Block 1: only 13m separation.

Please see section dedicated to 'Proximity of Buildings'.



Proposed typical floor plan - Buildings 2 and 3



Proposed typical floor plan of Development Area 1 - showing separation distances (DA denotes dual aspect apartments)

### Block 3

1. West elevation - It is appropriate to have a one bedroom flat next to refuse.

We assume that there has been an error in the wording of this statement and understand it to mean 'is it'.

2. South elevation ground floor - insertion of grilles. The west elevation has 5. Poor solution to this frontage at street level. Creates inactive/ dead frontage.

On both items 1 and 2, a more in depth understanding of the refuse collection and servicing constraints as a consequence of statutory requirements is required.

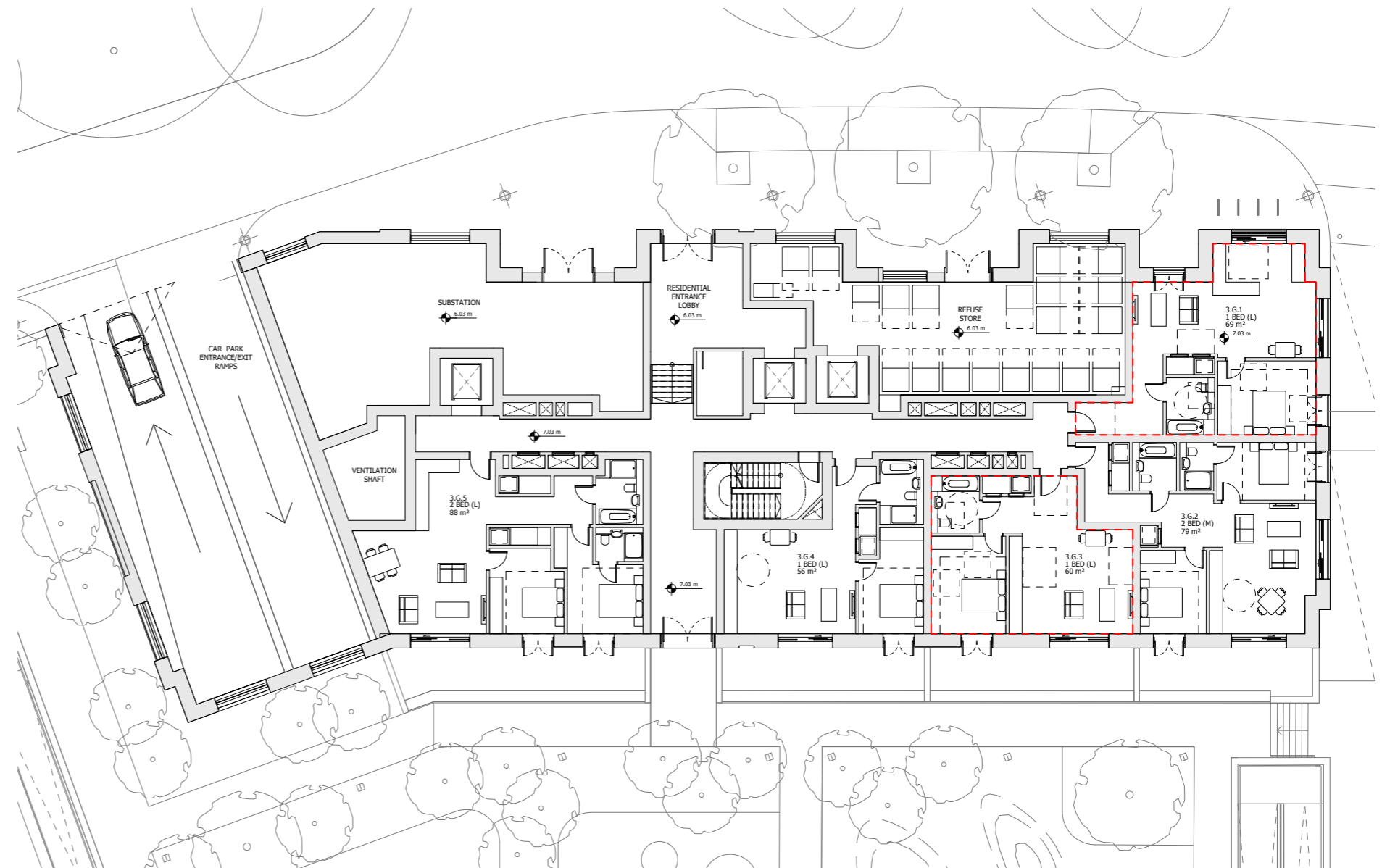
In the first instance refuse must be collected from an accessible vehicle route within a maximum distance from the rear of the refuse vehicle. Refuse from the cluster of buildings 2 and 3 are proposed to be collected from a combined refuse collection store at the ground floor level of B3. This arrangement has been made to enable ease of access to the refuse vehicle, which will collect from Ship Lane. The ground floor of B2 was dismissed as a suitable location since the refuse store would likely occupy the majority of the frontage of the primary thoroughfare of the new 'high street'.

Three of the five sets of grilles are to the refuse collection store. The other grilles on the west facade of the ground floor of B3 are to the substation that serves the western portion of development area 1. This location has been chosen to provide ease of access to maintenance vehicles and personnel in accordance with statutory requirements.

In order to improve the visual appearance of these grilles we would suggest that the design of the metalwork is conditioned and samples and drawings are submitted for approval at a later date.

3. North facing windows only 10m to south elevation of Building 4 - unacceptable living conditions.

Please see section dedicated to 'Proximity of Buildings'.



Block 3 - proposed ground floor plan



Block 3 - proposed west elevation

**Block 4 - The Maltings**

1. Provide further justification for double height windows. Provide section through building demonstrating why these are necessary - west to east; and north and south through each flat. (It is evident some flats do not have these, so failing to see justification for such).

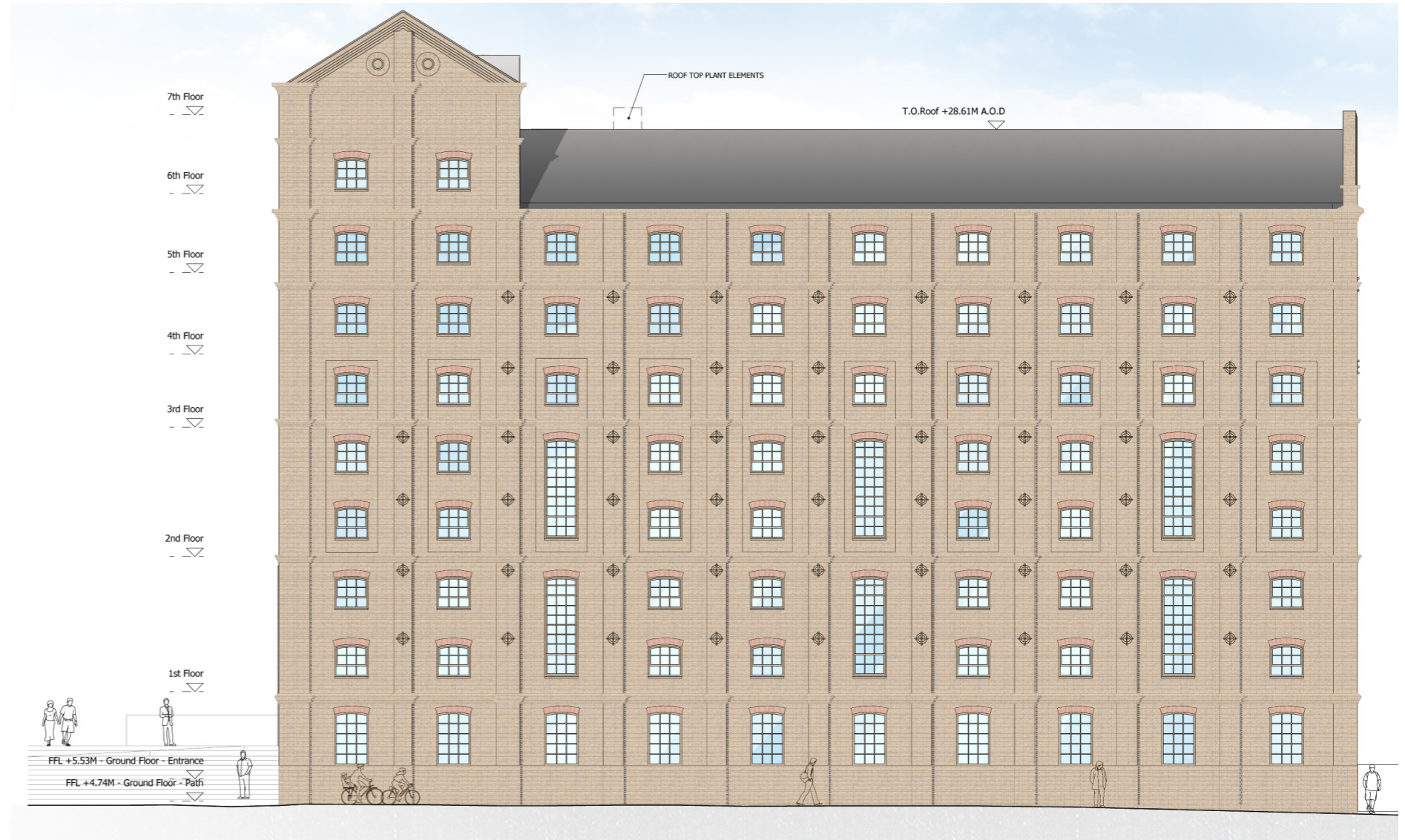
Section drawings have been provided to relationship of double height windows to internal apartments and or/ duplex units.

2. The double height windows to the 1st/ 2nd and 3rd/4th floors in the western element which is crowned with the gable gives a slightly lopsided effect to the fenestration pattern. There should be symmetry of the existing elevation. (Omit).

Placement of double height windows has been re-considered to provide a less disruptive impact on the existing elevation.

3. Remove Juliette balconies to the double height windows.

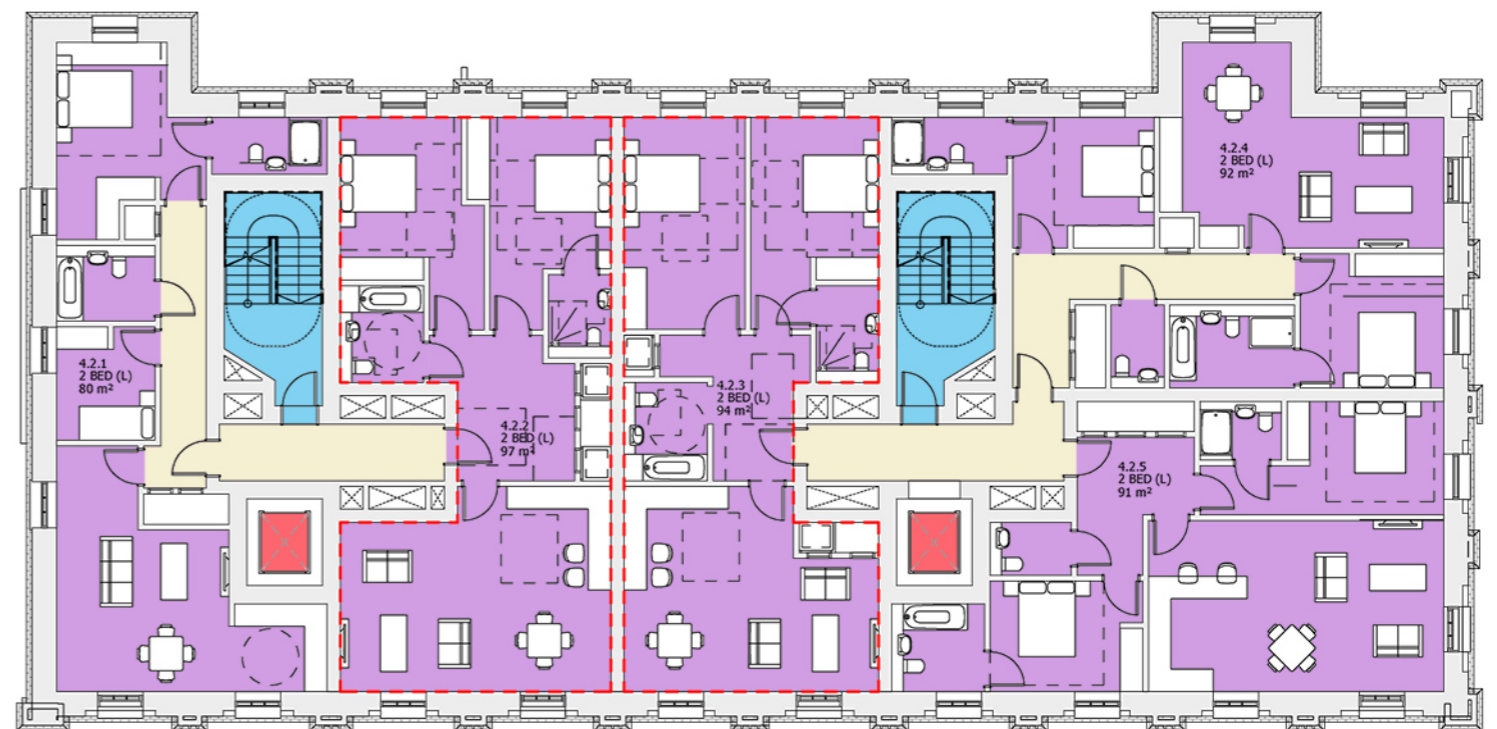
The double height windows have been re-designed and balustrades to 'juliette balconies' have been omitted. It is also proposed that existing columns will be re-located within the ground floor entrance area to the community use space. The ground floor plan has been revised to show indicative locations.



Block 4 (Maltings) - revised north elevation



Block 4 (Maltings) - proposed section



Block 4 (Maltings) - proposed second floor plan



Photograph of existing Maltings building

## Block 5 - The Bottling Plant

1. Substantial demolition given it only retains façade. Much of the interesting vaulted and columned interior is intact. This is one of the most notable and historic features remaining on the site. Lack of justification for demolition – has structural unsuitability for its conversion been considered. Even though only a BTM and with no control over the existing interior, depending on justification for substantial demolition of the BTM referred to above, more should be done to mitigate this harm in design terms by at least incorporating new vaulting and at least some of the existing cast iron columns into the new hotel design.

The existing bottling building consists of a brick façade with a cast iron frame (columns and beams) supporting brick vaults. The existing floor to floor height is limited to 3.25mm. The combination of the limited floor to soffit height and the nature of the existing construction mean that converting the existing building structure for alternative modern uses is very difficult. Strengthening of structure, mechanical ventilation and heating would be required for any new use within the building. These modern interventions would all decrease available head height and disrupt or conceal from view existing features of the building. Acoustic and fire protection requirements would also need to be considered and would most likely result in the features being almost entirely concealed from view.

The proposal includes deepening of the existing footprints (to gain Gross Internal Area) and as a consequence, the demolition of the north and east elevations is required.

It is worth noting that the cast iron columns are within the bottling plant building only. This building is proposed to be converted to office, gym and flexible use as opposed to hotel use.

As a result of all of these factors our conclusion is that a disproportionate (and costly) level of structural works would be required to retain the internal heritage features.

We do however propose to re-locate the existing columns within the proposed office spaces. Floor plans have been updated to show indicative locations for the existing columns .



Existing photograph of columned interior



Existing photograph of vaulted structure to bottling building



Existing photograph of vaulted structure to bottling building

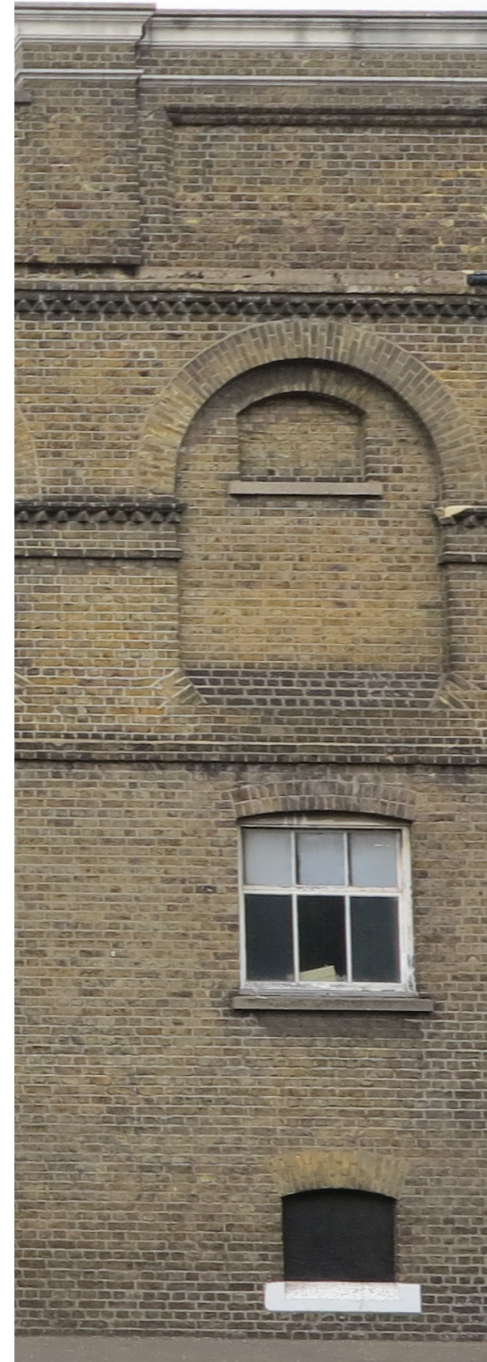
2. Front/ south elevation: Was the fenestration inserted on the High Street elevation based on historical information? It is not clear as to whether fenestration designs are copies of originals; this needs confirmation. Provide details of fenestration choice.

The fenestration designs for the proposed altered south elevation are copies of the existing timber casement windows. It is proposed that all new windows will be double glazed timber casement windows.

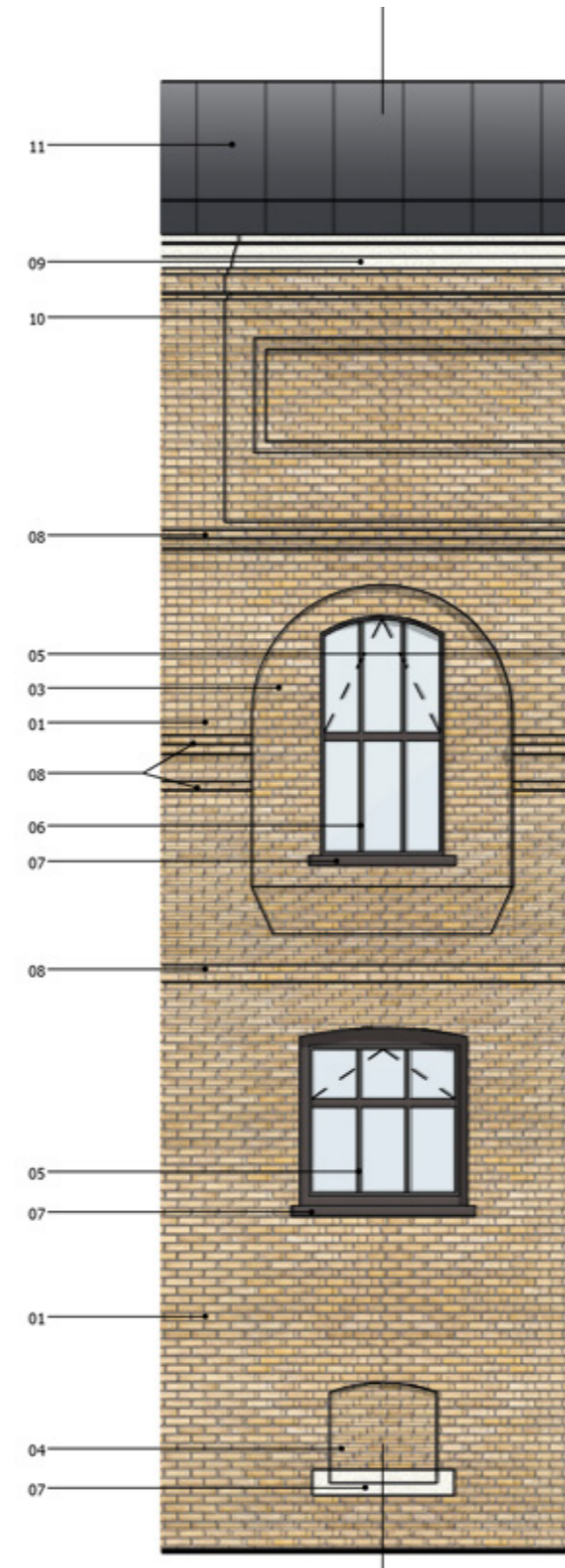
The fenestration in the new areas of façade to the north (facing the new 'High Street/ Thames Street') and east are proposed as contemporary interpretations (as opposed to direct copies) of the existing arched window openings on the retained south elevation.

The diameter of the existing arched openings has been utilised to form the outermost opening of the new second floor level window reveals. That shape has been offset in stepping brick reveals.

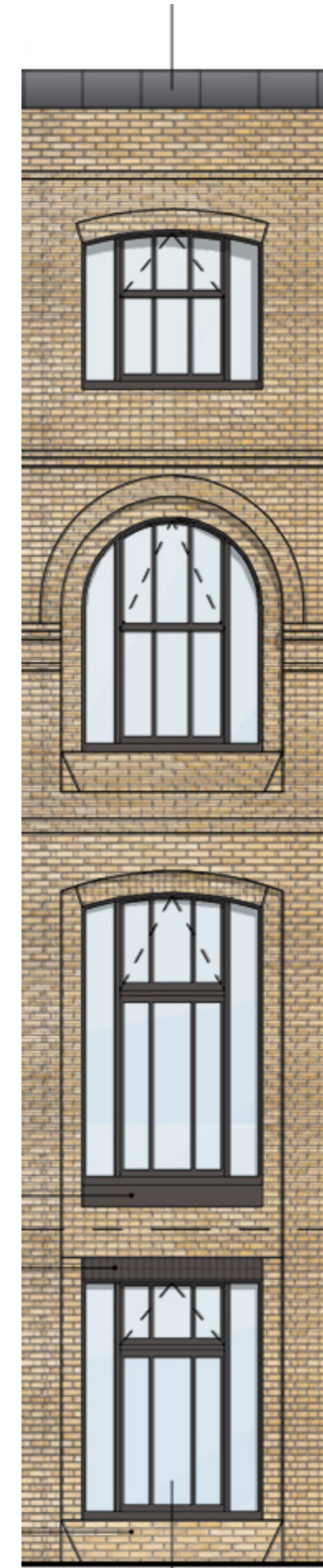
A hierarchy is also proposed to these window openings, with the re-interpreted arch positioned at second floor level (same level as on the retained façade) and a paired set of windows with a stepped flattened arch reveal below and a squatter flattened arch window at the top of the building.



Existing photograph of openings facing the High Street



Submitted proposed alterations to existing south elevation



Submitted proposed openings to north elevation

**Block 5 - The Bottling Plant**

- The significance of the south façade is the orchestration of the recessed bays with the gauged arches to windows set within the gauged arches to the bays. This detail is not shown on the application drawings. The two timber access doors to what would have been a hoist have been infilled with brick on the proposed plan, which is the same treatment as the one to the east, albeit already carried out. The drawing of the one to the east lacks the lintel above what was the pair of timber doors in the drawing, although it is still present on the building. There is a case for infilling the opening with timber to give a historic interpretation of the function, albeit to insert windows. If the scheme is retaining the existing south façade as it is apart from the inserted windows (which it should) then there is less than significant harm to the main public elevation, but the drawing should show the details of the gauged arches as there is a suggestion the south façade is being replaced. South elevation: correct drawings to show retention of lintels and brick detailing. Amend to reflect comments.

The submitted drawings do not propose the demolition of the south elevation of the bottling plant. Furthermore, the brickwork detailing to the heads of existing openings is proposed to be retained as existing.

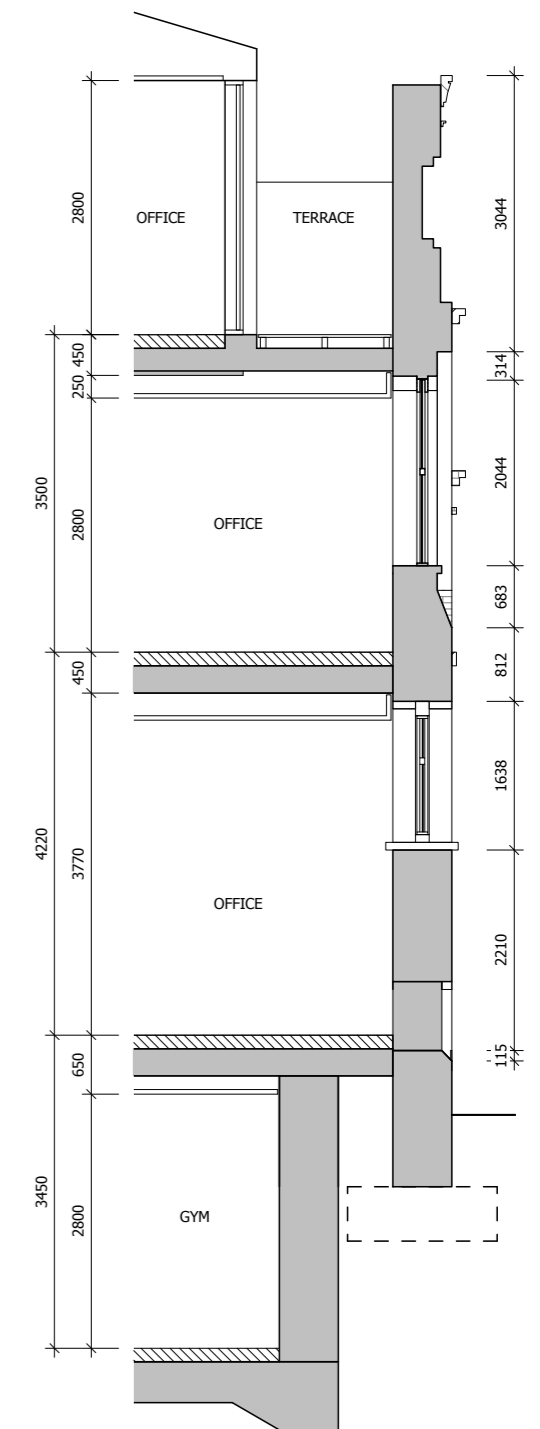
The proposed fenestration to the existing (and altered) window openings has been based on the design of the existing fenestration at first floor level of the building. These windows incorporate two mullions (three panes of glass) and one transom each. Likewise, the design of windows at second floor level (which are less squat in terms of proportion) are new interpretations of the existing windows. It is proposed that the new first floor windows will be double glazed timber casement windows and that the second floor windows will be polyester powder coated metal. Drawings have been adjusted to show a timber infill instead of brick infill to the former hoist door.

The existing openings at ground floor level are semi-basement level windows. The proposal for the conversion of this building intends to provide level access to the new 'Bottleworks Square' on the opposite side of the building. The levels that have been established to achieve this relationship unfortunately mean that retention of these windows is not possible. These openings (which are currently boarded up and serving a semi-basement level) are proposed to be bricked up.

For clarity, drawings have been revised to show the fine detailing of the existing brickwork. We would also be happy to revise the drawings to infill the former hoist door openings



Revised bay study elevation of bottling building facade - to be re-submitted



4. The roof behind the remainder of the south façade – a metal clad roof as shown is not appropriate. Amend to reflect comments.

We disagree that the (set back) metal roof to the proposed new office accommodation is inappropriate. This portion of the roof will be separated from the roof of the hotel by a brick gable/flank wall and therefore should not be considered part of the same roof element. Historically, the two roofs were built to different pitches and forms at different times (the former hotel in the late 19th century and the bottling building in 1869).

The massing of this roof element has been carefully designed so that it will be concealed from view from the streetscape. In order to achieve this, a shallow roof pitch is proposed (this 18 degree pitch is difficult to achieve in slate). The contemporary zinc cladding that is proposed offers the opportunity for continuity of both façade and roof materials – we believe this is a more resolved and comprehensive approach to the design of this modern intervention.

It is for these reasons that we believe the more contemporary appearance of the shallow pitched metal roof will not be detrimental to the streetscape.



Illustrative perspective view demonstrating impact of set back massing on streetscape



Proposed section through new roof to bottling building - demonstrating sight lines from streetscape

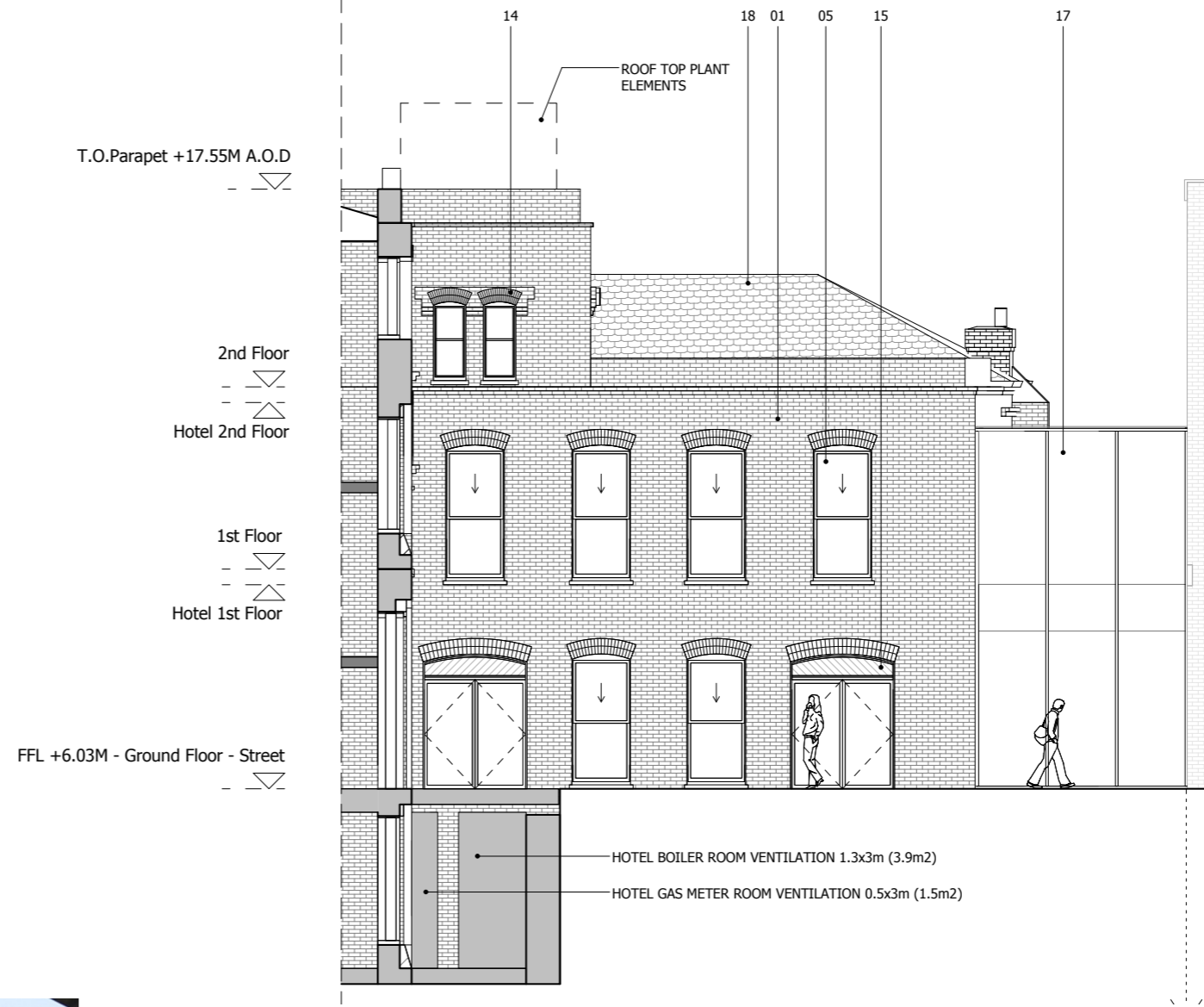
**Block 6 - Hotel**

1. North façade of hotel – This building is a BTM in a prominent position. Facades are clearly visible from the public realm and the building forms an important part of the character of this part of the conservation area. The loss of all but the west/south façade represents substantial demolition and harm to BTM with lack of justification. Provide justification for substantial demolition. Must retain front and side facades, the roofline and chimney stacks.

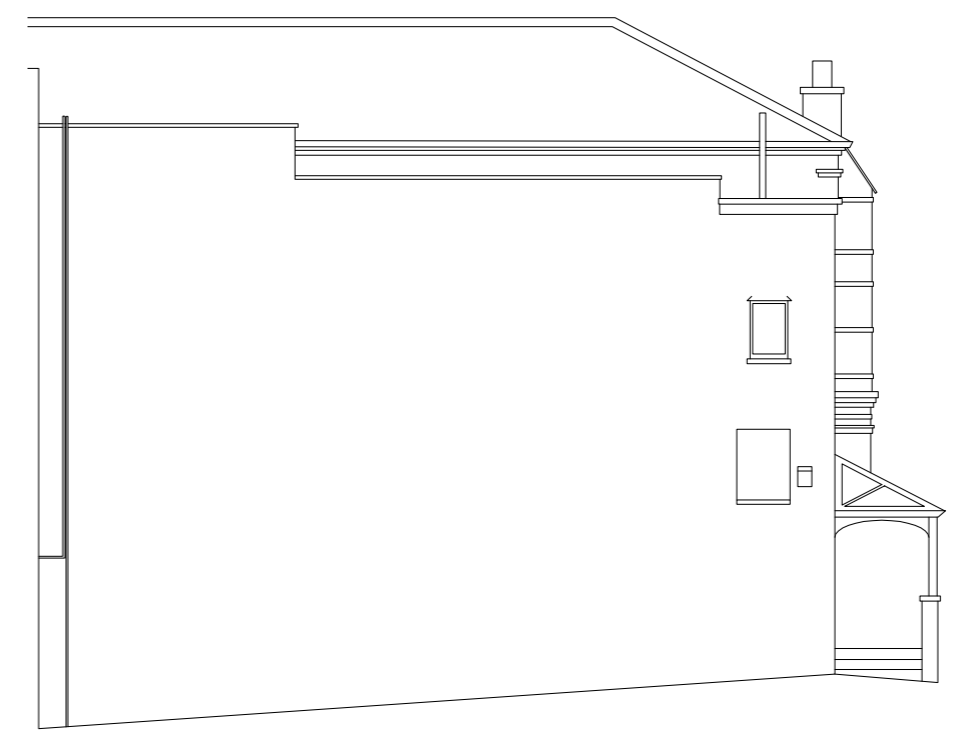
We disagree that the North façade should be retained as opposed to demolished. The existing North façade meets an existing ground level which sits 810mm lower than the proposed new 'Bottleworks Square'. This new level is required due to flood level constraints (the level has been established in order to provide accessible routes that mediate between the existing streetscape and highest levels of flood defence). It is also proposed that a new (deepened) basement level is provided beneath the existing hotel. The combination of these factors make it an unviable solution to retain the north façade as part of the proposal for the hotel.



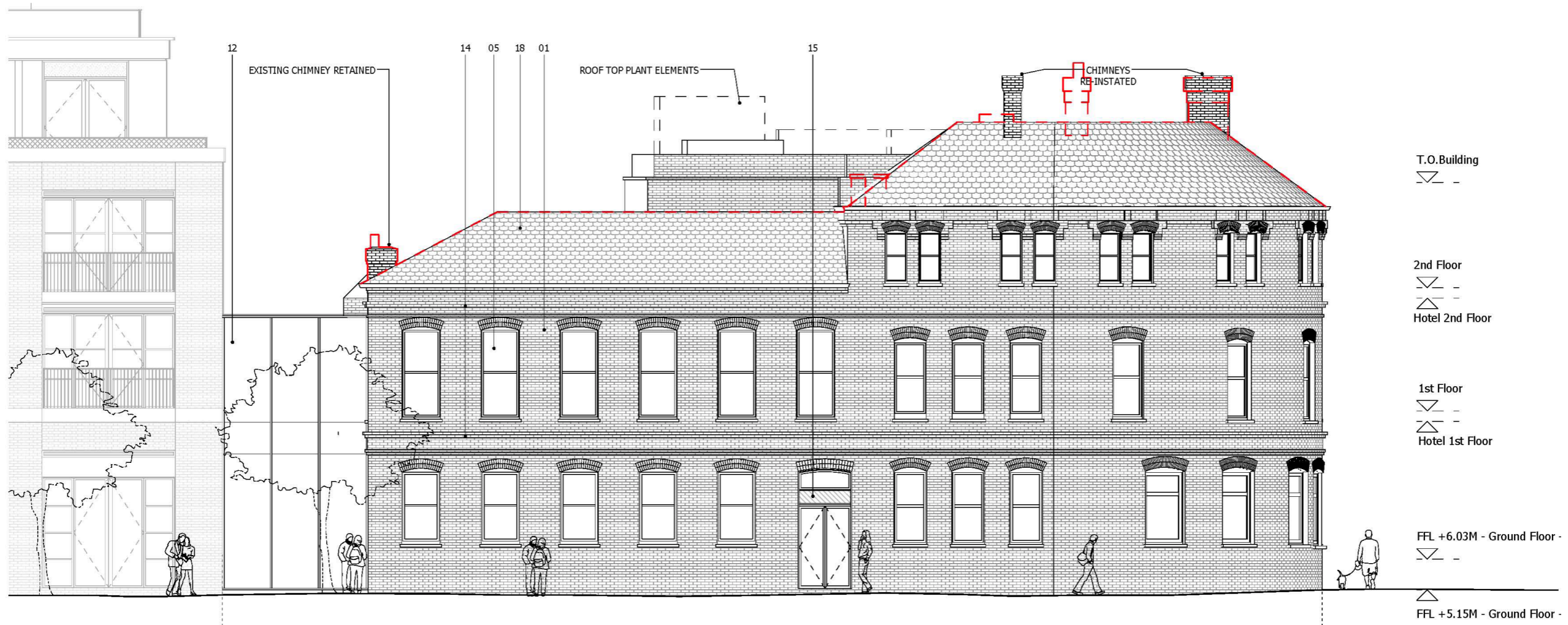
Existing east elevation of former hotel building



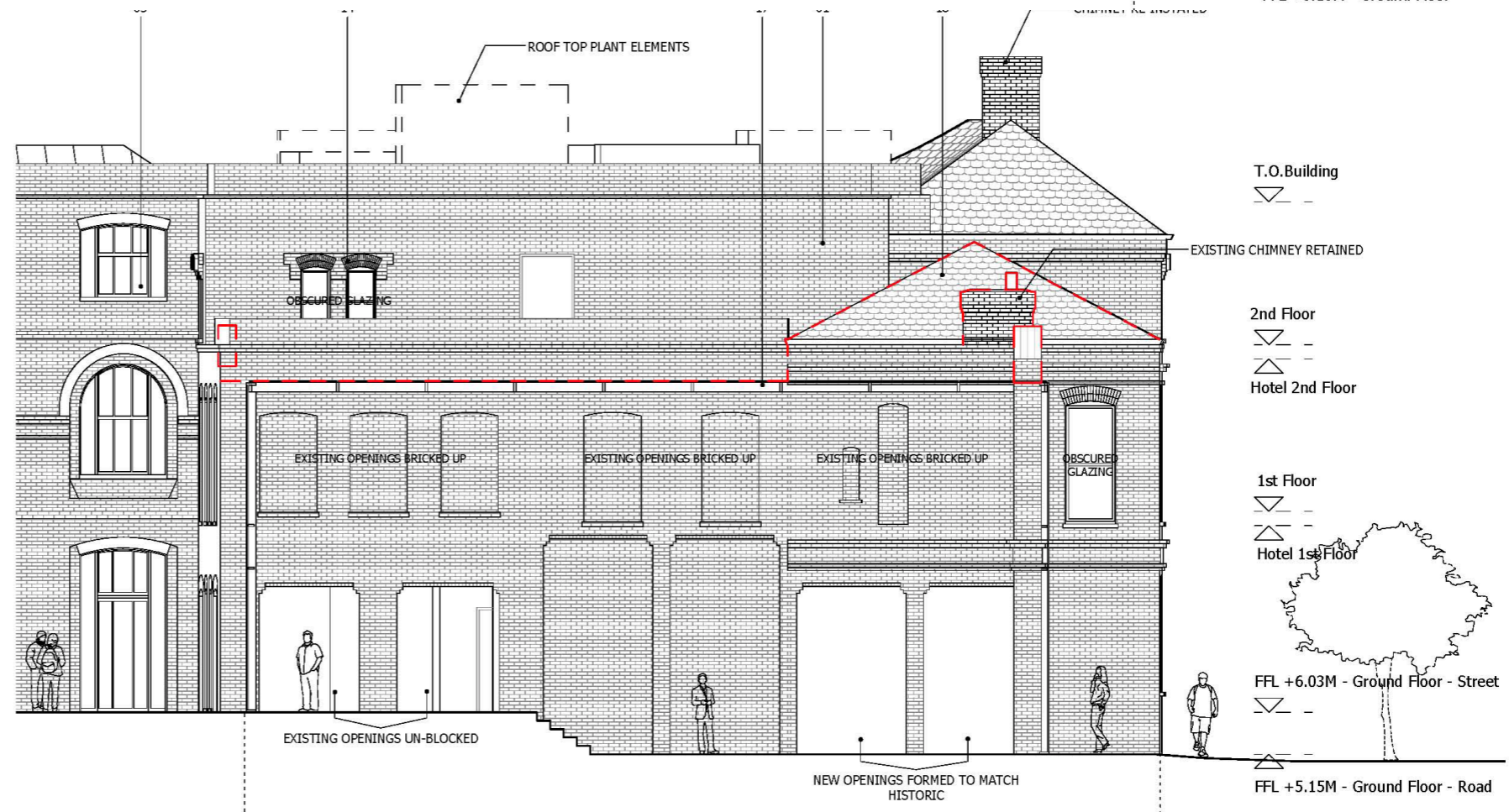
Revised east elevation of Hotel



Existing east elevation of former hotel building



Revised west elevation of Hotel



Revised north elevation of Hotel

2. Access to Bottling Square seems rather torturous. How does access to square work?

We would remind you that the green link had originally been proposed to begin at the corner of Lower Richmond Road (to the north west of the hotel). While this proposal stemmed from the Planning Brief diagram, it became apparent that a series of traffic constraints and safety issues make it unfeasible to provide a route in this location. It is these safety issues that have guided the proposal to deliberately prevent pedestrians from cutting across this potentially dangerous chicane in the existing road.

The Bottling Square is instead conceived as a public space that is accessible off the main new 'High Street' route. This widened public space serves to add variety to the streetscape and provide the potential for events to be held in the space.

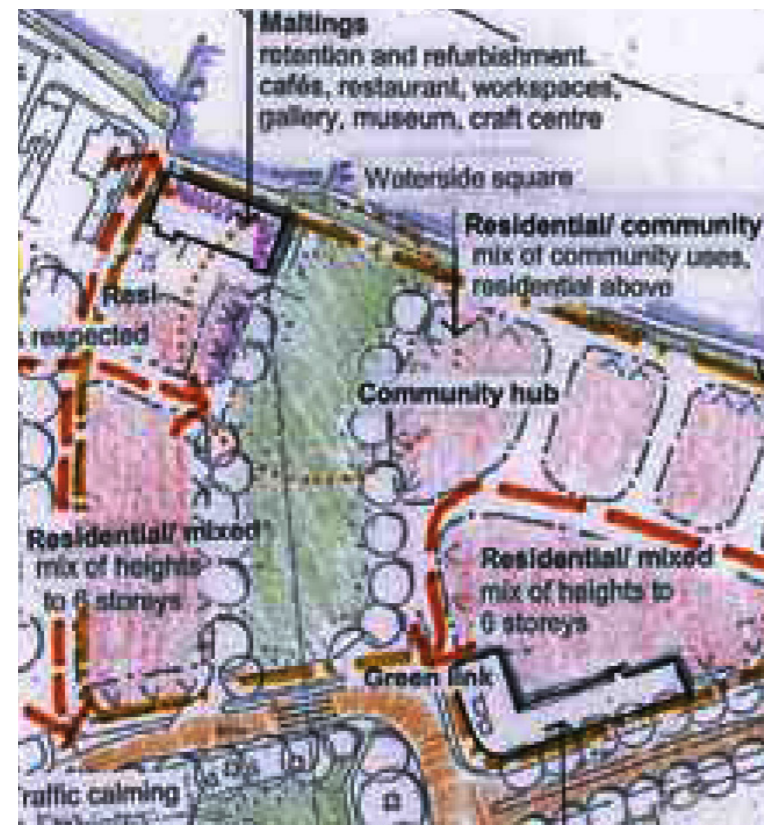
It is not unusual to come across an 'unexpected' public space within a townscape - a space that is not immediately apparent within the townscape on approach from the periphery of the area. Many British and European cities benefit from strong urban spaces such as these and notable example is St Christopher's Square in Central London.



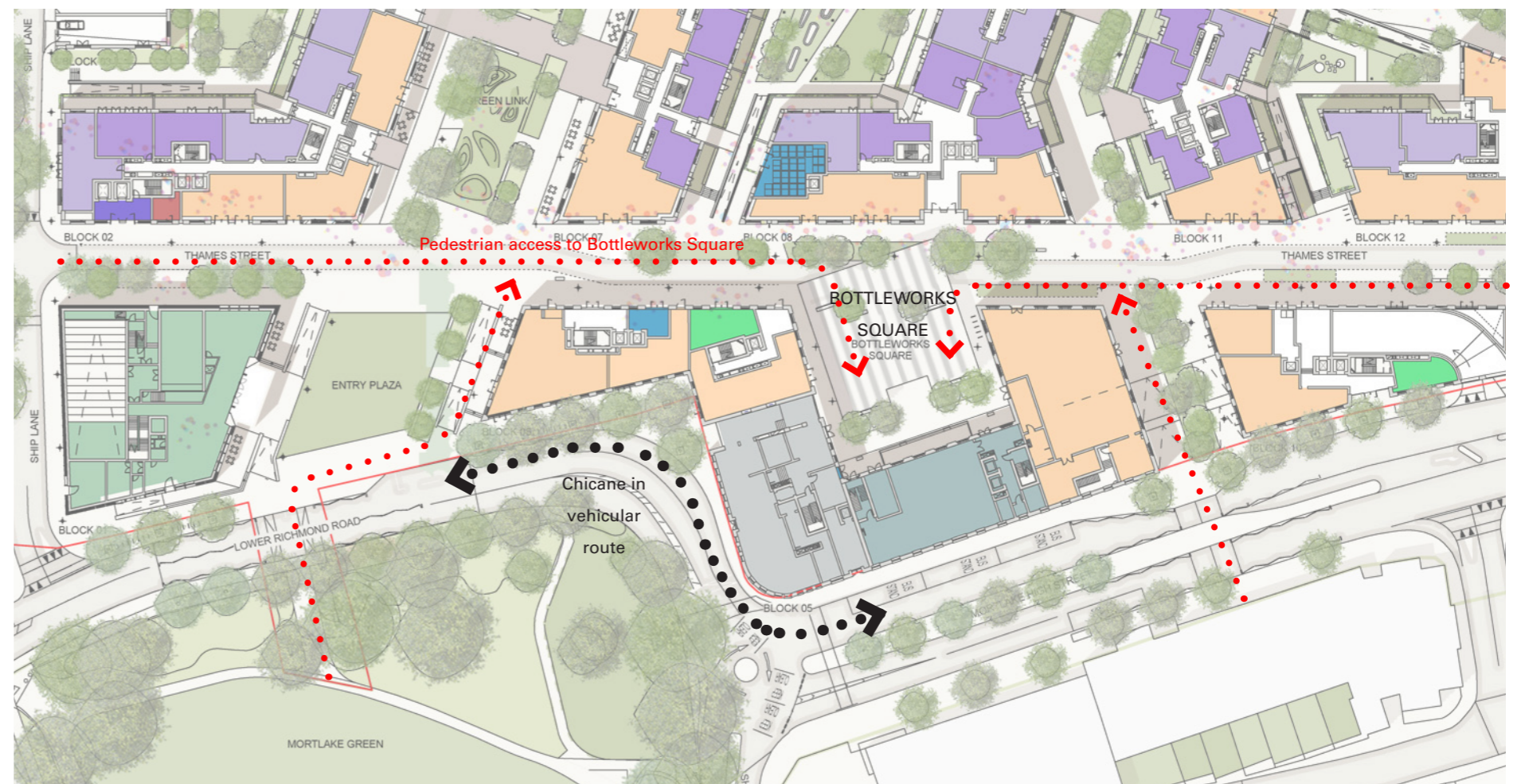
St Christopher's Place



St Christopher's Square



Planning brief proposal for alternative green link location



Proposed plan showing pedestrian access to Bottleworks Square



Submitted visualisation of Bottleworks Square

- BTM should stand independently; side elevation of this BTM should also be retained. Provide visualisations of glazing between Block 5 and 6 to justify addition.

The hotel building has been deliberately joined to the proposed adjacent residential building (B6) to prevent pedestrians jay walking across the potentially dangerous chicane in the road. The buildings are joined by a two storey high glazed link element that is subservient in appearance to the brick buildings it joins. This glazed link is proposed to serve as a double height restaurant/bar space that is part of the hotel. The detailing of the glazed façade will be minimal (with silicone joints as opposed to cover caps) and the brick facades of both adjoining buildings will be exposed internally within the restaurant/bar space. The existing north façade of the hotel building is proposed to be retained and adapted to suit the requirements of the new hotel function.

- The chimneys are an important visual element of the hotel roofscape and should be retained for the corner landmark hotel. They are shown in the D+A statement vol2 as retained (p56), but shown removed in the planning application drawings – eg in D+A Statement vol5 – there are also some differences of fenestration. Removal of slate roof and chimneys are unacceptable. This would be damaging to the character of the BTM, architectural integrity and historic interest. The chimneys are an important part of the overall composition of the hotel roofline. The Heritage statement does not cover this issue. Retain chimneys and clarify differences in fenestration. The heritage statement does not cover this issue.

Drawings have been revised to show re-instatement of chimneys (in slightly different positions that co-ordinate with the structure of the building below). It is not possible to retain the existing chimneys because the existing basement is proposed to be deepened.

- Confusion over the roof materials of the hotel. Metal roof is shown on the application drawings, which is completely unacceptable, damaging to the character of the BTM, architectural integrity and historic interest – the hotel roof is in a pivotal position. However, the D+A S Vol 2 says ‘... slate roof to be reinstated’. Slate roof should be proposed/ reinstated.

The drawings have been revised to show the replacement roof material as slate.



Revised east elevation of hotel

6. Details of fenestration should be provided in particular for the BTMs, to include sections to show double glazing.

We would expect that this is included within the conditions.

7. Lack of permeability through to Bottleworks Square.

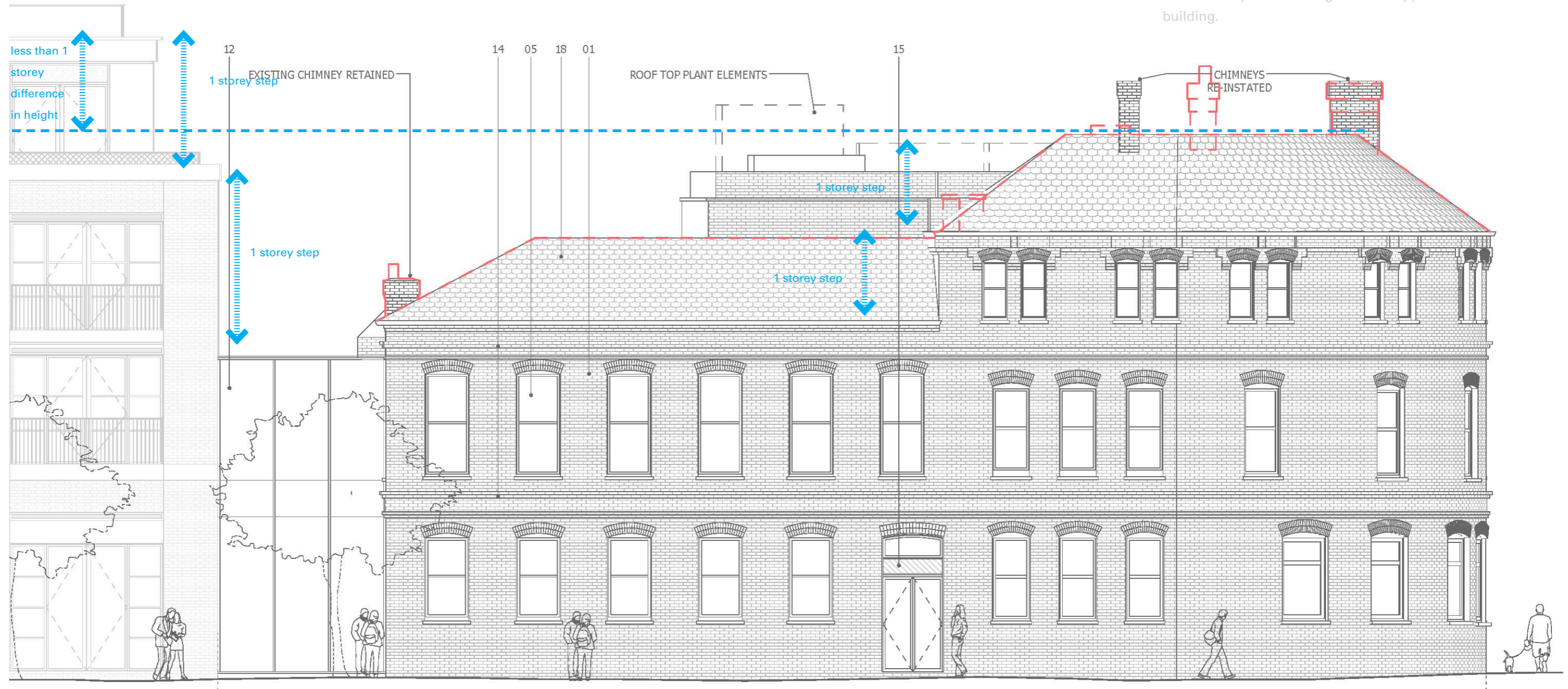
Please refer to item 2.

8. Chimneys must remain.

Please refer to item 4.

9. Uncomfortable 'proportion' relationship between building 6 and hotel. It is recommended the proportions reflect that of the hotel.

The existing hotel building is two/ three storeys high. The northernmost part of the building adjacent to Building 6 is two storeys and the three storey element steps up at the corner junction with Mortlake High Street. Building 6 is proposed as being three storeys high with an additional set back level. We do not believe that the resultant steps in building height are unacceptable since they are in single storey increments. Furthermore, we disagree that the stepped profile of Building 6 is visually overbearing on the appearance of the hotel building.



Revised west elevation of hotel

10. Remove glazed balustrade at roof level.

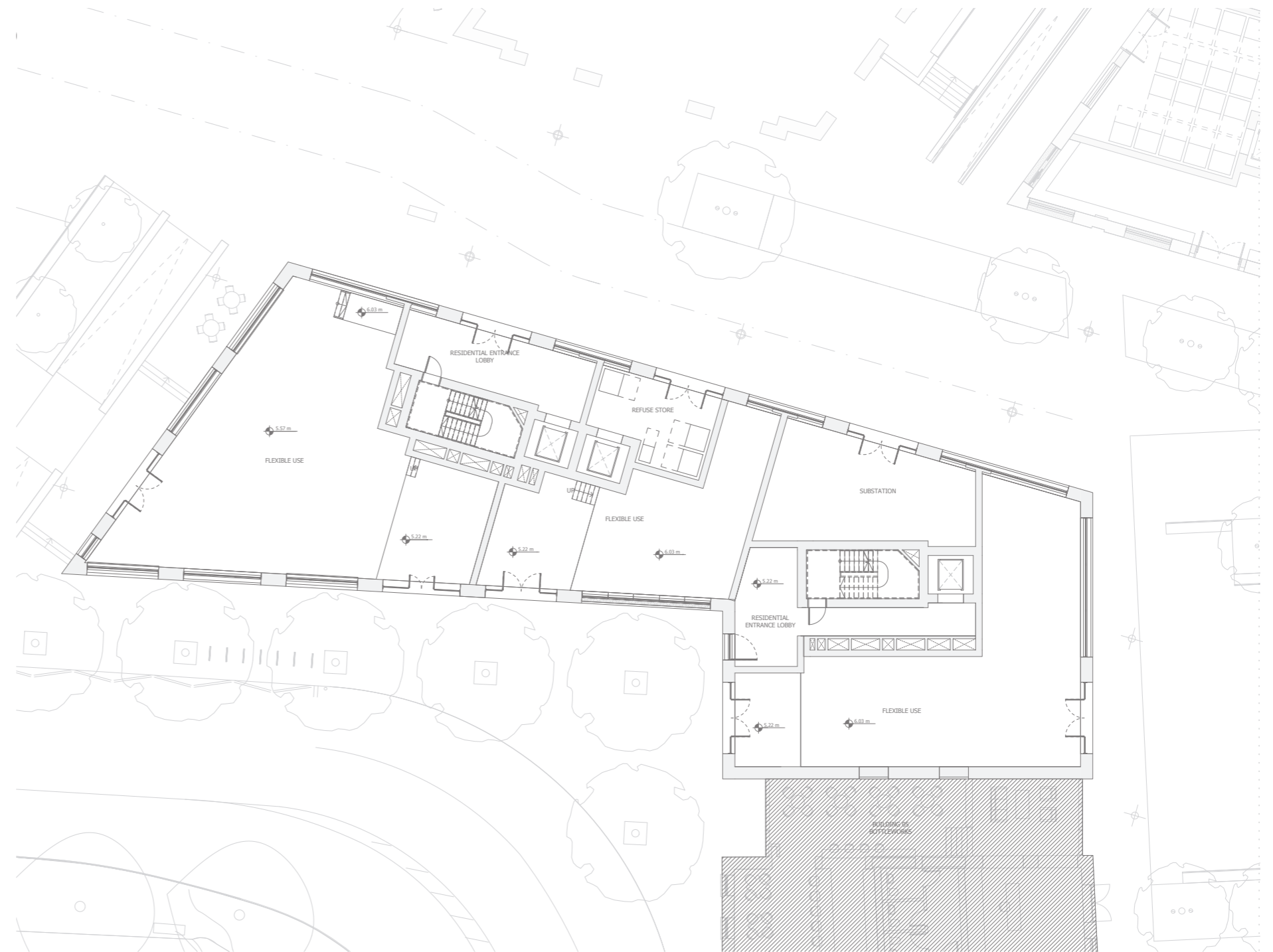
The roof level balustrade was proposed as a means of edge protection (from risk of falls) to any maintenance personnel when accessing roof top plant. We would not recommend removing this balustrade since this would pose a health and safety risk.

11. South elevation – poor relationship with street frontage in response to being higher. It has no active frontage/ access. Reconsider.

The proposed south elevation of Building 6 is three plus one set back storeys high (consistent with the height that wraps around the corner to meet the hotel building). The heights of this building are proposed to align with those of the cinema building, which sits on the opposite side of the entrance to the 'Green Link'.

The ground floor level of this building has been set at a level to provide level access from the middle of the frontage facing the green link. As a consequence, the level sits approximately 600mm above the pavement on the south elevation. Flexible use space is proposed along the entire frontage of the ground floor level that faces on to Lower Richmond Road. This area of façade is largely glazed and is only interrupted by vertical brick piers that come down to meet ground level. It therefore offers significant expanse of active frontage.

We do however recognise that the continuation of all brick piers down to ground level is limiting the width of available flexible use frontage. We therefore proposed that selected intermediate piers are omitted at ground floor level in order to increase the amount of glazing.



Revised ground floor plan of Building 6



Revised north elevation of Building 6

12. North elevation – poor relationship with Thames Street – entrance, refuse, substation – lack of frontage.

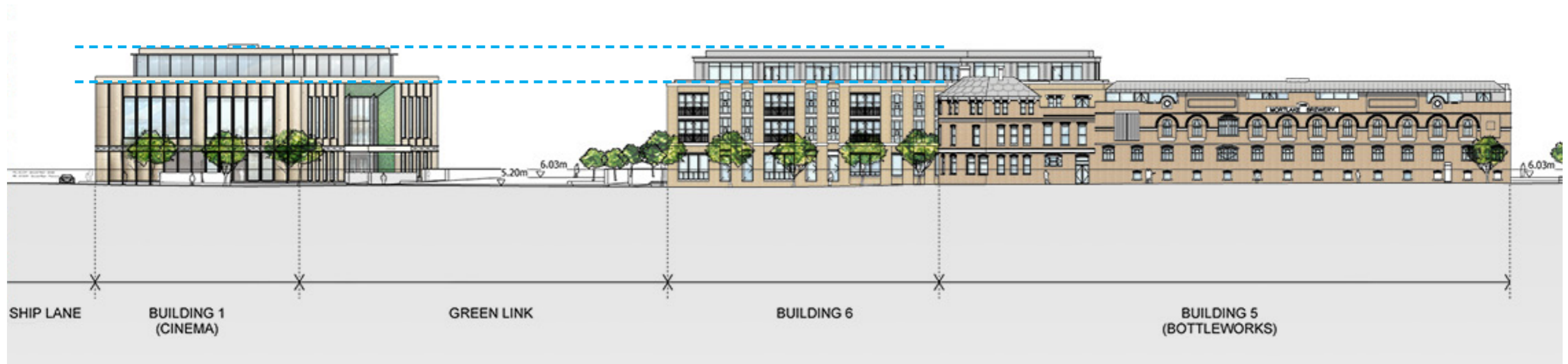
The phasing of Development Area 1 necessitates a series of sub-stations strategically distributed across the site. One of these sub-stations is proposed at the base of Building 6. Unfortunately, the statutory and technical requirements mean the space must be ventilated, therefore grilles are proposed to this secure enclosure. The metalwork grilles to these sub-stations could be fabricated to bespoke designs and could be conditioned.

The quantum of residential units also necessitates that minimum refuse storage (and collection) standard are met. The size of this refuse store has been sized according to the relevant standards and must be within a maximum distance of the refuse vehicle route (along the new High Street). It is also worth noting that refuse vehicles must also be able to navigate the route in a forward motion.

These constraints have resulted in the North elevation being largely occupied by utilitarian spaces. However, we have endeavoured to intersperse flexible use and residential entrances between the more utilitarian elements and the entrance lobby to the eastern core has been re-configured to increase flexible use frontage facing Bottleworks Square.



Building 6 - revised south elevation



Proposed site elevation (along Lower Richmond Road and Mortlake High Street)

13. Block 6 and Block 5: only 4m gap between flat and wall. Unacceptable.

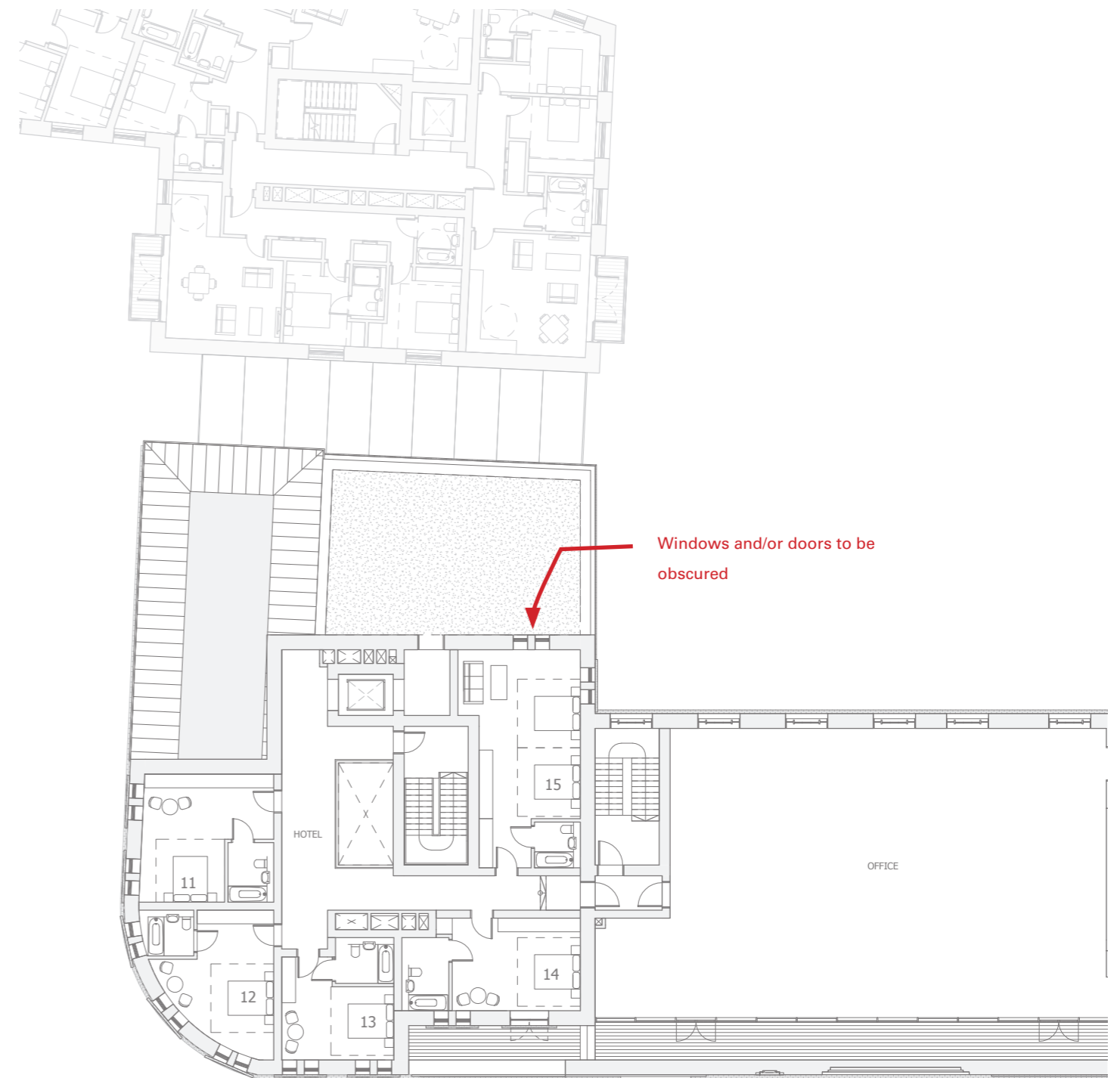
The 4 metre gap between the buildings is sufficient to clearly separate and distinguish the massing of Building 6 from the hotel building. The only windows that overlook from Building 5 towards Building 6 are to the set back elevation at second floor level of the hotel – we will be amending the elevation to either omit or obscure the hotel windows that face Building 6.

14. Block 6 with 7 and 8: only 16m gap. Unacceptable living conditions.

Please see section dedicated to 'Proximity of Buildings'.



Revised south elevation of building 6



Proposed second floor plan of Buildings 5 and 6

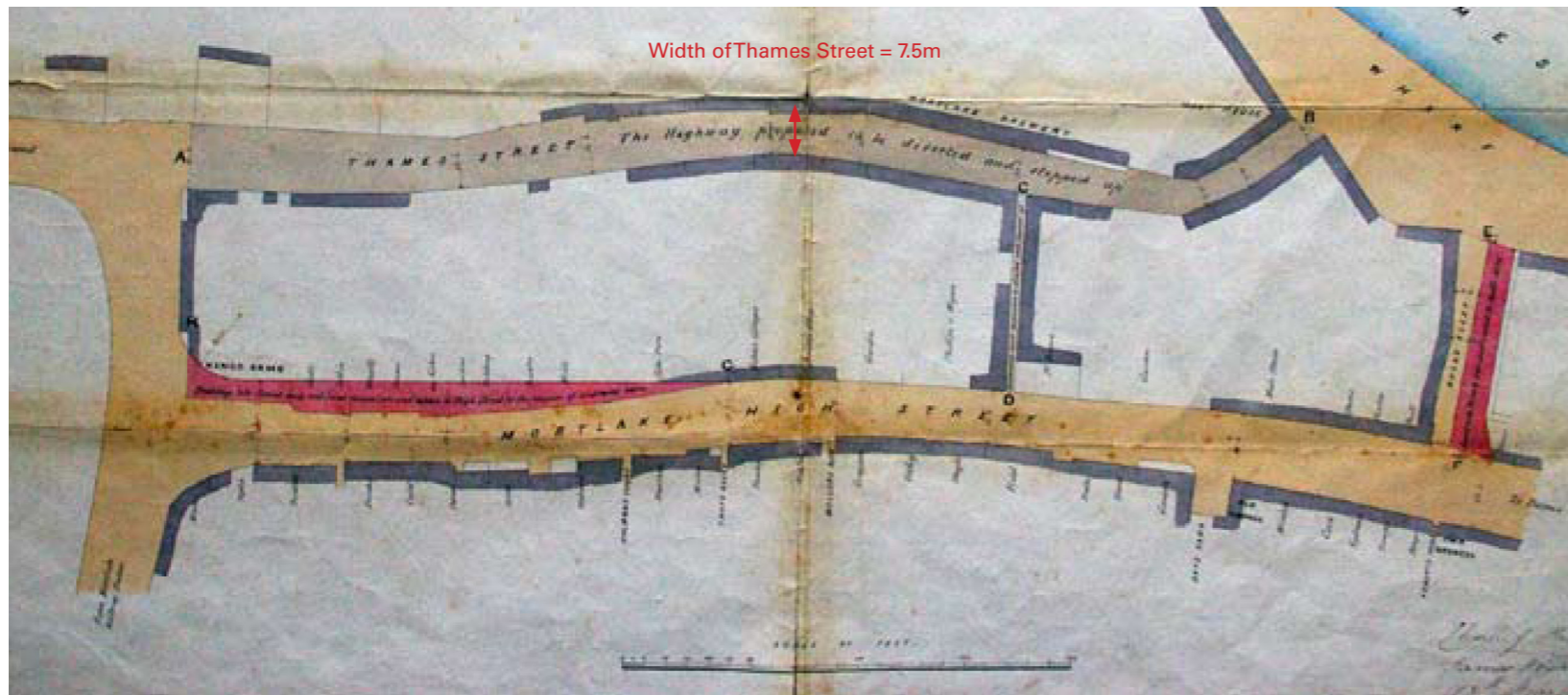
## Proximity of buildings - street hierarchy

A hierarchy of streets and routes through this major new mixed use masterplan was established very early on in the design process.

In accordance with the Planning Brief for this strategic site, the 'Green Link' has been a primary focus in terms of public realm and as a means of connecting Mortlake to the Thames waterfront. This 30-metre-wide pedestrianised route should not be considered a 'street'. Instead it should be considered an accessible 'public realm' – providing much needed amenity to local residents in the form of landscape features and a continuous frontage of flexible use space at ground floor level.

The new 'High Street/ Thames Street' is envisioned as another important public thoroughfare, animated by flexible use frontage as well as a range of different architectural typologies. The location of this new street follows the path of a historic riverside route referred to as 'Thames Street' on OS records. It is proposed that this much narrower street (13.5 metres) is a more intense experience more akin to the nature of streetscape found at Shad Thames. This new route will be pedestrianised (with limited controlled access for service and maintenance vehicles) in a similar manner to the historic Shad Thames route that runs parallel with the river Thames. Originally a utilitarian route serving the surrounding riverside warehouse buildings, the Shad Thames route has been re-purposed in recent times as a walkway punctuated by a series of notable restaurants, bars and shops at ground floor level. The narrow width of the street in combination with the dominant height of the buildings creates a unique character that focuses the eye on the ground floor level animation.

Other routes that cross the new High Street are considered secondary routes that provide choice of route towards the waterfront. These streets will be lined with a mixture of residential use and ground floor level flexible use. These streets are proposed as being less formal and as a consequence a narrower width of 15m was established for these routes.



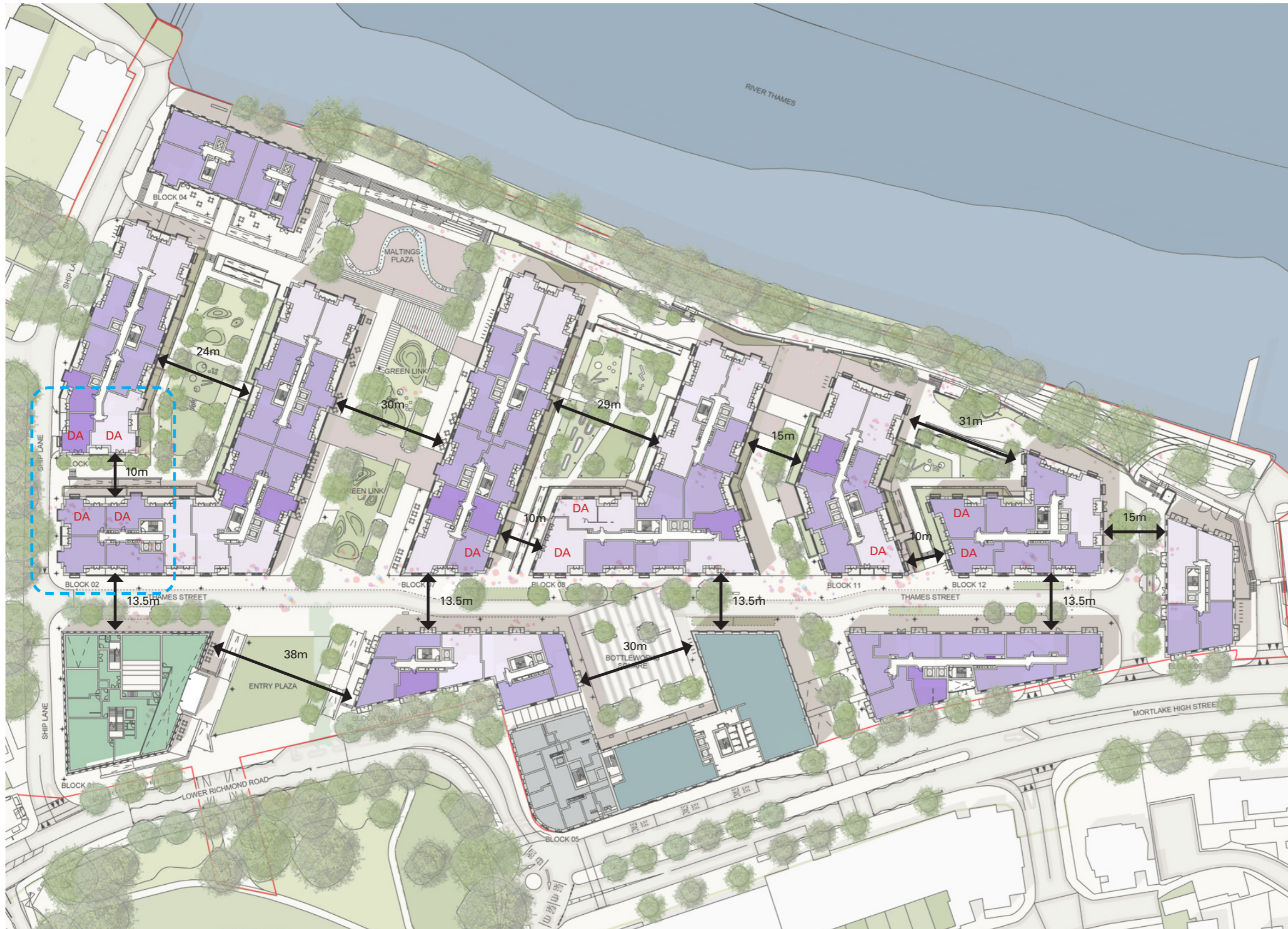
1865 plan showing former route of 'Thames Street'



Revised visualisation of Thames Street



Revised visualisation of new 'Green Link'



Proposed typical floor plan of Development Area 1 - showing separation distances (DA denotes dual aspect apartments)

## Proximity of buildings - policy

To more clearly justify the setting out of these streets, it is worth referring to local planning policy as well as GLA guidance and other focused studies.

Policy 4.8.8 of the adopted Local Plan:

**‘Whilst there will be some impact from any new development, the test is one of harm in relation to the impact on habitable rooms, which includes all separate living rooms and bedrooms, plus kitchens with a floor area of 13sqm or more. The minimum distance guideline of 20 metres between habitable rooms within residential development is for privacy reasons; a greater distance may be required for other reasons, or a lesser distance may be acceptable in some circumstances. These numerical guidelines should be assessed on a case by case basis, since privacy is only one of many factors in site layout design; where the established pattern of development in the area (layout and height) may favour lesser distances. The distance of 20 metres is generally accepted as the distance that will not result in unreasonable overlooking. Where principal windows face a wall that contains no windows or those that are occluded (e.g. bathrooms), separation distances can be reduced to 13.5 metres. Where the impact of a building is on another within the same development site, measures can also be applied to minimise overlooking, such as splays, angles of buildings, obscured glazing etc. A Supporting Planning Statement should set out justification for a reduction in these distances.’**

Policy 3.2.5 of Supplementary Planning Document ‘Residential Development Standards’:

**‘Generally rooms needing less privacy such as kitchens and living rooms can face the street. Frosted windows can be used for bathrooms and smaller windows for bedrooms. Landscape planting can also help screen ground level rooms.’**

Section 5.1 of the London Housing Design Guide (LHDG):

**‘In the past, planning guidance for privacy has been concerned with achieving visual separation between dwellings by setting a minimum distance of 18-21m between facing homes. These are still useful yardsticks for visual privacy, but adhering rigidly to these measures can limit the variety of urban spaces and housing types in the city, and can sometimes unnecessarily restrict density.**

**Instead, designers are required to demonstrate how the design as a whole uses a variety of measures to provide adequate visual and acoustic privacy for every home. Designers should consider the position and aspect of habitable rooms, gardens and balconies, and avoid windows that directly face each other where privacy distances are tight. It will often be beneficial to provide a set-back or buffer where habitable rooms directly face a public thoroughfare, street, lane or access deck.’**

While local planning policy (4.8.8 of the adopted Local Plan) advises that a ‘distance of 20 metres is generally accepted as the distance that will not result in unreasonable overlooking’ it does acknowledge that ‘a lesser distance may be acceptable in some circumstances’. This is most likely because historically, the 20 metre yardstick for visual privacy was loosely based on **‘the distance at which an accidental glimpse of nudity would be blurred enough to protect standards of decency’** as outlined in ‘Recommendations for living at Superdensity’ by Design for Homes.

Policy 3.2.5 of ‘Residential Development Standards’ elaborates on the interior use of overlooking spaces and explains that ‘generally rooms needing less privacy such as kitchens and living rooms can face the street’. GLA policy in the LHDG re-inforces the need for flexibility in consideration of proximity distances and points towards techniques such as providing set backs as a means of mitigating overlooking issues in tighter streetscapes.



Visualisation showing balustrades screening windows along Thames Street



Visualisation showing screening to upper levels by balconies in oblique views

The London Housing Design Guide references a report prepared for Popular Housing Group: Perceptions of Privacy and Density in Housing, by Mulholland Research and Consulting. This report examined a series of case studies where residential dwellings face one another within close vicinity. The report drew attention to a number of advantages as a consequence of closely built relationships, including:

- Social interaction between neighbours
- Feeling more secure
- Discouragement of vandalism and other crime

Interestingly, the mansion precedents that were examined in the study, incorporated tight courtyard spaces. These were not perceived to be problematic in terms of privacy because the rooms facing one another were used for the same purpose - for example kitchens facing kitchens.

Section 2.5.6 of Perceptions of Privacy and Density in Housing:

**'Overlooking less private space**

**The mansion flats in our sample had an internal courtyard within each block which served as a large stairwell to bring extra light into the flats. Windows faced one another across the courtyard but there were no privacy problems. This is because they were, in the main, kitchen windows where privacy was not of primary concern; also the neighbours were on friendly terms and unembarrassed to acknowledge one another.'**

The study explained that privacy problems could be as a result of overlooking from neighbouring properties and/or from people moving through streetscape and/or landscape.

Most of the areas of concern highlighted in the report related to overlooking into ground floor, street facing dwellings. However, an conclusion of the study was that where windows face one another directly, they would benefit from waist height screening (see Section 3.3.2 of the report).

Units within the Stag Brewery proposal will largely benefit from this type of screening since the building typologies have been carefully designed to incorporate balustrades and set backs that serve to screen view into the apartments. A more detailed explanation of this is provided overleaf.

### Proximity of buildings - set backs to mansion typology

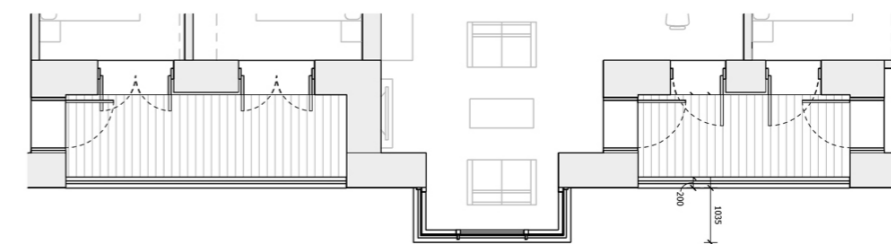
The internal layouts of facing buildings on the narrower streets of the proposed Stag Brewery masterplan, have been carefully configured to avoid overlooking issues. Within the mansion typology buildings, living rooms are generally provided within the projecting bay and gable elements and bedrooms are located on the set back areas of façade (behind projecting balconies). This means that the bedrooms are generally separated by an increased distance and are largely screened from view by the balconies and balustrades. We understand that it is likely that the design of the balustrades will be conditioned and therefore balustrades could be carefully designed in future to provide optimum screening to rooms. There are many examples of historic balustrades that incorporate dense decoration in varied positions and manners across balconies in facades. The intention would be to design contemporary versions of these decorative balustrades.



Perspective visualisation of mansion typology



1 GABLE BAY STUDY - ELEVATION  
1:50



Proposed mansion bay study - bedrooms set back behind balconies and balustrades



Proposed variations to balustrade design



Alexandra Court - exsample of vertical hierarchy within balustrade design



Castelnu Mansions - balustrade design



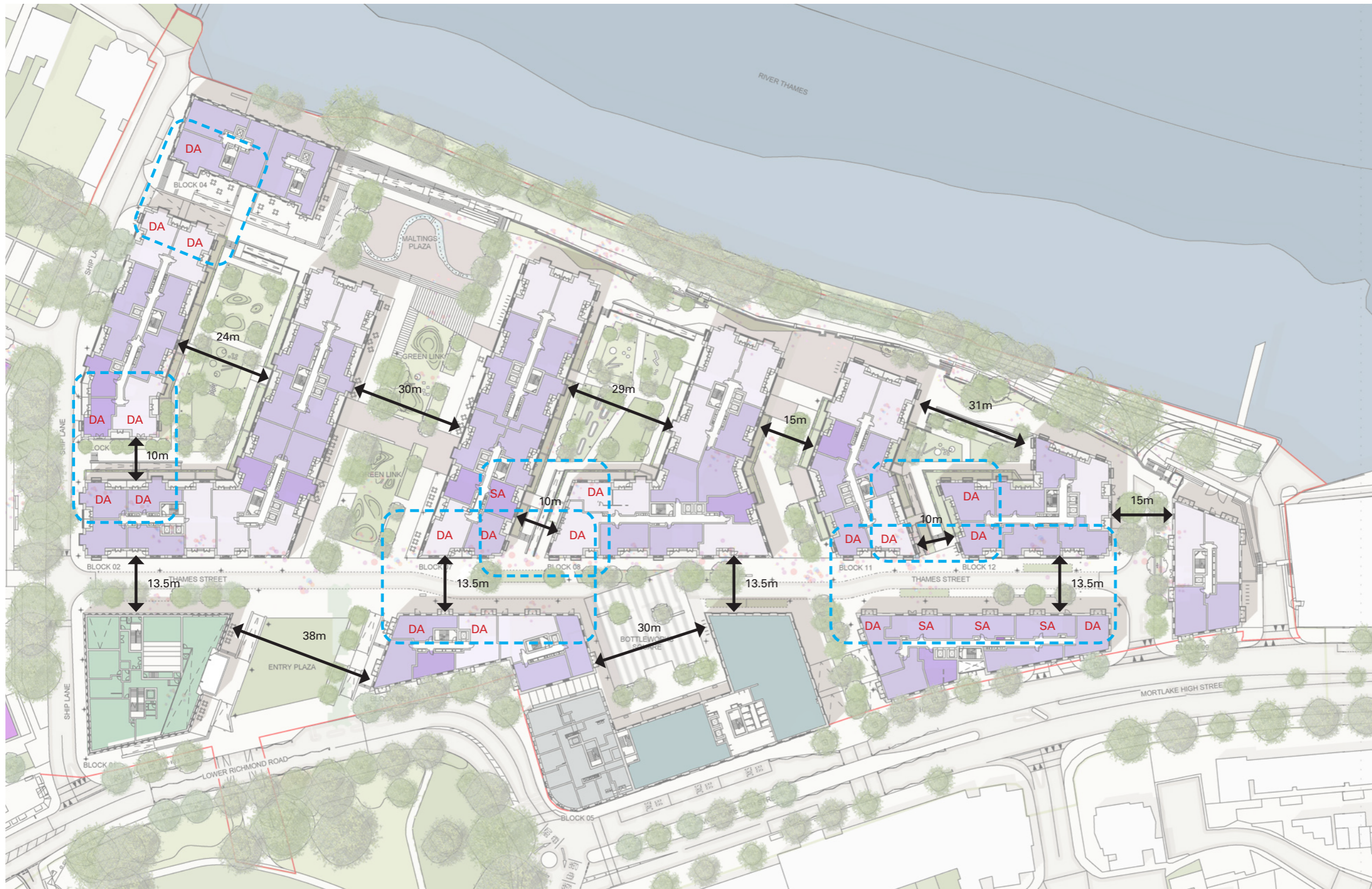
Richmond Bridge Mansions - balustrade design

#### Proximity of buildings - detailed analysis and summary

The following pages provide detailed analysis for specific building relationships that LBRuT have highlighted as requiring justification in terms of overlooking issues. This analysis highlights the opportunity for incorporation of obscured glazing to mitigate overlooking issues.

Following is a list of the circumstances LBRuT have raised concerns about and opposite is a plan of the site highlighting those circumstances.

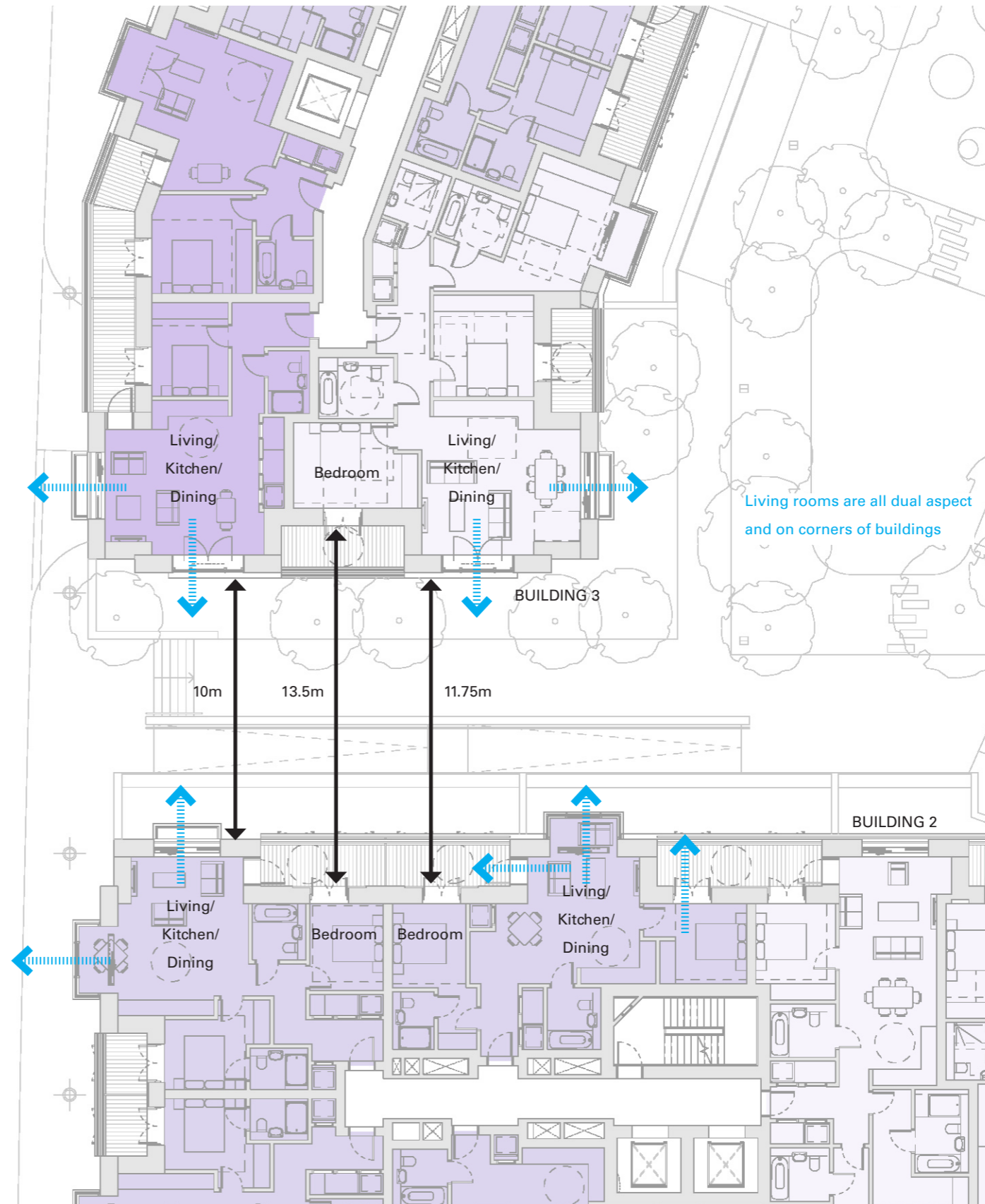
- Distance between Building 2 and 3
- Distance between Building 3 and 4 (Maltings Building)
- Distance between Building 7 and 8
- Distance between Buildings 7 and 8 with 6
- Distance between Buildings 11 and 12
- Distance between Buildings 11 and 12 with 10



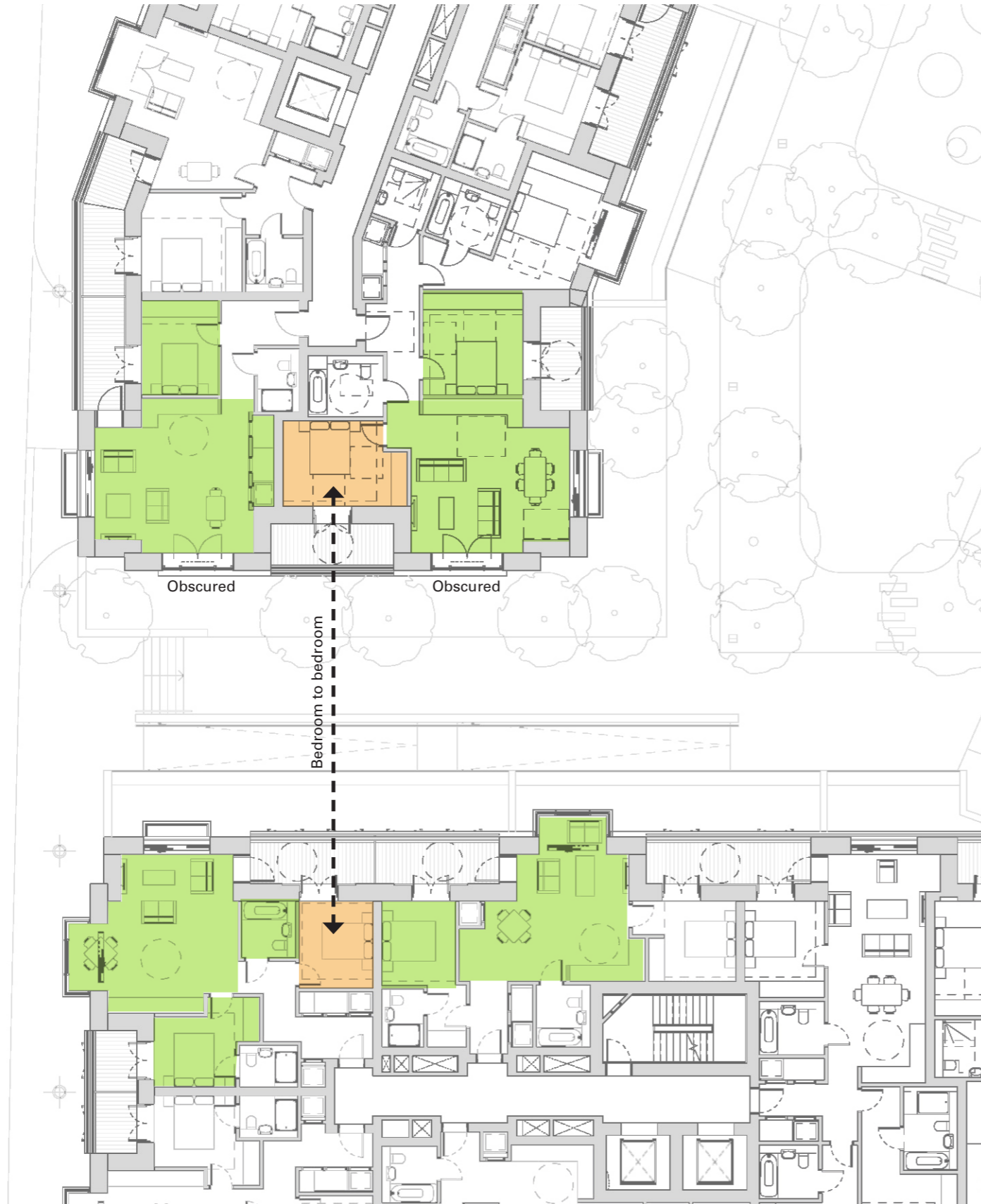
Proposed typical floor plan of Development Area 1 - showing separation distances (DA denotes dual aspect apartments)

### Proximity of buildings - Buildings 2 and 3

- All facing units are dual aspect
- Living/ kitchen/ dining rooms are located on corners for dual aspect and/or increased daylight provision
- By obscuring glazing, overlooking is largely mitigated
- Exception of two facing bedrooms that are set back behind balconies and balustrades
- Set back provides screening and should be considered acceptable in terms of privacy



Proposed typical floor plan of Buildings 2 and 3 - proposed layout

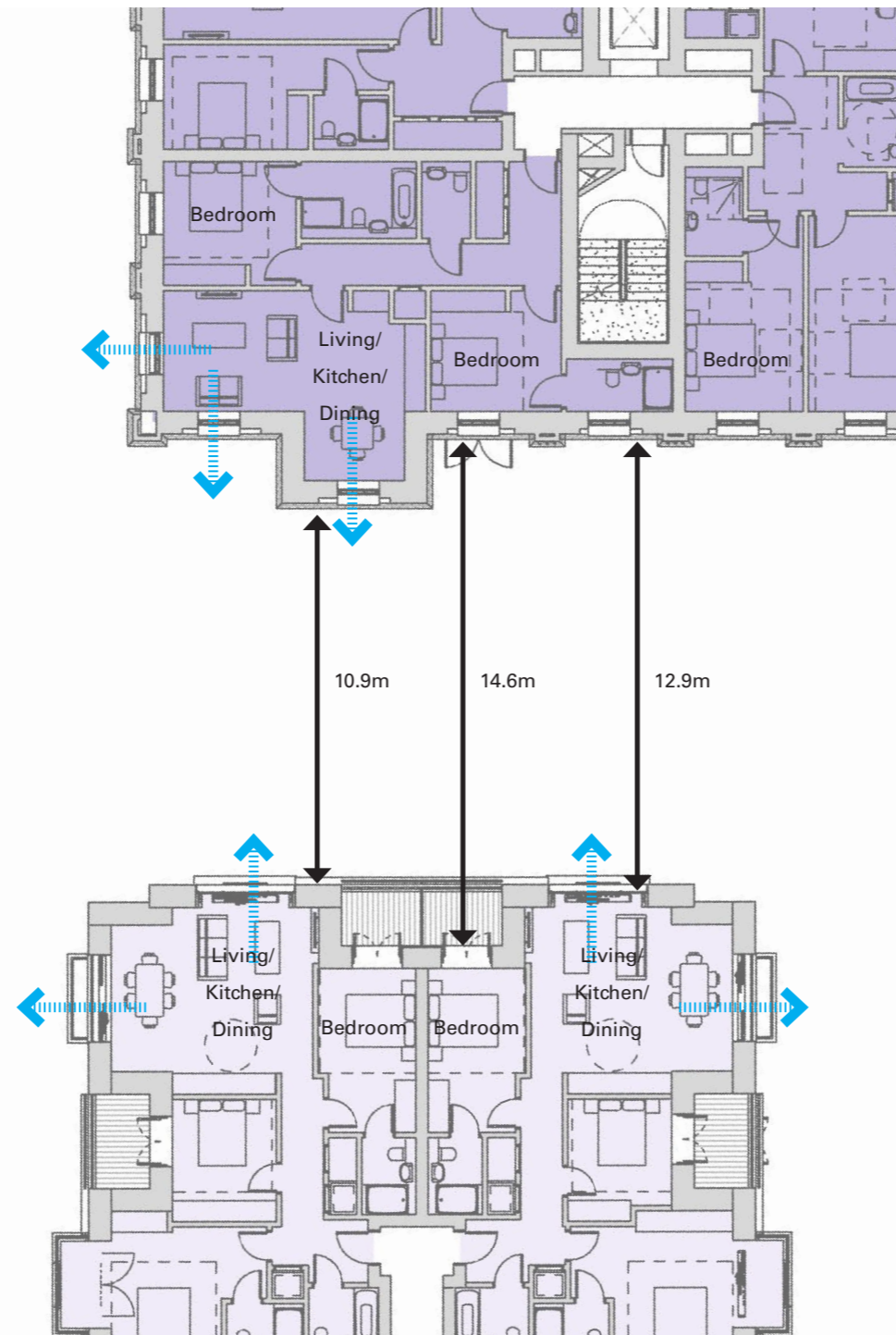


- No overlooking issues
- Bedroom to bedroom and living room to living room overlooking only

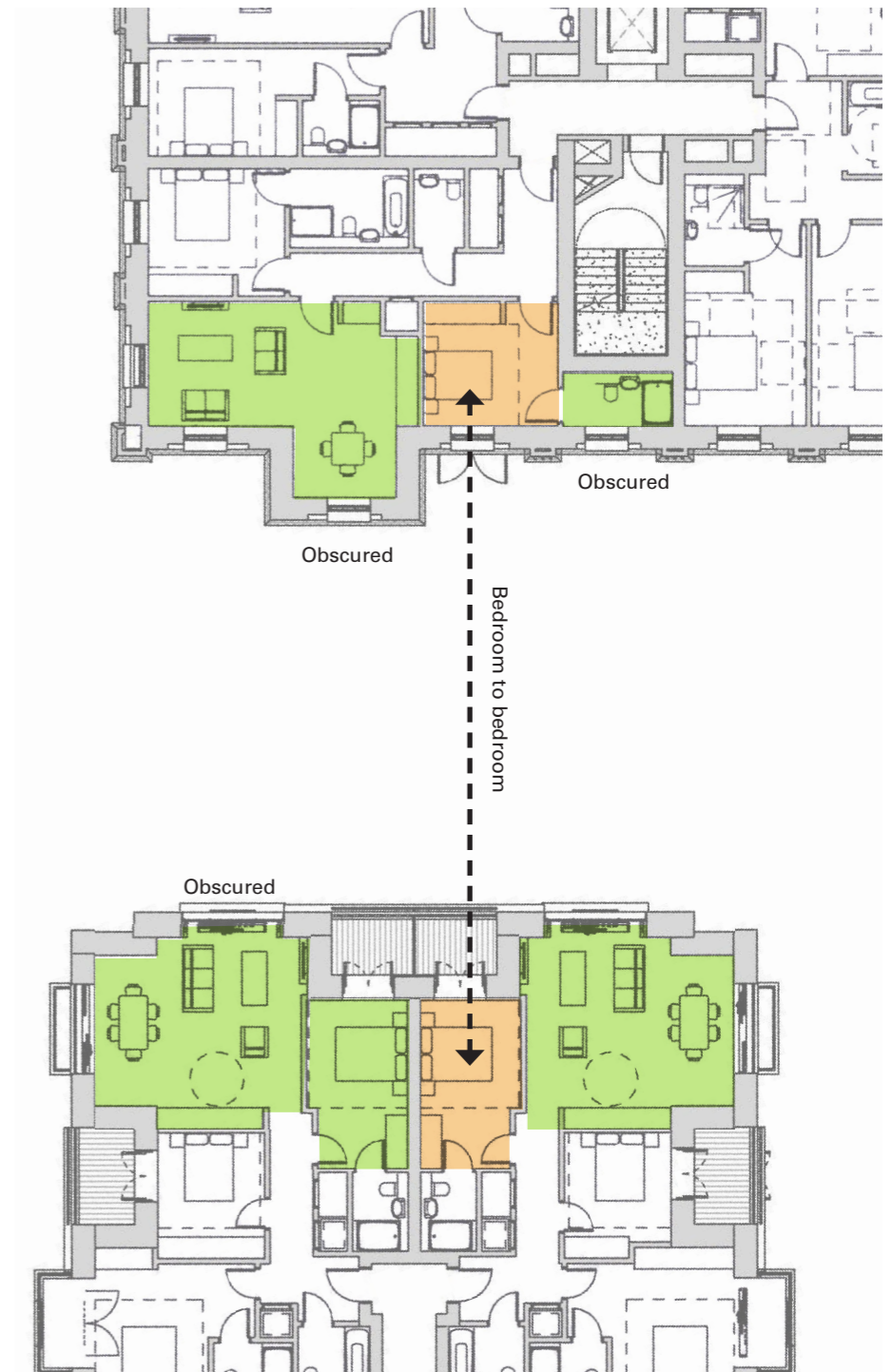
Proposed typical floor plan of Buildings 2 and 3 - suggested mitigation

Proximity of buildings - Buildings 3 and 4 (Maltings)

- All facing units are dual aspect
- Living/ kitchen/ dining rooms are located on corners for dual aspect and/or increased daylight provision
- By obscuring glazing, overlooking is largely mitigated
- Exception of two facing bedrooms (one of which is set back behind balconies and balustrades)
- Set back provides screening and should be considered acceptable in terms of privacy



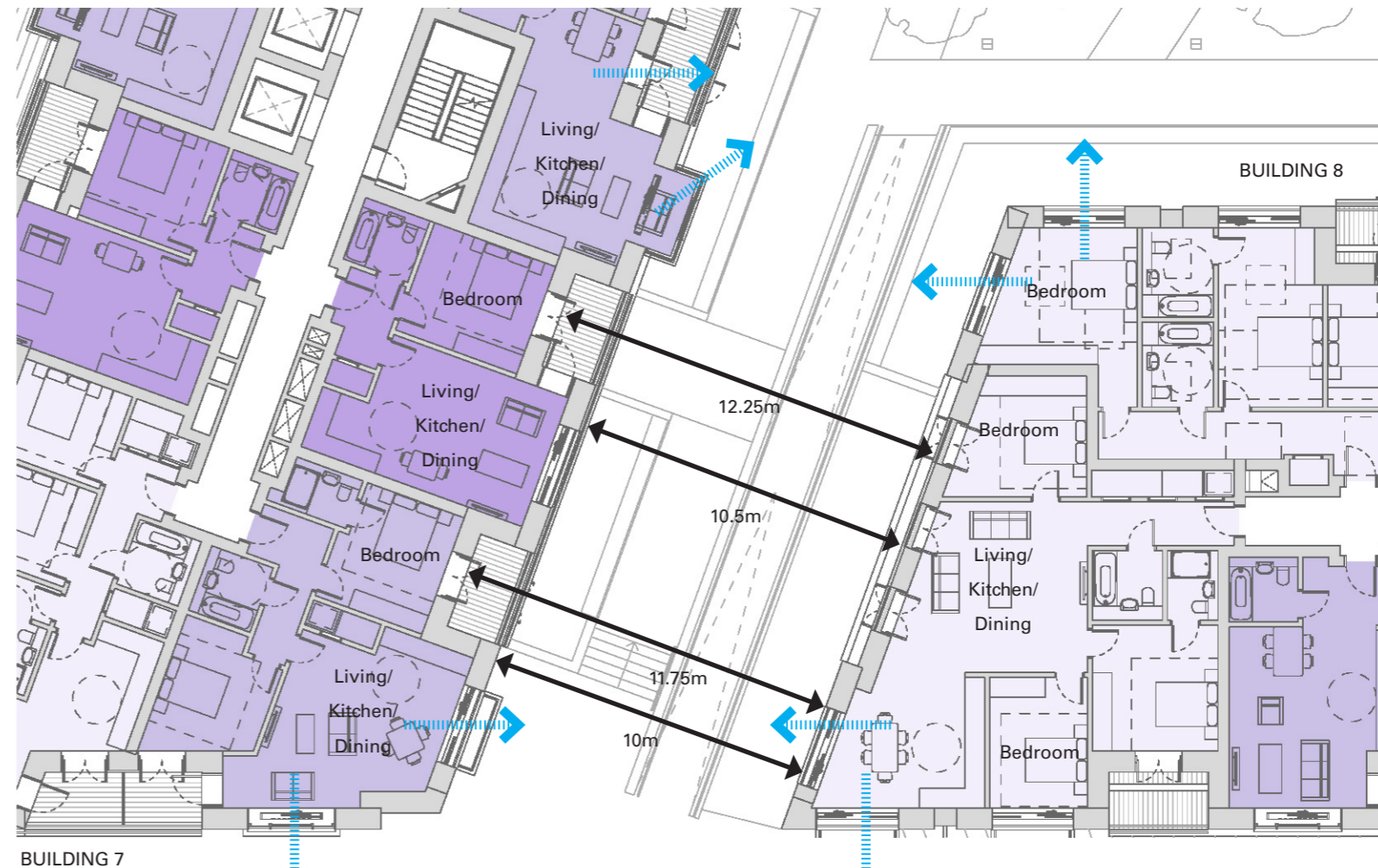
Proposed typical floor plan of Buildings 3 and 4 - proposed layout



Proposed typical floor plan of Buildings 3 and 4 - suggested mitigation

Proximity of buildings - Buildings 7 and 8

- Most facing units are dual aspect
- Living/ kitchen/ dining rooms are located on corners for dual aspect and/or increased daylight provision
- By obscuring glazing, overlooking is largely mitigated
- Exception of two facing bedrooms (one of which is set back behind balconies and balustrades)
- Set back provides screening and should be considered acceptable in terms of privacy



No overlooking issues



Bedroom to bedroom and living room to living room overlooking only



Proximity of buildings - Buildings 6, 7 and 8

- All facing units are dual aspect
- Living/ kitchen/ dining rooms in B6 have been located so that they benefit from view towards waterfront
- Residential units face each other at 1st, 2nd and 3rd floor level only – above this B7 and B8 units benefit from views to South
- By obscuring glazing, overlooking is entirely mitigated



Proposed typical floor plan of Buildings 6, 7 and 8 - proposed layout

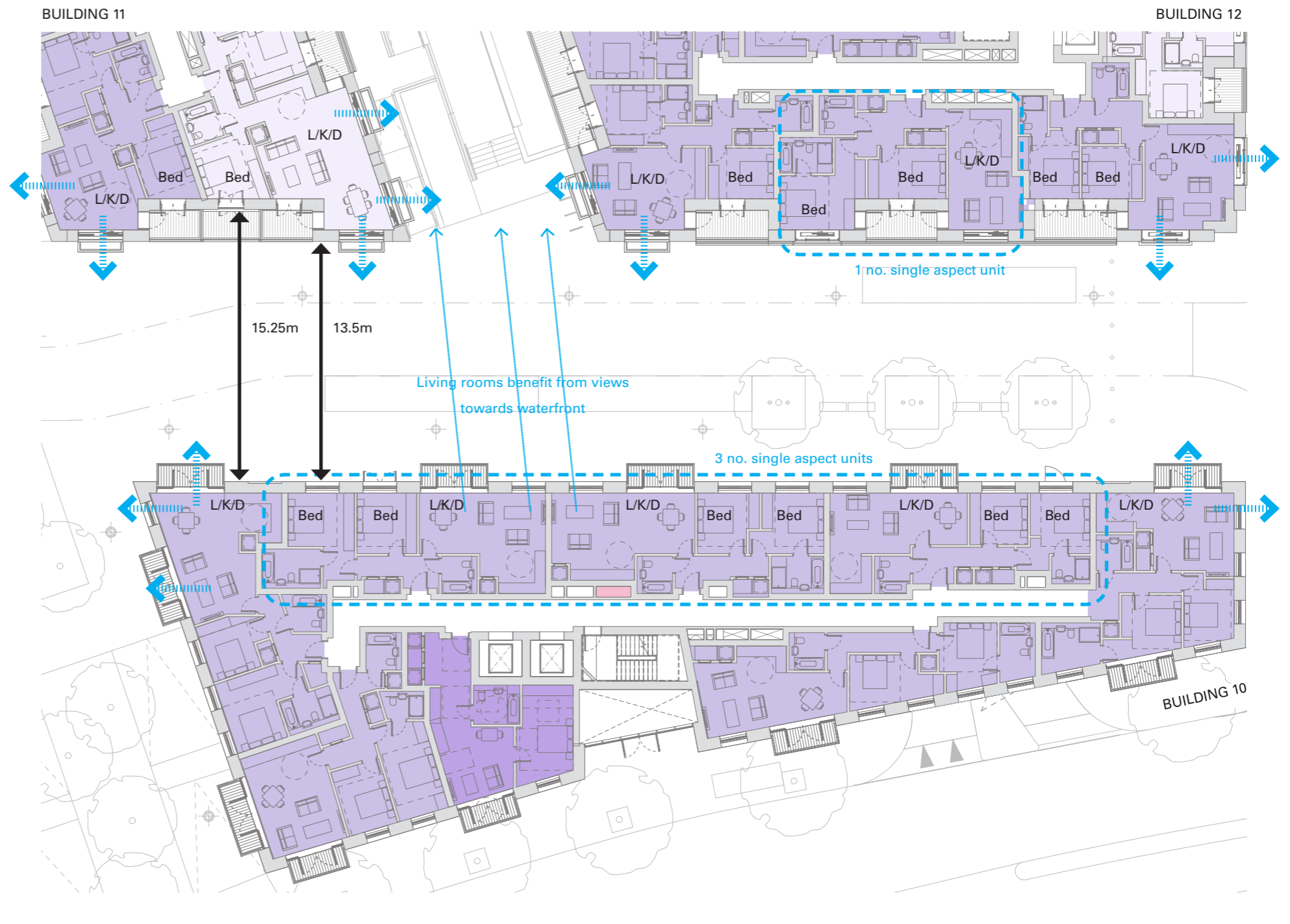


Proposed typical floor plan of Buildings 6, 7 and 8 - suggested mitigation

- No overlooking issues
- Bedroom to bedroom and living room to living room overlooking only

Proximity of buildings - Buildings 10, 11 and 12

- Living/kitchen/dining rooms are located on corners for dual aspect and/or increased daylight provision wherever possible
- Bedrooms are set back for privacy
- By obscuring glazing, overlooking can be mitigated in some units
- Other units will have bedroom to bedroom facing and living to living facing configurations
- Three units that have living rooms facing bedrooms – these units would need to adopt partial obscured glazing and or curtains/blinds as privacy control



Proposed typical floor plan of Buildings 10, 11 and 12 - proposed layout

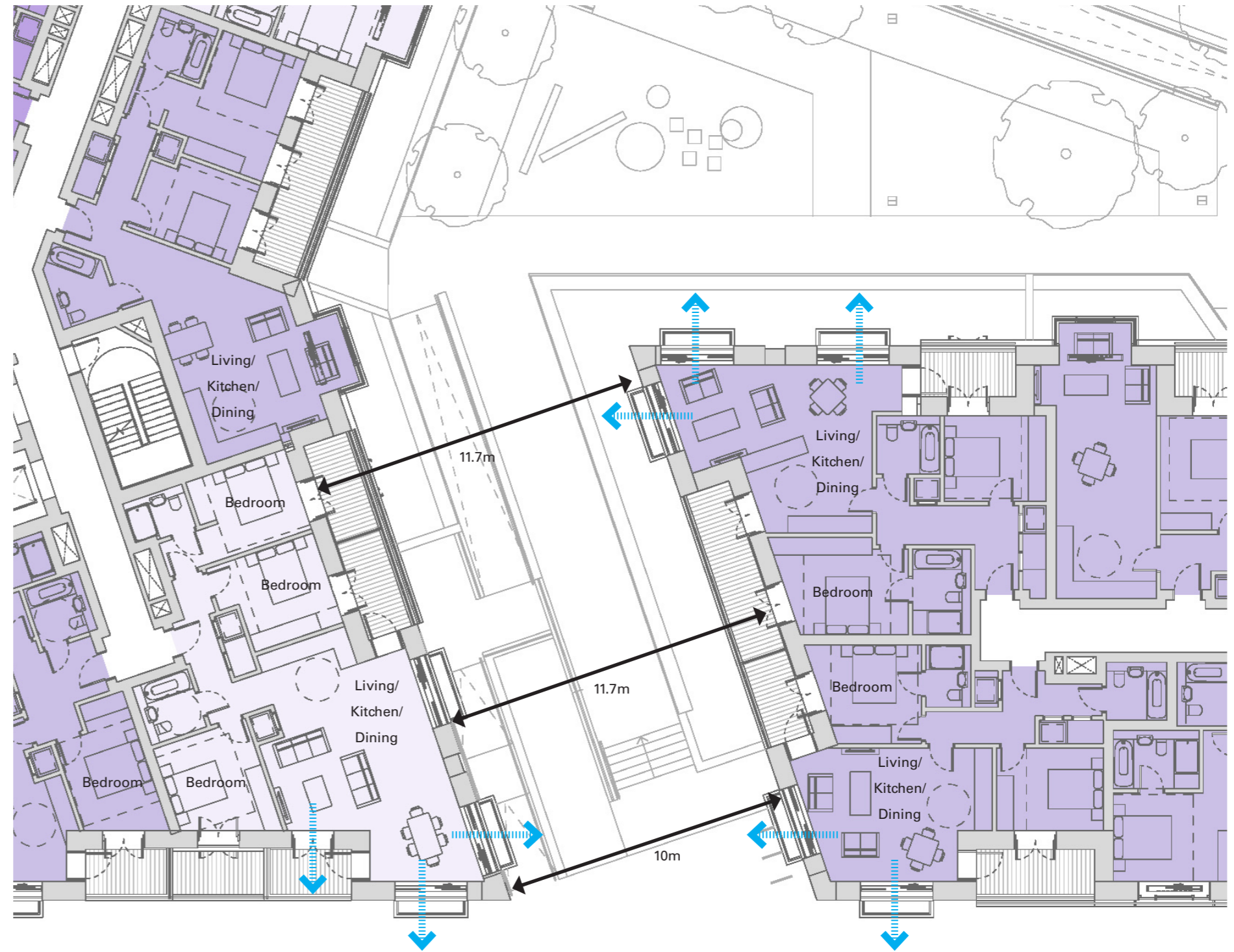


- No overlooking issues
- Bedroom to bedroom and living room to living room overlooking only
- Overlooking between living and bedrooms

Proposed typical floor plan of Buildings 10, 11 and 12 - suggested mitigation

### Proximity of buildings - Buildings 11 and 12

- All facing units are dual aspect
- Living/kitchen/dining rooms are located on corners for dual aspect and/or increased daylight provision
- By obscuring glazing, overlooking is entirely mitigated



Proposed typical floor plan - Buildings 11 and 12



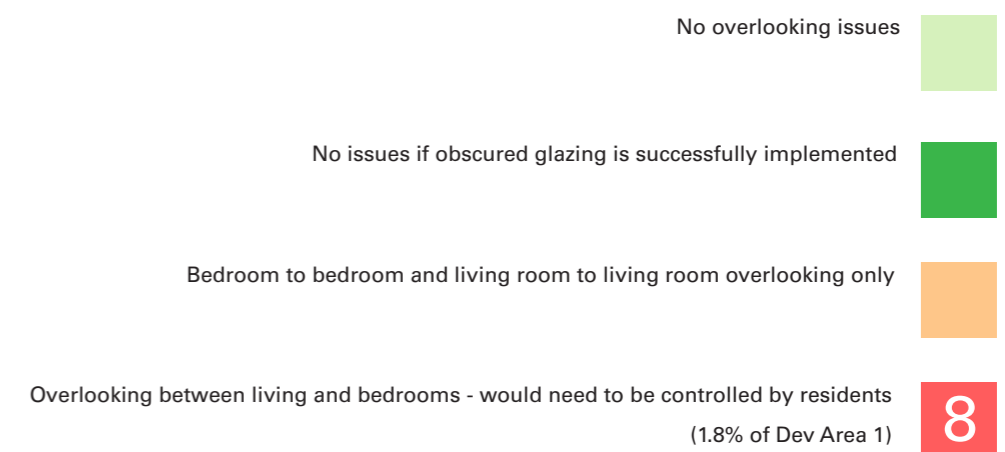
- No overlooking issues
- Bedroom to bedroom and living room to living room overlooking only

Proposed typical floor plan - Buildings 11 and 12

### Proximity of buildings - detailed analysis and summary

The drawing overleaf shows that when categorised and mapped on the site plan, overlooking issues can be largely mitigated with the exception of in 8 units, which have some rooms that are subject to close overlooking.

These 8 apartments constitute 1.8% of the 439 total proposed apartments within Development Area 1. While we recognise that these units will be compromised in terms of overlooking, we feel it would be very unfortunate to limit the views from living and bedrooms within these units to mitigate the overlooking issues. The following pages should serve to demonstrate that there are circumstances in the local and wider context of facing windows in similar (and even tighter) proximities to one another.





Summary of overlooking units

### Proximity of buildings - local streetscapes

There are several instances in the surrounding Mortlake streetscapes that exhibit similar characteristics in terms of facing windows within close proximity. The pages opposite summarise some of the tighter streetscapes and the associated separation distances of facing windows. We believe that on this basis it should be considered acceptable that these very few (and extremely constrained) circumstances should be considered acceptable.



Proposed new High Street (Thames Street)



Waldeck Road - 6 - 6.2m



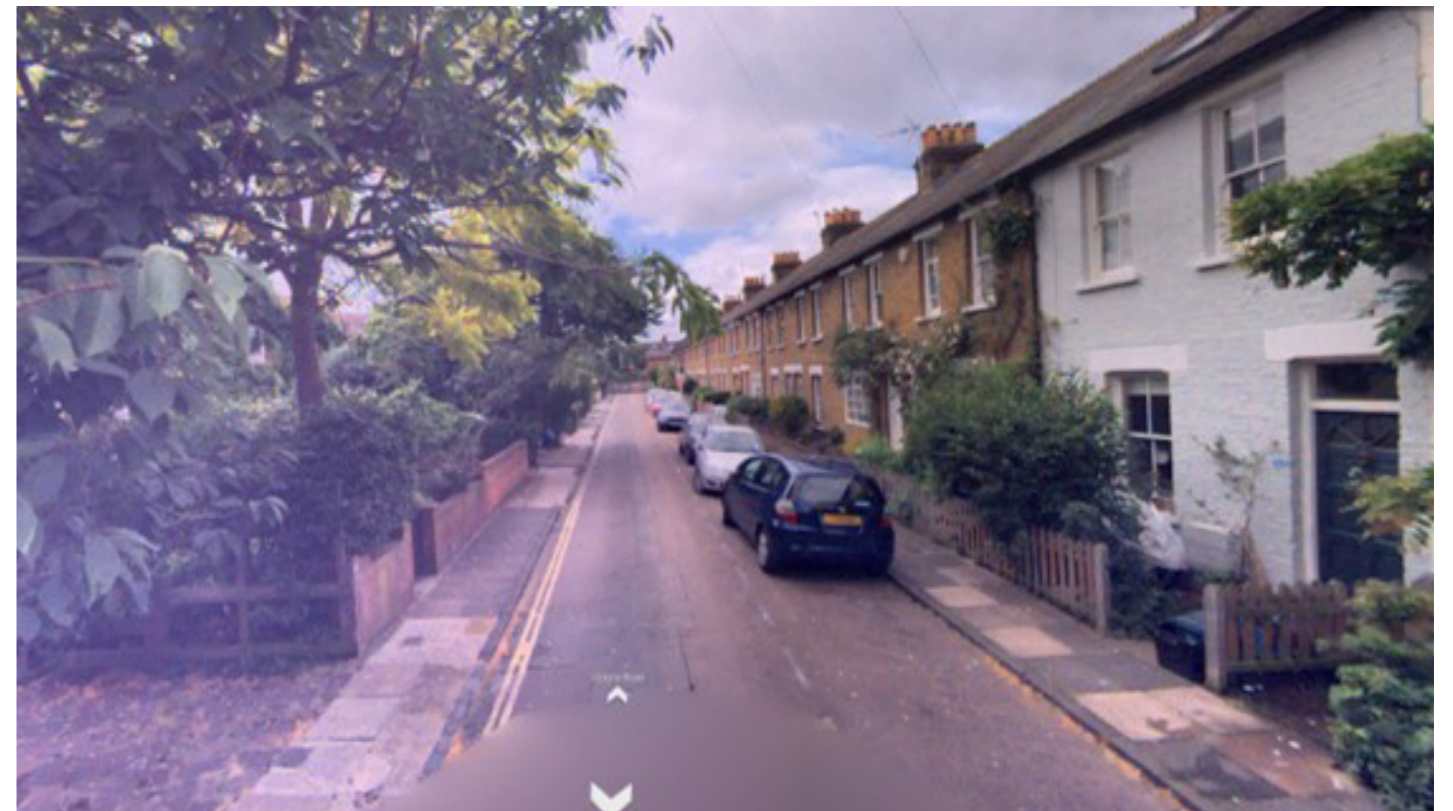
Alder Road - 17m



Fitzgerald Road - 14.75m



Mullins Path - 12m



Victoria Road - 14 - 18.5m

### Proximity of buildings - new 'heart' to Mortlake

The aforementioned local streetscape precedents have been provided as a means of illustrating instances of facing windows that have similar privacy issues as those proposed in limited situations within the proposed masterplan.

While these precedents clearly explain privacy issues, we recognise that due to the lower building heights, they are not representative of the visual impact (and potential visual intrusion) of the proposed development.

It must be recognised that the proposed development has been designed to establish a new area of townscape replaces a long established and now redundant industrial site that formed a barrier to the waterfront.

As a consequence, we believe that the new masterplan should not be considered an extension of the existing surrounding streetscapes, but instead as a new 'heart' to Mortlake that will provide much needed identity and community focus to the area. As such, comparing typologies and widths of the surrounding streetscape in terms of visual impact would be inappropriate.

We believe that the streetscape hierarchy and widths that have been established in this masterplan are appropriate to a new legible and sizeable area of townscape. The nature of these streetscapes will be more akin to other centres of the borough including Twickenham, East Twickenham and Richmond centres. When viewed in comparison to these areas (provided overleaf), we believe the proposal does not represent a visually overbearing streetscape.

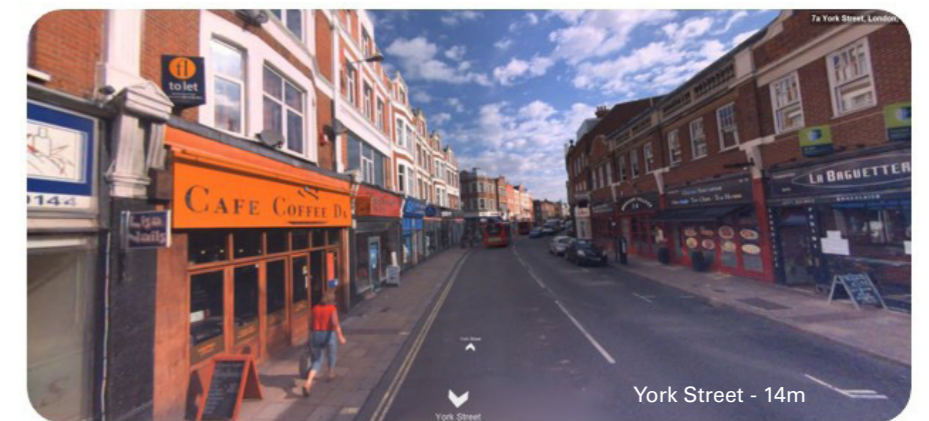
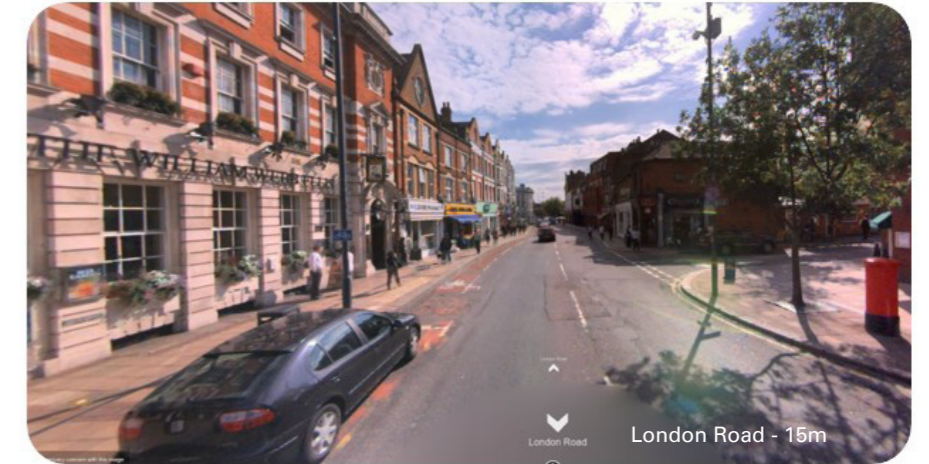
Twickenham Centre



Revised visualisation of Thames Street (30m wide)



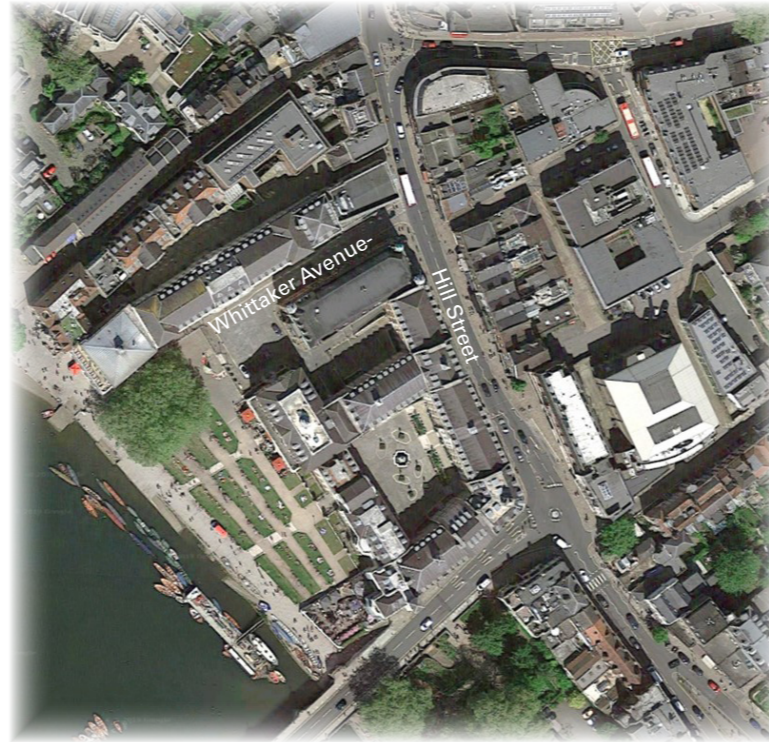
Revised visualisation of new 'Green Link' (13.5m wide)



Richmond Centre



Richmond Waterfront



East Twickenham



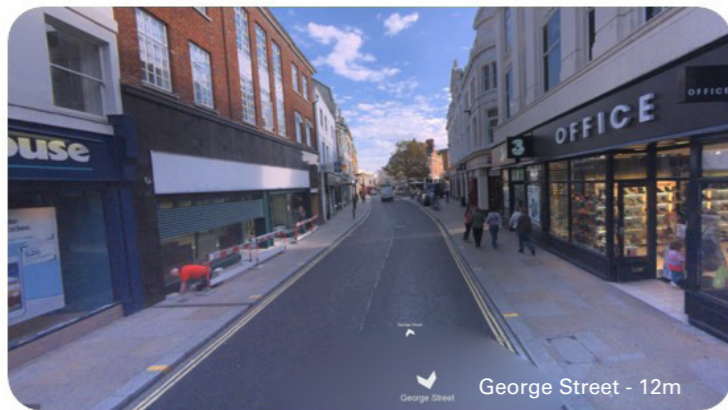
Sheen Road - 14m



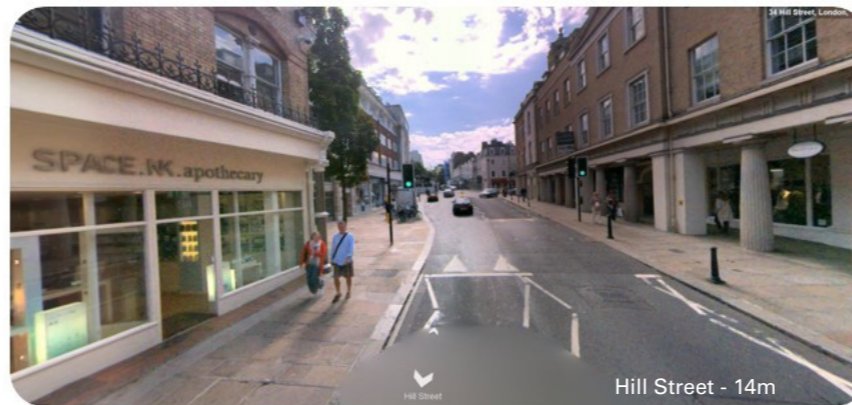
Whittaker Avenue- 10m



Richmond Road- 15m



George Street - 12m



Hill Street - 14m



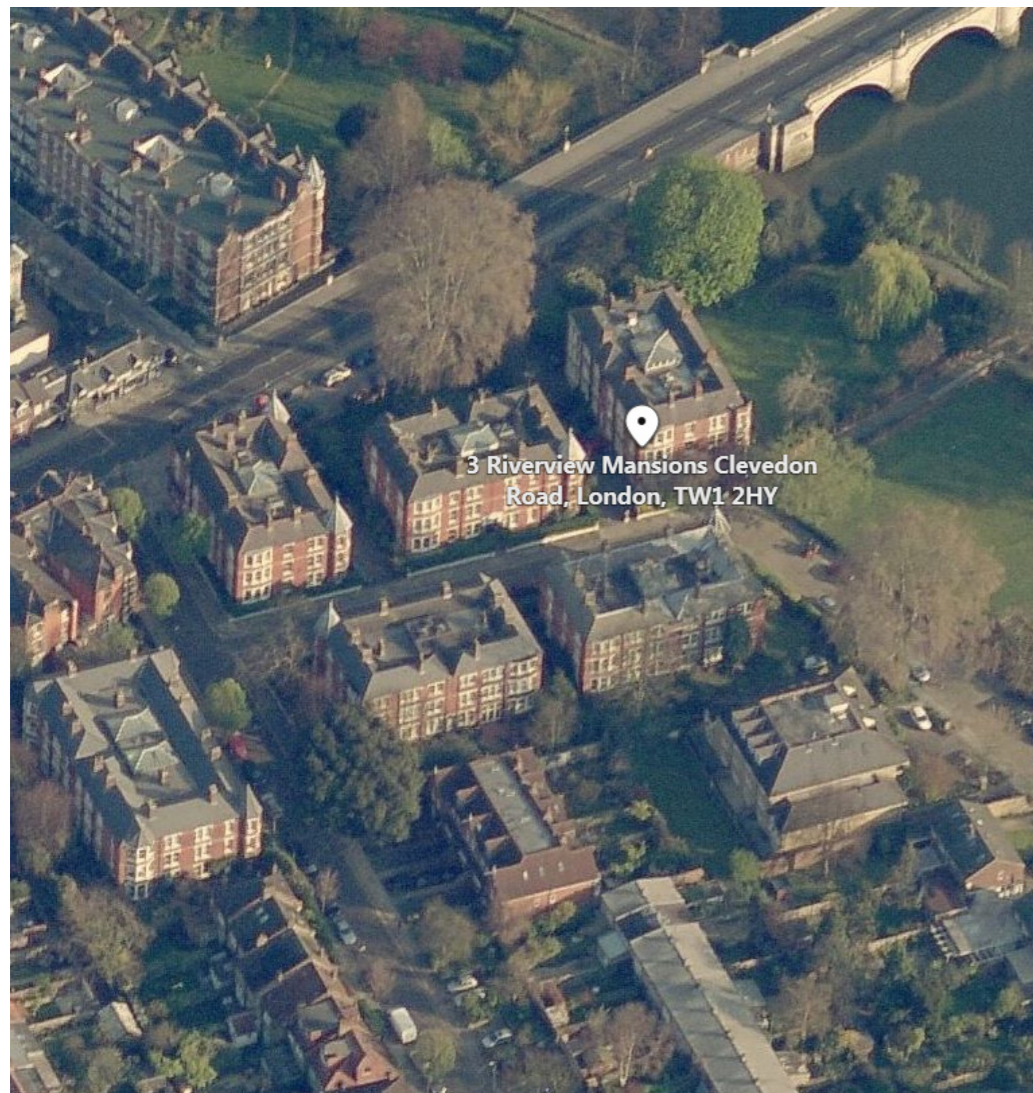
Cambridge Road - 12m

### Proximity of buildings - mansion buildings configurations

Inspiration for the proposed new medium rise buildings was drawn from historic 19th and 20th century mansion type buildings within the local borough and the surrounding boroughs lining the banks of the river Thames. These mansion precedents were often built in segmented courtyard configurations and to close proximities. They also frequently incorporated set back balconies that offered screening to facing windows within close proximity to one another. The following pages demonstrate examples of these mansion type buildings. These precedents serve to demonstrate that dwellings that incorporate facing windows in close proximity, have been successfully occupied by generations of London residents.

### Clevedon Mansions, East Twickenham, Richmond

One of the closest mansion developments on the riverfront is Clevedon Mansions (south of Richmond Road, on the south bank of the Thames). These three storey blocks have flank walls that are very closely spaced - between 8 and 10m apart. The photographs opposite and below demonstrate that their elevations have several facing windows to habitable rooms.



Aerial view of Clevedon Mansions



View of Clevedon Mansions from Cambridge Road



View of Clevedon Mansions from Clevedon Road

## Sutton Court Mansions, Chiswick, Hounslow

Built circa 1905, these mansion blocks incorporated undulating facades that maximised the length of frontages available for windows and thus rooms. The consequence of this configuration is that habitable rooms face one another within a proximity of less than 10m. These dwellings are still inhabited and residents control their privacy through use of curtains and blinds.



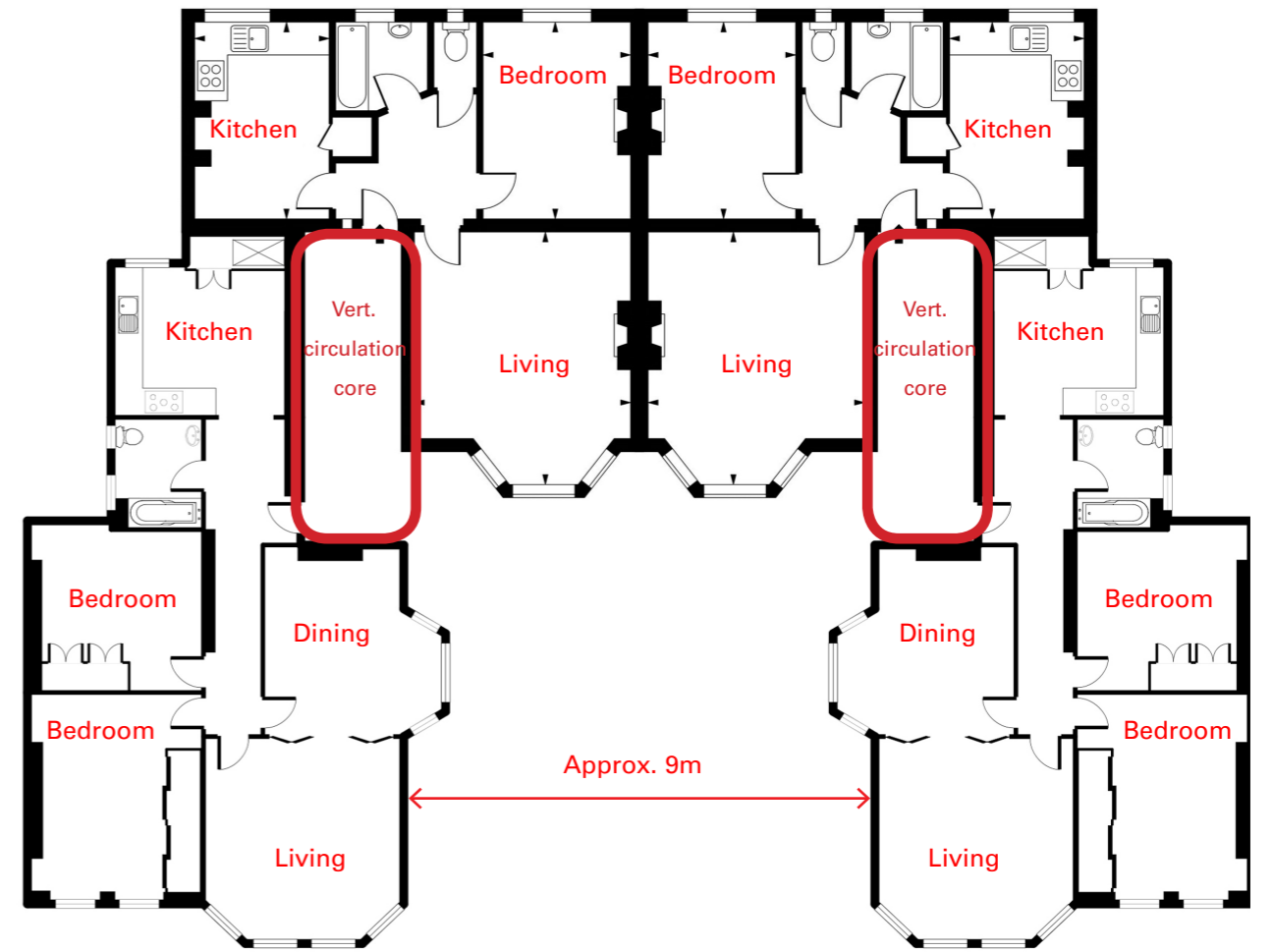
Interior photograph of Sutton Court



Exterior photograph of Sutton Court



Aerial view of Sutton Court



Floor plan of Sutton Court

### Elmbank Mansions and Gardens, Barnes, Wandsworth

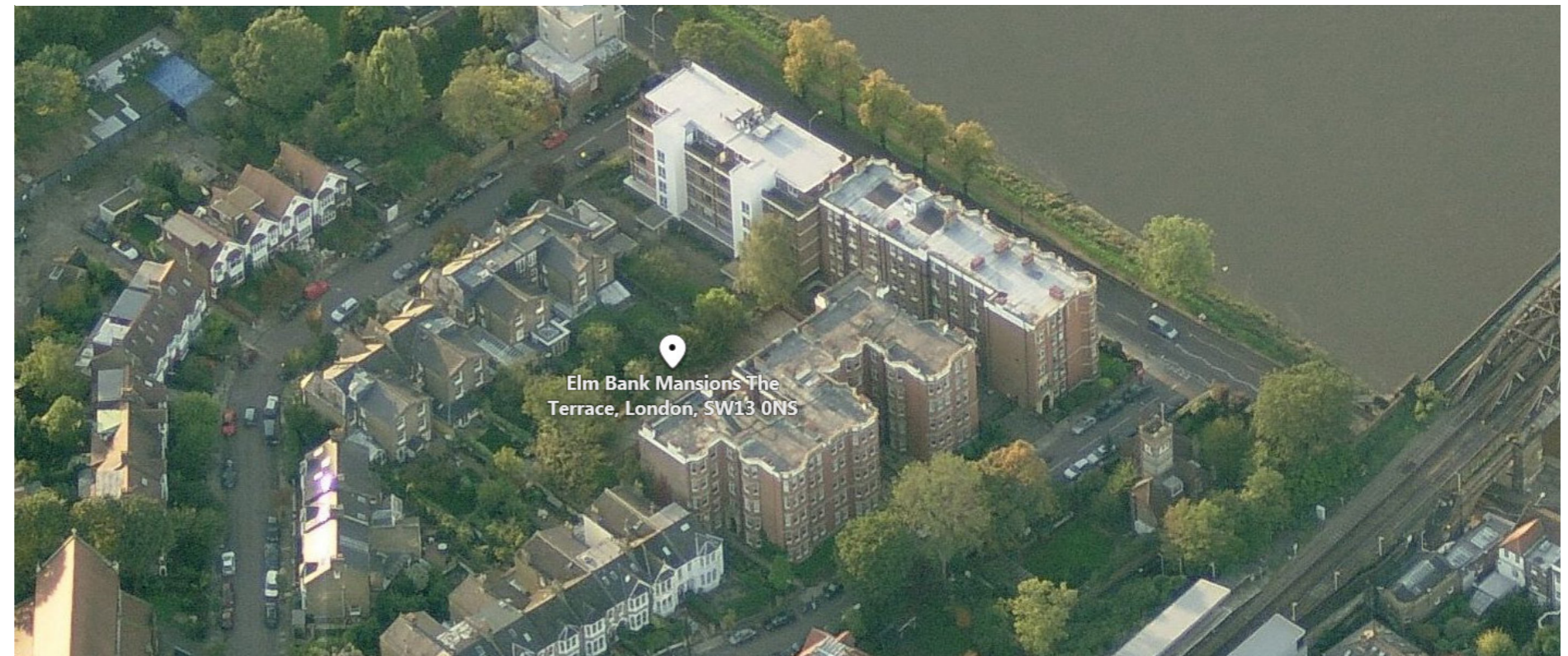
Built in 1906, Elm Bank Mansions and Gardens were conveniently located to benefit from access to the city centre via the first motorized bus. Situated on the banks of the River Thames, the river facing block is often referred to as being located on 'the Terrace'.

Buildings facing Elm Bank Gardens were part of a spate of new higher density Edwardian developments sweeping through the riverfront from Putney to Mortlake. These buildings incorporated deeply undulating frontages that maximised building frontages and numbers of units. These 'courts' were occupied by facing residential dwellings with windows to habitable rooms facing one another within a proximity of less than 9 metres.

Still occupied today, the habitable rooms of these dwellings are not adversely affected by the close proximity and benefit from good levels of daylight. The photographs opposite show that residents have chosen to control their own privacy by means of curtains and blinds as opposed to obscured glazing.



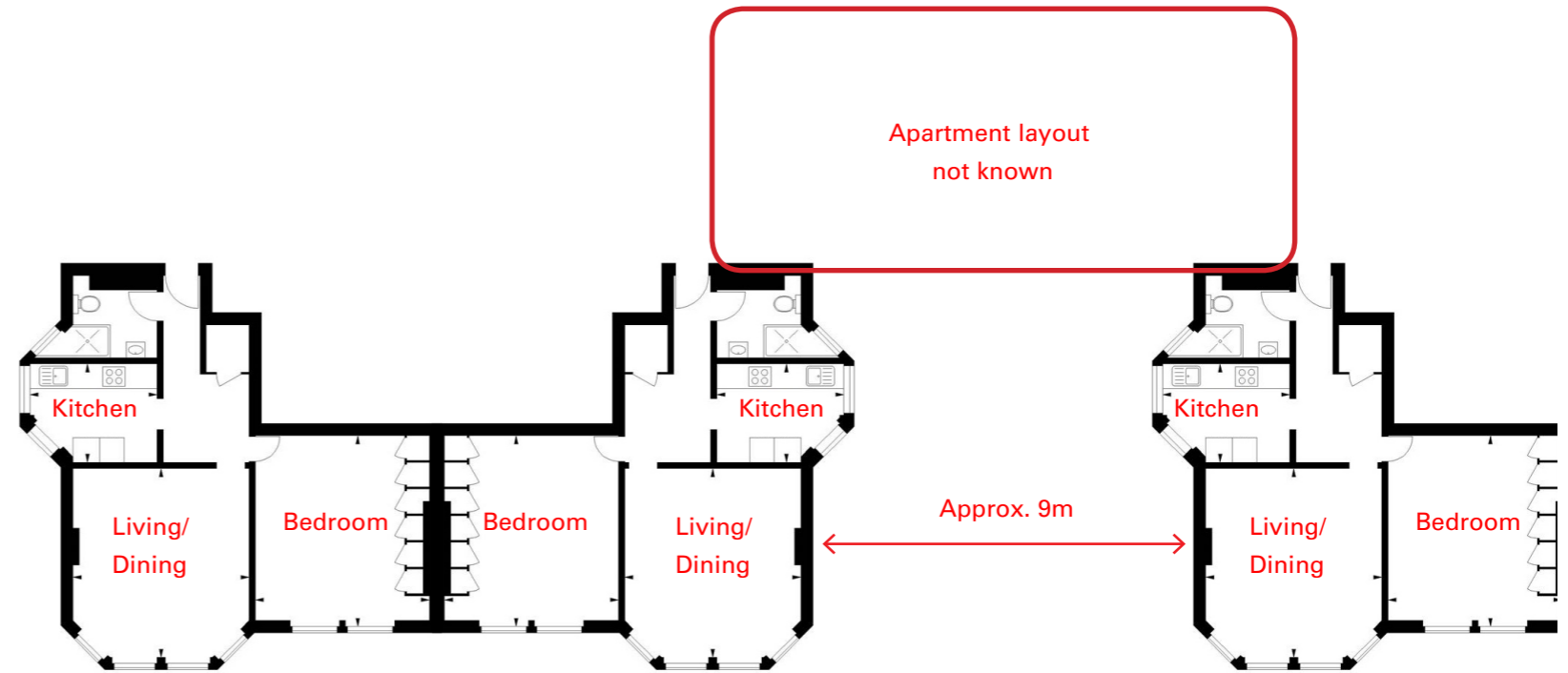
Exterior photograph of Elmbank Mansions



Aerial view of Elmbank Mansions



Interior photographs of Elmbank Mansions



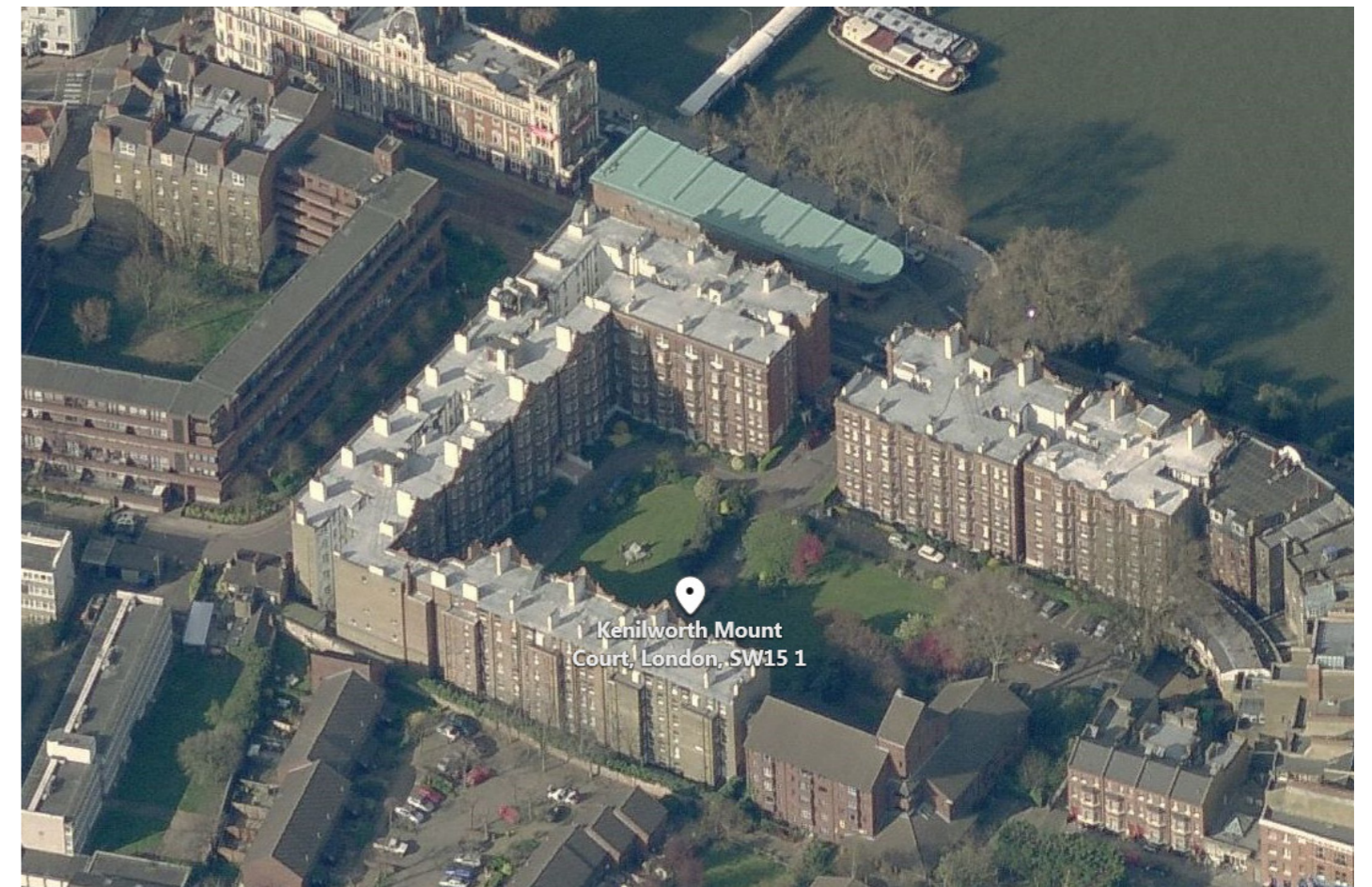
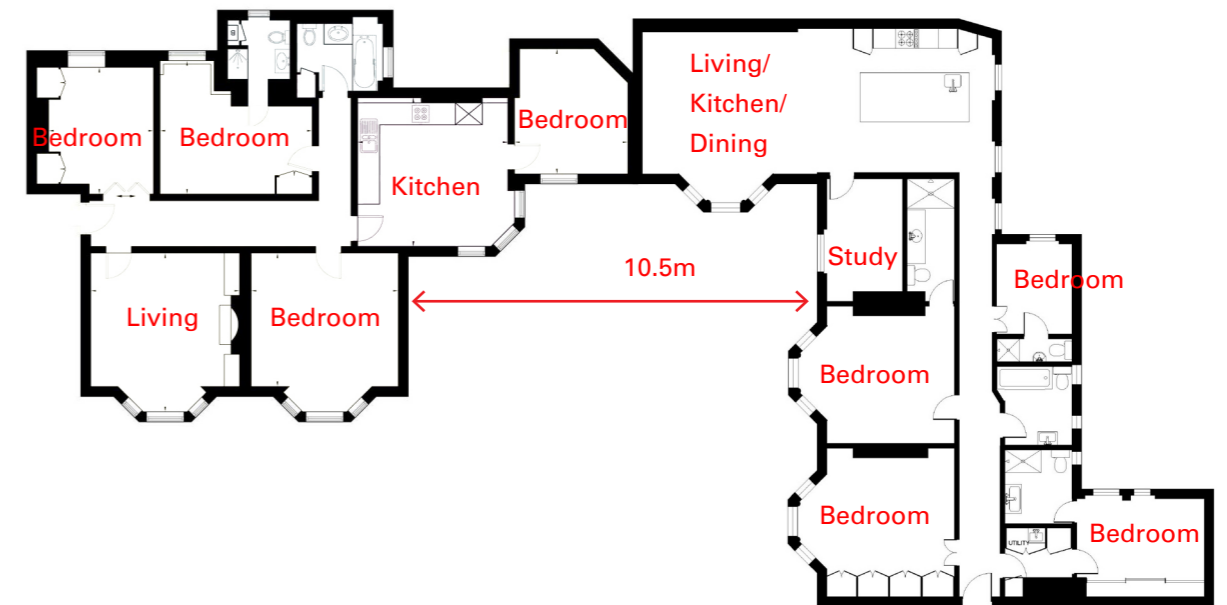
Floor plan of Elmbank Mansions

## Kenilworth Court, Putney, Wandsworth

Completed between 1904-1905, Kenilworth Court in Putney, London, consists of eight purpose-built blocks of flats that were built in Edwardian style. The development contains 150 flats set around a garden courtyard. Internal angles of the courtyard result in facing dwellings within close proximity to one another. There are a number of facing windows to habitable rooms that are set apart by less than 10.5m.



Exterior photograph of Kenilworth Court



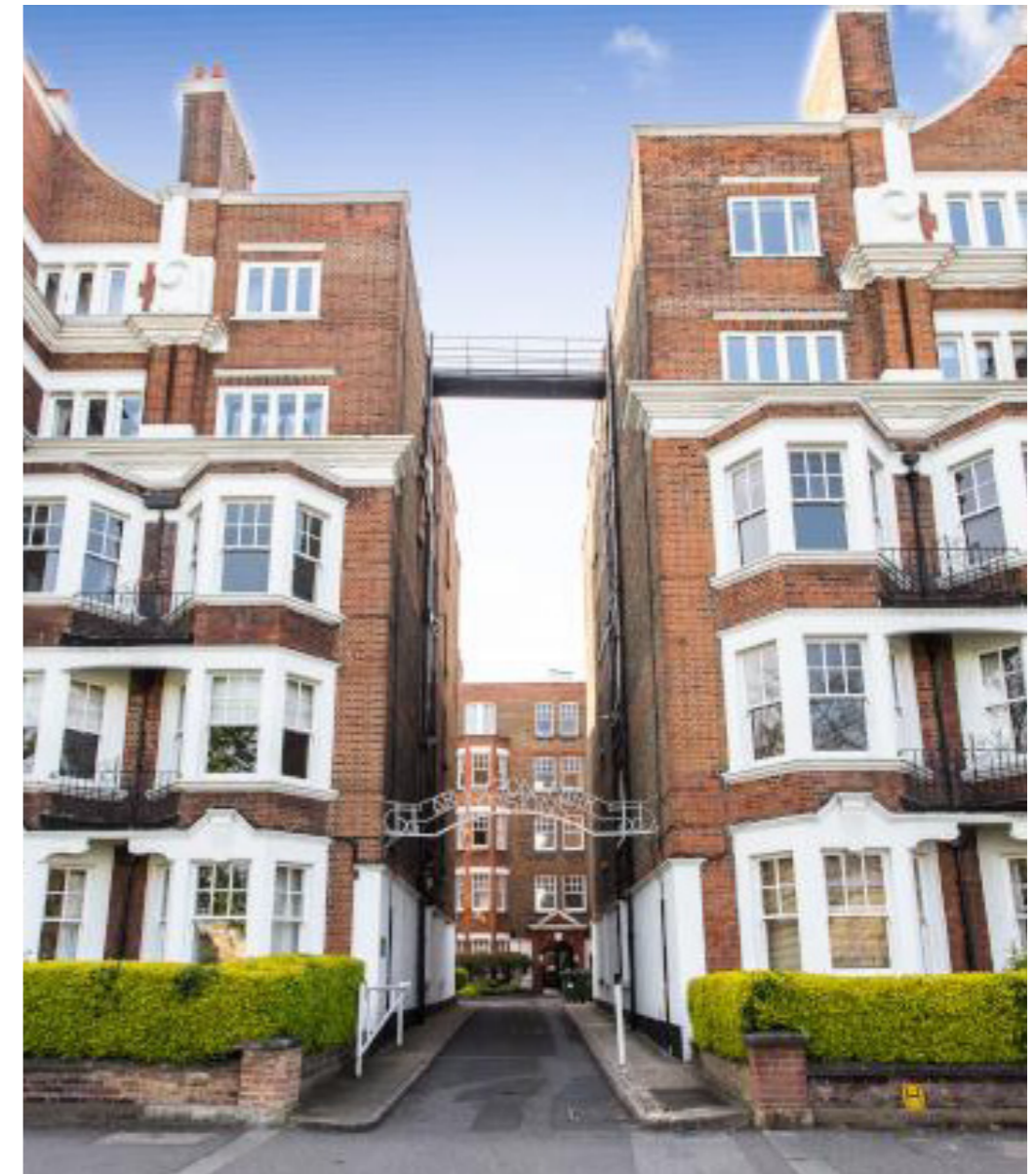
Aerial view of Kenilworth Court

## Arlington Park Mansions, Chiswick

First occupied in 1906, these mansion buildings faced Turnham Green and were very closely set apart from one another. Some of the flank walls incorporate facing windows that are less than 10m apart from one another.



Exterior photograph of Arlington Park Mansions



Exterior photograph of Arlington Park Mansions

Prince Of Wales Drive, Battersea, Wandsworth

Begun in 1893, the Prince of Wales Drive development facing Battersea Park was inspired by the Arts and Crafts movement. This is a good example of a mansion development that creates distinct variations of repeated elements such as gables and bays. These elements ensure that there is an overarching identity to the wider development but distinct identities for clusters within the larger development. Clusters of buildings were constructed by different builders and leases for the buildings were taken up with enthusiasm when built. Still occupied today, the dwellings are spaced apart from one another at distances of less than 10m at the front of the buildings and 15m apart to the rear courtyards. These dwellings are still occupied and highly sought after today.



Overstrand Mansions, Prince of Wales Drive



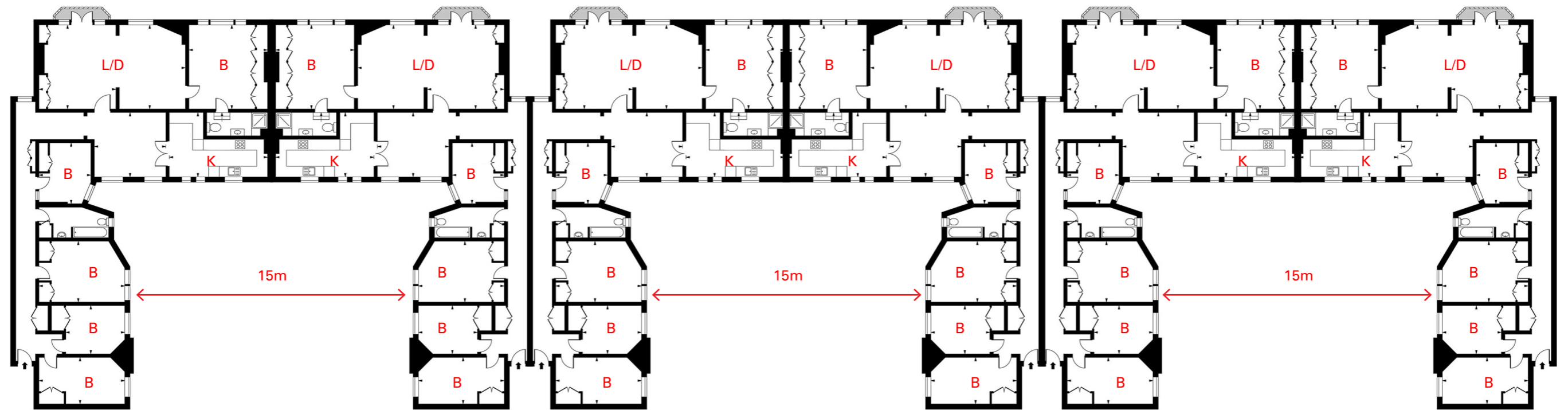
Primrose Mansions, Prince of Wales Drive



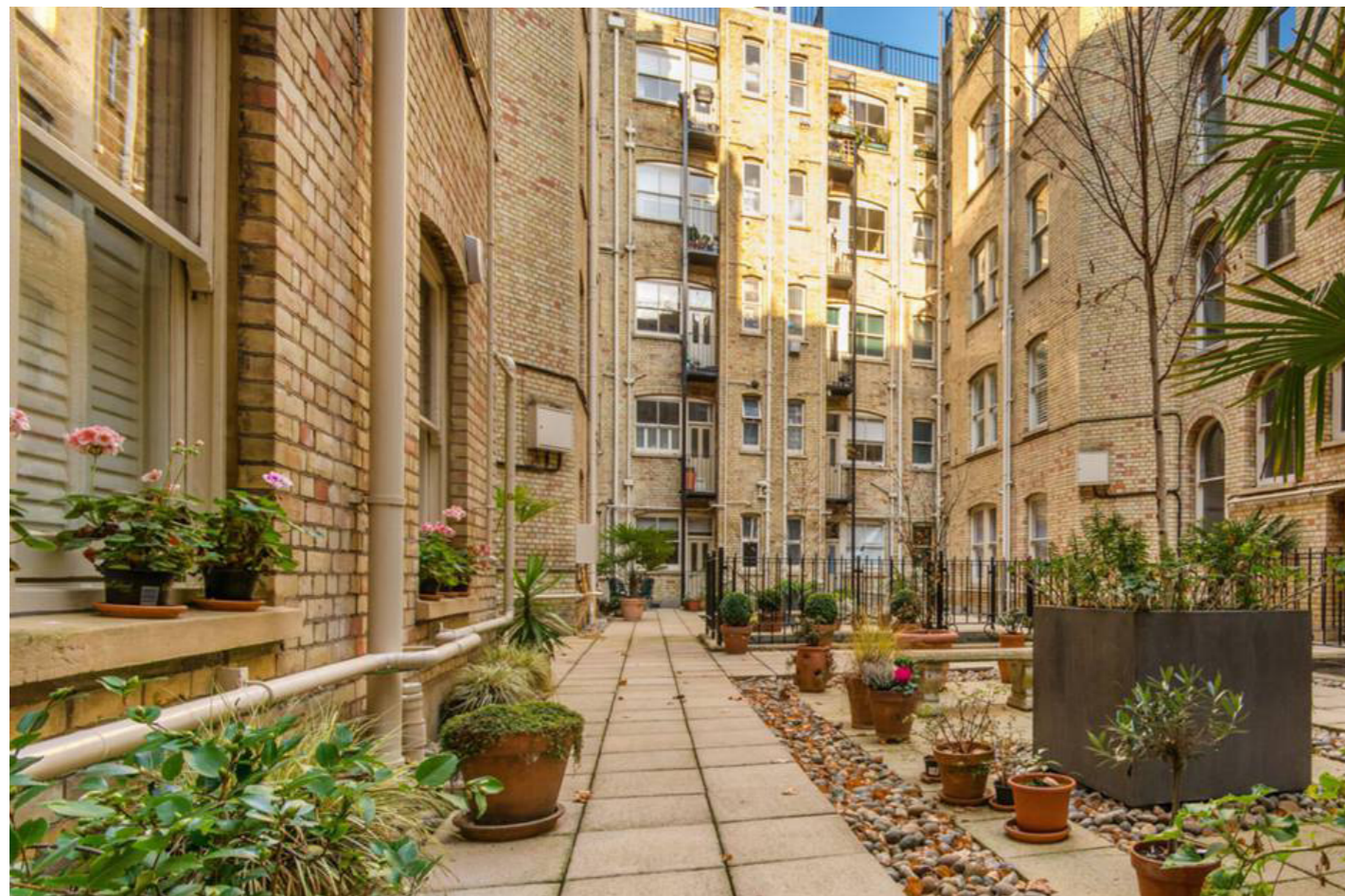
Albert Palace Mansions, Prince of Wales Drive



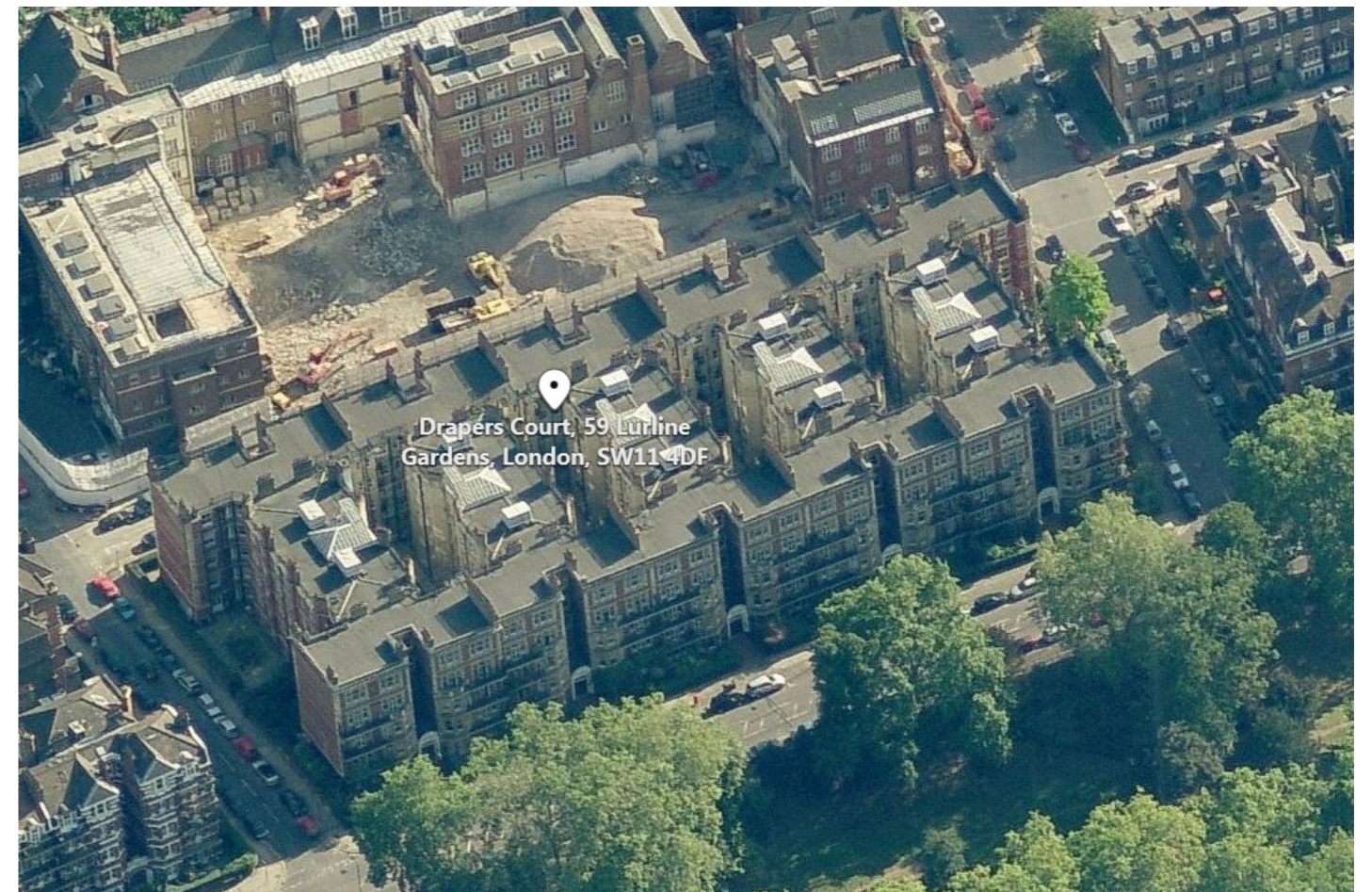
Albert Palace Mansions, Prince of Wales Drive



Plan of Prince of Wales Mansions, Prince of Wales Drive



Prince of Wales Mansions, Prince of Wales Drive



Aerial view of Prince of Wales Mansions, Prince of Wales Drive

**Queens Club Mansions, Barons Court, Hammersmith and Fulham**

Queens Club Gardens was built in the late 19th century by an entrepreneurial developer, William Gibbs. It consists of an estate of 33 blocks of mansion flats set around central communal gardens and tennis courts. Inspired by the new Queen's Sports Club which had opened in the 1880s, it incorporated several variations of repeated elements such as gables and bays. It also incorporated deep undulations in the facade that resulted in facing windows to habitable rooms set apart by approximately 10.5m.



Interior photograph of Queens Club Mansions



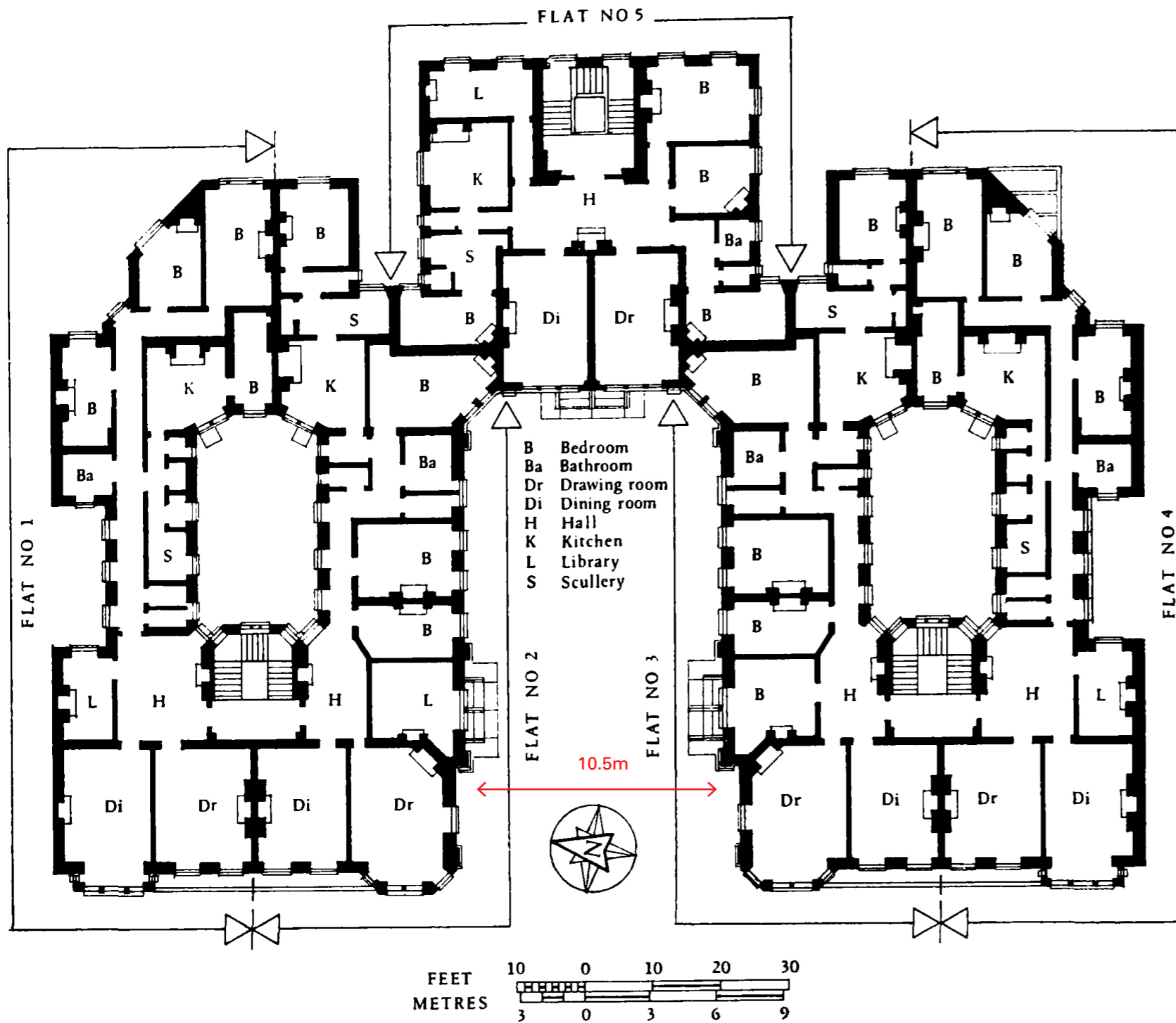
Interior photograph of Queens Club Mansions



Exterior view of Queens Club Mansions



Aerial view of Queens Club Mansions



Plan of Queens Club Mansions



Exterior view of Queens Club Mansions



Exterior view of Queens Club Mansions

### Proximity of buildings - controlling privacy

While we have endeavoured to ensure overlooking issues are mitigated as much as possible, there remain some instances of facing rooms. The aforementioned examples demonstrate that there are many historic as well as new examples of facing windows being successfully incorporated within developments.

Interior photographs clearly demonstrate that in these developments privacy control has been adopted by residents in the form of a mixture of blinds and curtains according to personal preference. For the very few constrained instances within the Stag Brewery proposal where overlooking cannot be mitigated, we would suggest that blinds, curtains and/or obscured glazing would provide residents with adequate privacy.



Venetian blinds



Roman blinds



Obscured Glazing



Blackout and sheer curtains



## Block 7

### 1. Inconsistent plans:

- C645\_B07\_P\_00\_001 – shows 12m between Blocks 7 and 8
- C645\_B08\_P\_00\_001 – shows 9/10 m.

Please refer to the drawing scale (bottom right hand title block) which varies between the two drawings. The distance between the two buildings is 10m.

### 2. Very concerned over the length of the west and east elevations – monotonous. Not enough visual breaks.

We disagree that there is sufficient animation and variation in the long elevations of Building 7. Please refer to our comments on Block 2 - item 2. A variety of different elements (gables, single bays and double bays) at different heights have been used to compose the facades of the mansion buildings. The result is a varied parapet line and depth of façade. The gables and bays have strong vertical emphasis and relief that assists in breaking up the horizontality of the façade – particularly when viewed in perspective.

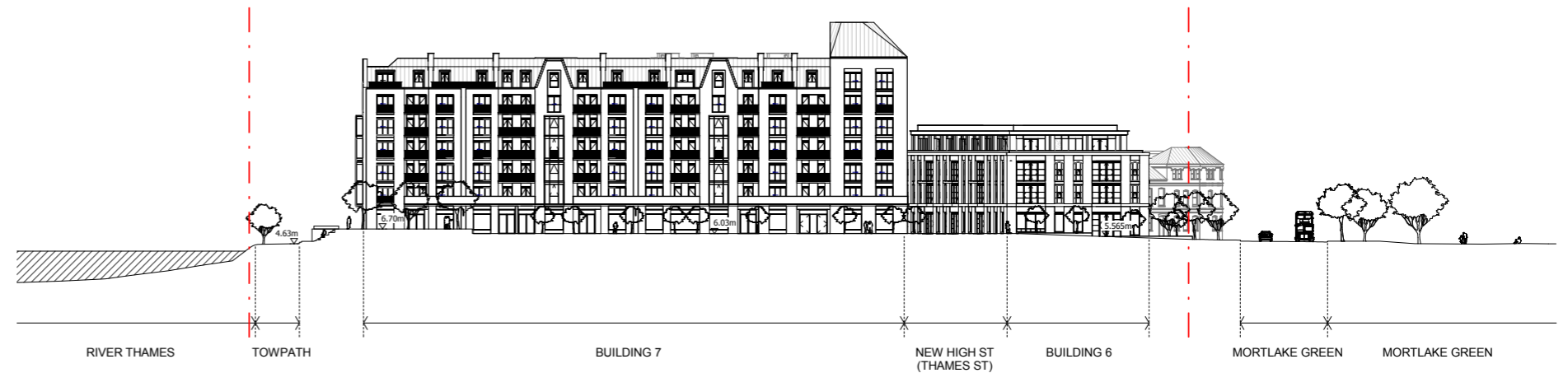
We believe that the use of the word ‘monotonous’ is not a fair description of the façade. Please refer to the annotated drawing opposite, which should aid in explaining the complexity of the building relief.

### 3. South elevation appears unfinished.

### 4. Turret is oversized and inelegant. Need to reduce in scale – can the 6th floor be accommodated in the turret. This may improve the relationship with Building 6.

### 5. Refer to Elevation CC – massing just too great with building 6. Needs staggered height.

The south elevation has been refined as part of the exercise to refine the corner ‘turret’ elements. As a consequence, we believe this façade has become more resolved in its appearance. When viewed in perspective (as opposed to a 2d drawing such as a section or elevation), the proposal for the turret elements and the overall composition of buildings feels like a natural stepping up of forms towards the centre of the site. The corner elements assist in framing the important ‘Green Link’ thoroughfare that will provide public access from Mortlake Green to the waterfront.



Proposed site elevation CC



Revised perspective view from entrance to Green Link



Proposed west elevation of Building 7 - illustration of hierarchy and variation along length of facade

## Block 8

1. North elevation – wider commercial units at ground floor level.

We acknowledge that there could be opportunity to increase the amount of glazing and visibility in to the ground floor commercial units and will alter these elements wherever we think there is opportunity to successfully do so.

2. Consider putting pitch to gables – will add variation.

Please see response to comment 2 on Building 2.

3. Refer to Section DD – Unacceptable relationship with southern buildings. Out of scale. Need staggering.

Please see response to comment 5 on Building 7.

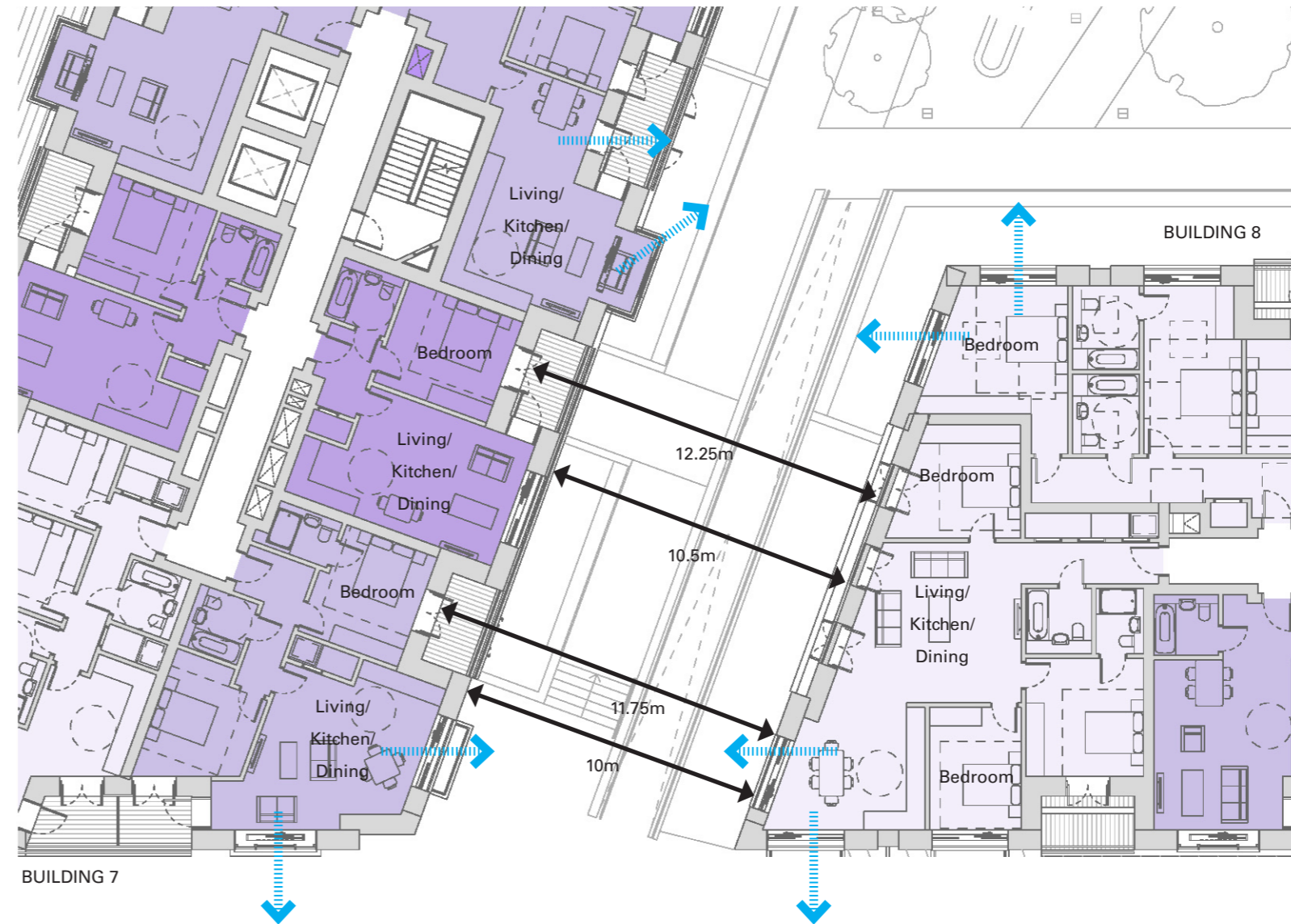
### Relationship

4. Block 8 with 11: Only 15m gap and single aspect. Why acceptable.

Please see section dedicated to 'Proximity of Buildings'.

5. Block 8 with 7: Only 10m gap. Unacceptable living conditions.

Please see section dedicated to 'Proximity of Buildings'.



Proposed typical floor plan - Buildings 7 and 8

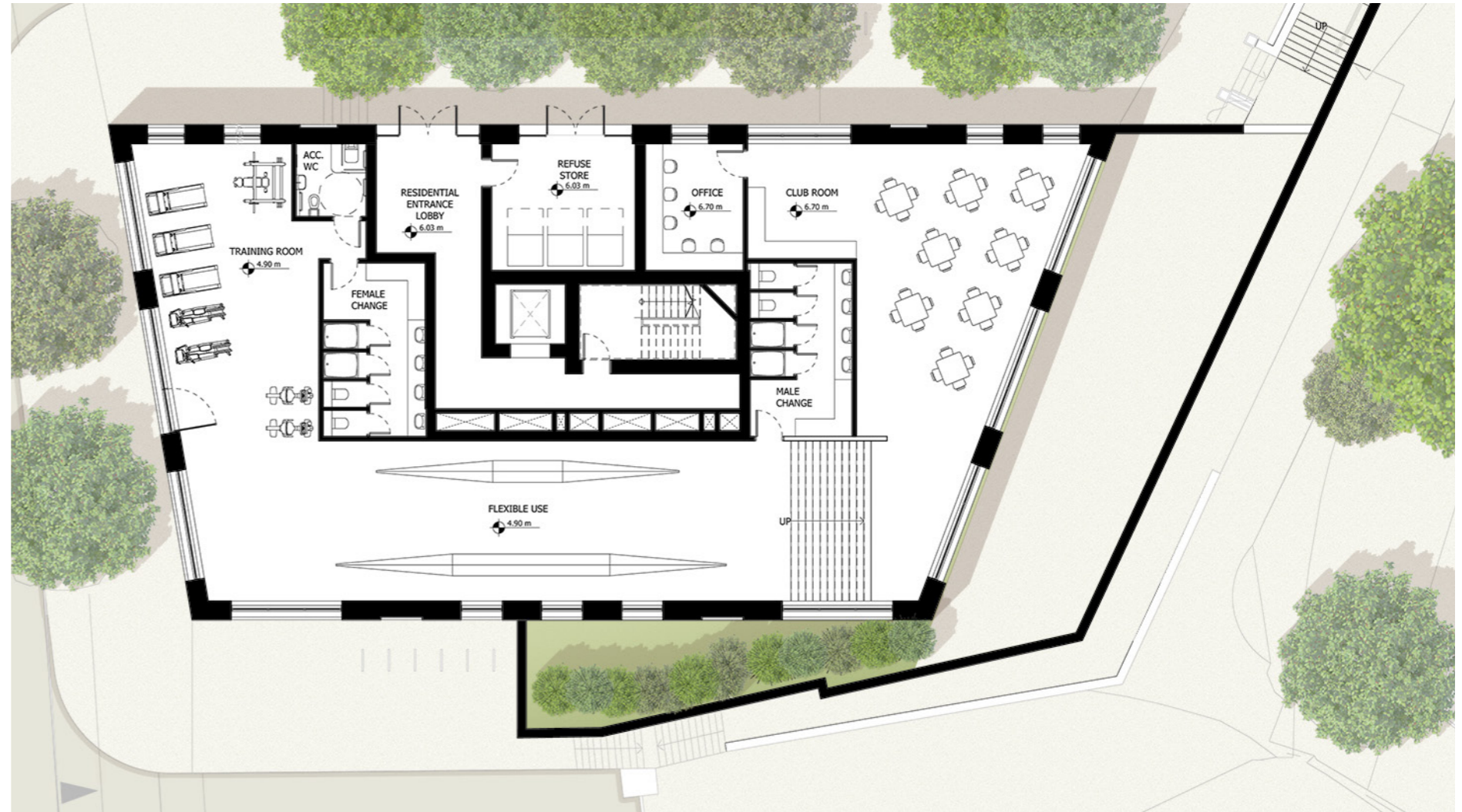
Block 9

1. Provide updated elevations.
2. Provide section through, showing level changes from floor to river.
3. Removal balustrade at roof level.

The proposal for Building 9 has been altered to respond to comments from the environment agency regarding current and future flood risk. The revised proposal provides a means of defence along the building façade as opposed to within the ground floor of the building. The proposal also incorporates a raised terrace area, beneath which a storage area for rowing boats (or other water sport equipment) is proposed to provide ease of access to the existing slipway. The balustrade at roof level was proposed as a means of edge protection (from risk of falls) to any maintenance personnel when accessing roof top plant. We would not recommend removing this balustrade since this would pose a health and safety risk.

4. Ensure plant is at centre of roof level.

The roof top plant has already been configured in a manner that provides minimal impact to the appearance of the building. The parapet level facing Mortlake High Street masks the roof top plant from view.



Proposed ground floor plan - Building 9



Proposed north elevation - Building 9



Proposed east elevation - Building 9

Block 10

1. North elevation 'dead frontage'.

The 'dead frontage' is caused by the ramp access to the car park. This access location is constrained by existing highways circumstances and by technical issues relating to the ramps fall and turning radius. Unfortunately, there is very little that can be done to reduce the impact of the ramp (i.e. by moving location of and/or reducing length of the ramp) other than to provide obscured glazing to these openings. The obscured glazing could incorporate advertising and/or public notices and the design of these features could be conditioned.

2. South elevation – broken up with glazing. This works successfully – something more radical is needed for Block 7 in particular.

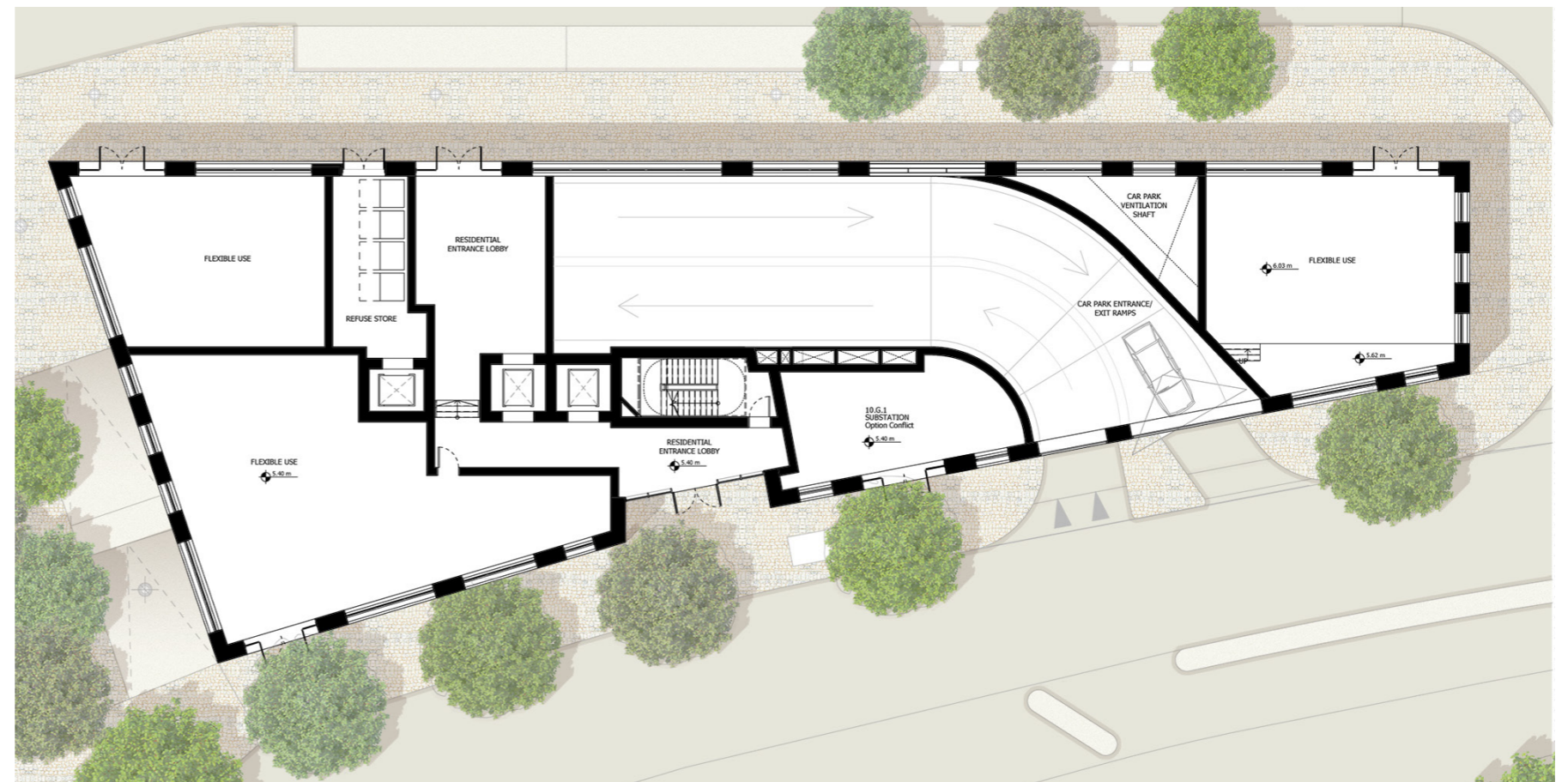
We believe that it would be inappropriate to break-up the length of mansion Building 7 with a glazed link. We have carefully crafted a contemporary version of the historic mansion typology that was extensively built during the Victorian era to deliver extensive new housing stock to a higher density. We believe the glazed link (which would need to be at least seven storeys high) would sit uncomfortably with this already very varied and undulating elevation.

3. Poor frontage on south elevation – entrance, substation, rear of flexible uses and car park.

The ground floor level of this building is constrained by technical requirements (see response to item 1), however we have endeavoured to introduce amendments to increase width of glazing to flexible use units.



Revised north elevation - Building 10



Revised ground floor plan - Building 10

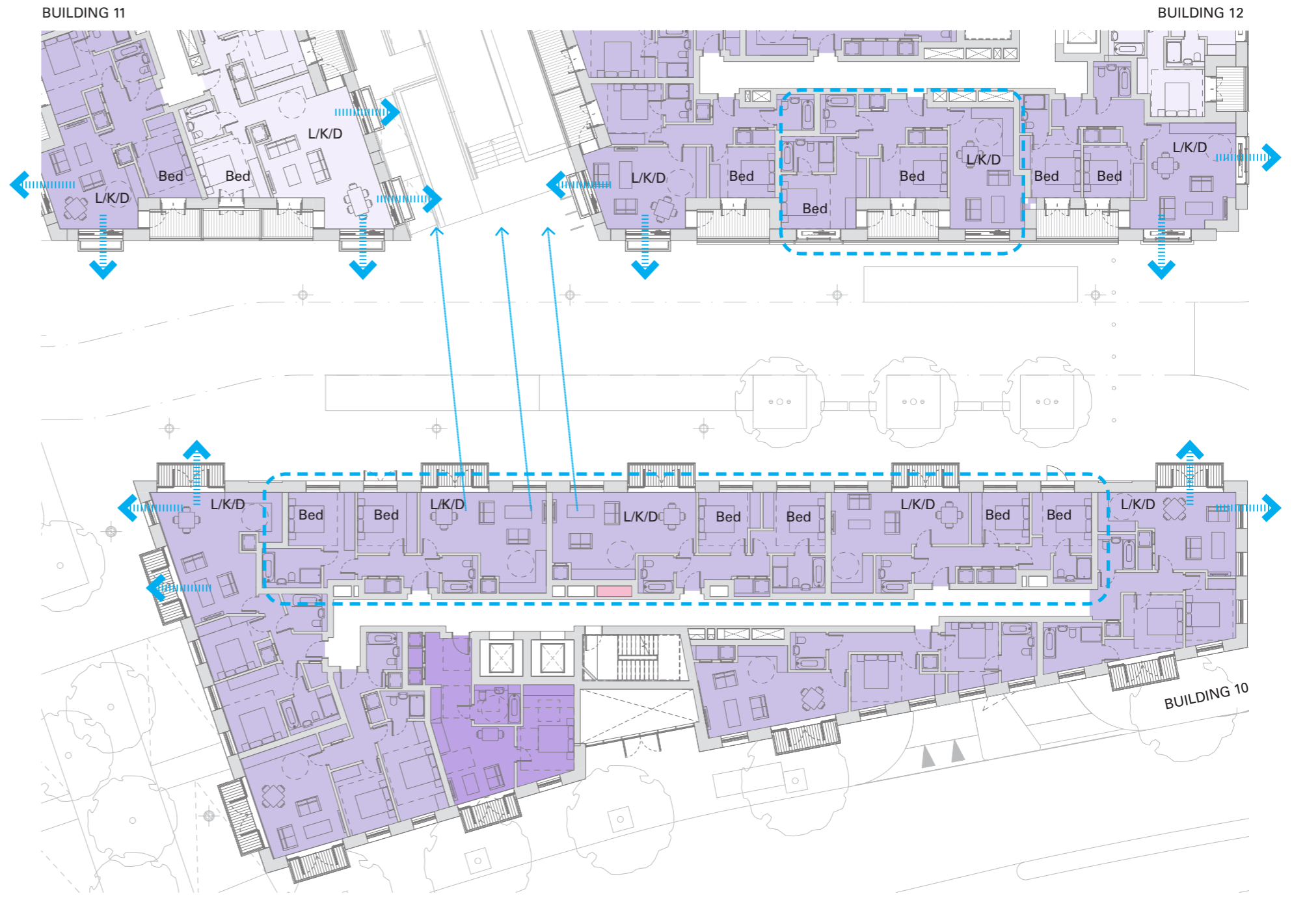
- Block 10 with 11 and 12; only 13m and incorporates north facing single aspect units.

Please see section dedicated to 'Proximity of Buildings'.

This building transitions between the two geometries of Mortlake High Street and the proposed new Thames Street route. The result is a very long, narrow and tapering building shape. As previously explained, the car park entrance ramp has had to be located in the base of this building (due to highways constraints) and this route cannot be interrupted by structural columns and/or vertical circulation cores. The vertical circulation core has been deliberately located to avoid disrupting the ramp, however this means that corridor access and single aspect units are required to make this building feasible as a residential building.

- Surrounding blocks (5, 11, 12 and 9) are only 13.5 – 15m from the facades. All such distances fall below the 20m standard for privacy levels – how will the scheme prevent unacceptable overlooking, and ensure that flats are not overbearing to future occupants.

Please see section dedicated to 'Proximity of Buildings'.



Proposed typical floor plan - Buildings 10, 11 and 12

Block 11

1. On north and south elevations – widen the commercial frontage.

Please see response to item 3 on Building 2. We will be re-submitting drawings with increased glazing widths to flexible use frontage.

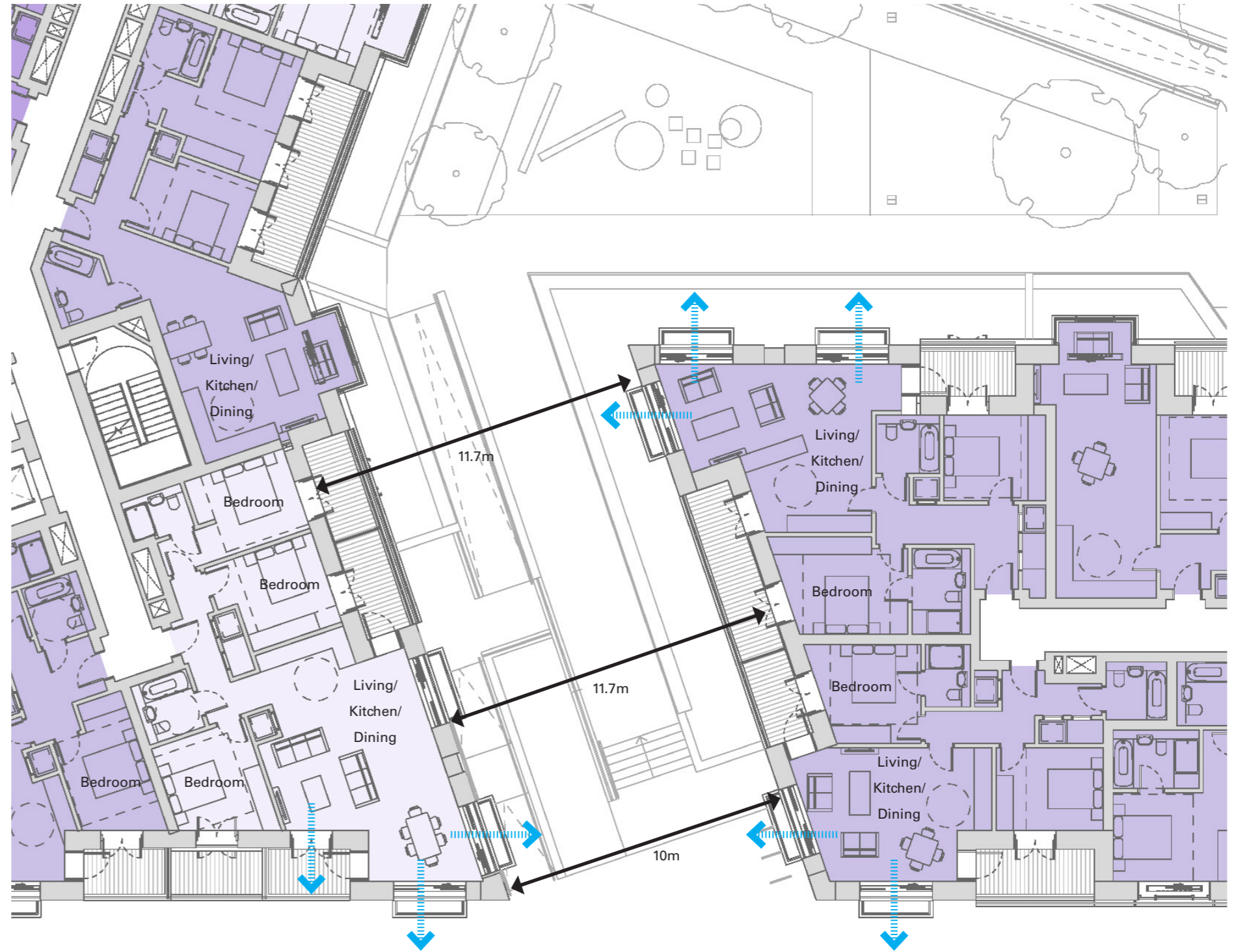
2. Block 11 with Block 12: Only 10m gap between and single aspect. Unacceptable living conditions.

Please refer to response to item 14 on Building 6 for an explanation of street widths.

We would note that all facing units are dual aspect and that living rooms are located on the corners of each of the units and therefore benefit from dual aspect. Bedrooms are provided on the set back areas of façade, are set apart by more than 13m and are screened by balconies and balustrades.

3. Block 11 with 8: Only 15m and single aspect. Unacceptable living conditions.

Please see section dedicated to 'Proximity of Buildings'.



Proposed typical floor plan - Buildings 11 and 12

## Block 12

### 1. Top floor appears unbalanced

The massing of the top two storeys of the building (fifth and 6th floors) has deliberately been sculpted to provide variation in the heights to the surrounding streetscapes and views from the River Thames. The stepping of this mansion building is reminiscent of historic precedents, which successfully transitioned between contrasting context. This building sits amongst a variety of mansion and warehouse type buildings set at varying heights.

### 2. Size of windows at upper floor unacceptable, and 5th floor unbalanced

A variety of window sizes have been provided to the mansard roof element – this is to address the use of the rooms internally (living rooms benefit from larger windows than bedrooms).

### 3. Roof form – the mansard does not work successfully at an angle.

We would refer you to the CGI views from the waterfront to more clearly understand the massing of the mansard roofscape. The 2d line drawings do not clearly demonstrate the impact of perspective on the appearance of the roof geometry.

### 4. Block 12 with 11: Gap only 10m – unacceptable living conditions

Please see section dedicated to 'Proximity of Buildings'.



Proposed north elevation of Building 12



Revised CGI view of Development Area 1

### Block 13

1. It is recommended a section through public house – existing and proposed is provided. There are concerns over the relationship with this BTM. Providing the sections/ comparison may assist.

The Design Code document has been revised to more robustly address the relationship of Building 13 to the public house.

### Block 20

1. Most eastern unit has an unacceptable relationship with properties to the rear. Whilst there is a large garden at Aynescombe Cottage, this would be hard up against the side boundary raising issues of overlooking and visual intrusion.

The Design Code document has been amended to incorporate a statement preventing the incorporation of windows on this flank elevation of the building.

In terms of visual intrusion to the Aynescombe Cottage, there are no windows opening on to the shared access route that separates the Stag Brewery site from the cottage. In terms of visual intrusion into the private garden, it is unlikely that the proposed terraces houses will be dominant in the view past the outbuilding and garden boundary wall, which is higher than eye level.

There are no plans available on the Planning Portal of The Old Stables and the shared route is blocked at this point, therefore it is difficult to establish what the impact on this property would be, although it is likely that a boundary wall exists and that it is similar in nature to that of Aynescombe Cottage.

### Block 21

1. Western unit has an unacceptable relationship with properties to the rear. The rear elevation virtually touches the rear boundary – overlooking and visual intrusion.

The Design Code document has been amended to incorporate a statement preventing the incorporation of windows on this flank elevation of the building. Furthermore, the north eastern corner of this block is set back from the rear elevation of the adjacent property (Tudor Lodge) by at least 32.7m.



Proposed site plan - Development Area 2



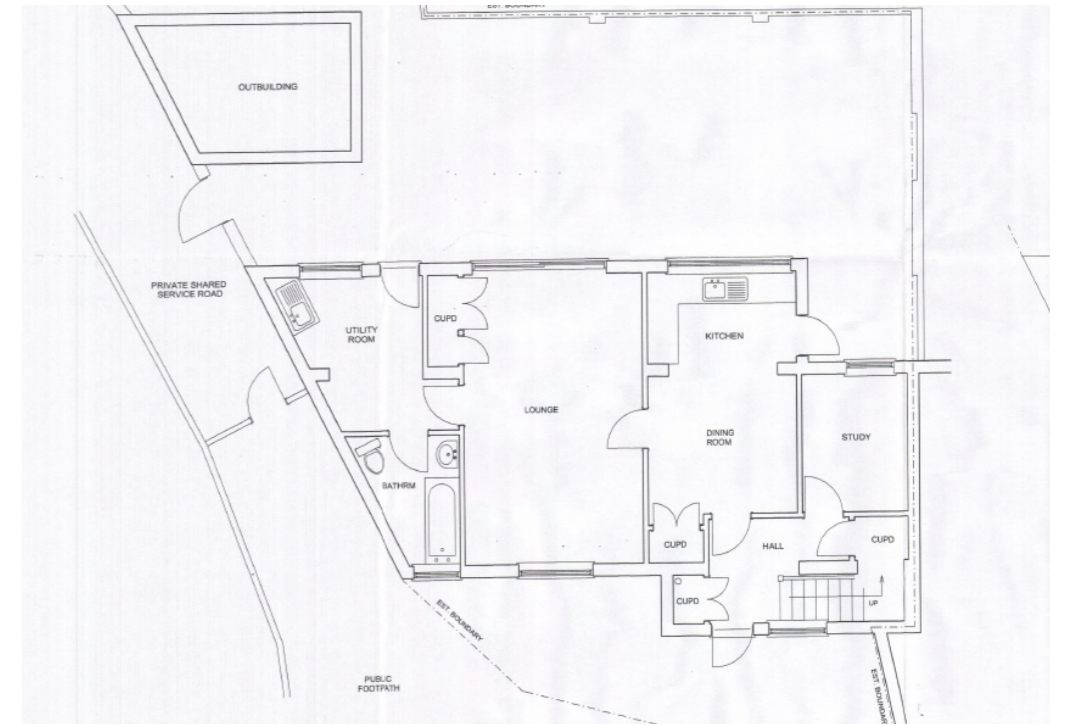
Photograph showing obstruction to shared access route



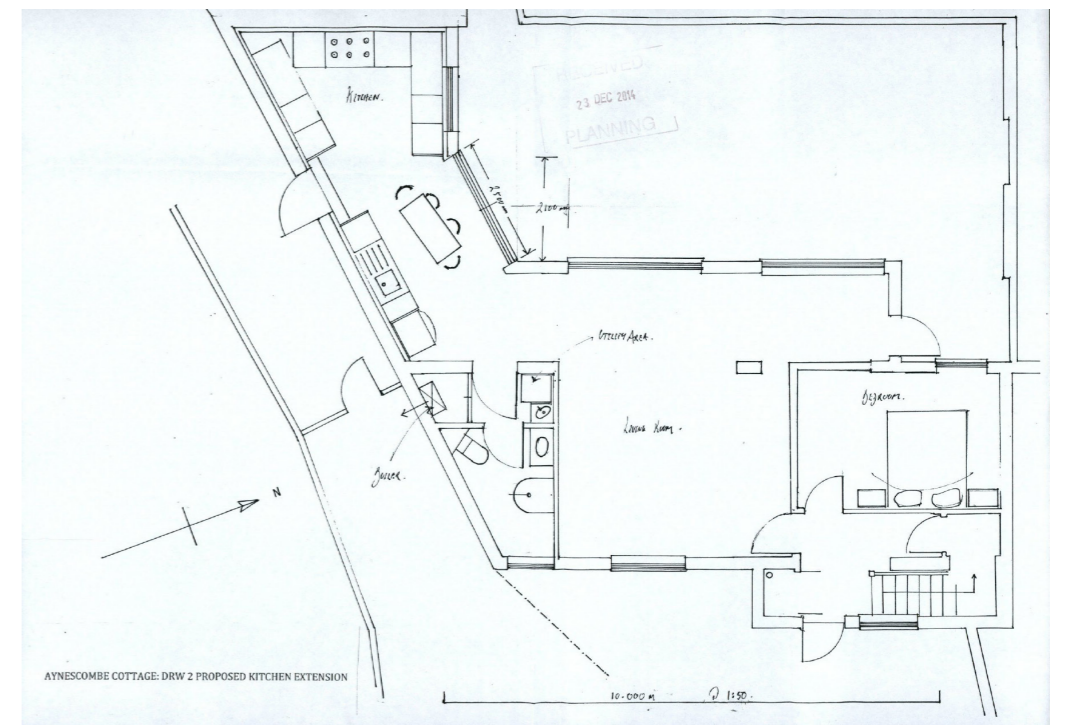
View looking along shared access route towards Aynescombe Cottage (roof in background)



Proposed site plan - Development Area 2



Plan of Aynescombe Cottage (prior to extension) showing extent of garden and associated out building



Aynescombe Cottage extension plan

## Quality of Accommodation

LPA disagrees with para. 12.51 of planning statement, " This section demonstrates that the proposed residential units would be of excellent quality and would provide suitable living conditions for the new residents. Residential density is appropriate for the Site's location and unit mix and sizes are in line with relevant policies and guidance."

1. Design and Access Statement (6.2.1) states where window to habitable room faces another building less than 10m away, transitional glass will be used. The document refers to diagram below.
2. Relationship between buildings:

Front to front relationships: Looking at local context, this does fall below the 20m:

- Waldeck Road – 6-6.2m
- Alder Road – 17m
- Victoria Road – 14-18.5m
- Mullins Path – 12m
- Fitzgerald Road – 14.75m

A number of the relationships fall short of the 20m target and are typically below the local context distances. In particular:

- Buildings along Thames Street

Rear to side relationships: object to the following relationships. No justification, mitigation:

- Building 2 to Building 3
- Building 7 with Building 8
- Building 11 with Building 12
- Building 4 with Building 3
- Building 19 with Building 18

Side and side relationship: No plans provided, however, these windows must be non-habitable/ secondary, otherwise object:

- Building 15 and Building 16
- Building 14 and Building 15
- Building 13 and Building 17

Please see section dedicated to 'Proximity of Buildings'.

Planning statement indicates 5% are north facing single aspect.

Following is a summary of all single aspect north facing units:

Building 2 (8 units): 2.6.5, 2.6.6, 2.G.7, 2.1.11, 2.2.11, 2.3.11, 2.4.11 and 2.5.11

Building 3: None

Building 4: None

Building 6: None

Building 7: None

Building 8 (1 unit): 8.G.5

Building 9: None

Building 10 (10 units): 10.1.2, 10.1.3, 10.1.4, 10.2.2, 10.2.3, 10.2.4, 10.3.2, 10.3.3, 10.3.4 and 10.4.1

Building 11 : None

Building 12 (5 units): 12.G.2, 12.1.7, 12.2.7, 12.3.7 and 12.4.7

The total number of single aspect north facing units is 24 (out of 439 units within Development Area 1). This equates to exactly 5% of the Development Area 1 total.

## Brewing function

Possibility of a microbrewery to continue an element of brewing at the site.

Reselton Properties are in discussion with various brewing organisations and will do whatever they can to incorporate a small scale brewing facility on the site.

## Mansion blocks

1. Turrets are a late iteration in the design. Whilst the concept may be acceptable they appear unresolved and somewhat ungainly. Require further design alterations and detailing.

Turret elements have been re-designed and drawings substituted.

2. Balustrades to balconies; These are rather standardised and uniform. More variety would be beneficial. Possible case for an element of public art.

We provided explanation within the Detailed Design DAS for the varied treatment/design/specification of materials and decorative metalwork elements. We suggested that the mansion buildings should be treated as clusters (2 and 3, 7 and 8 and 11 and 12) with shared but differing characteristics. We would anticipate that the specification and design of these elements (brick selection, metalwork colour and design and roof tile specification and colour) would be conditioned.

## Warehouse blocks

It is recommended stone banding replaces concrete and would go well with the brickwork indicated. Replace concrete banding with stone.

We would anticipate that the materiality of the masonry banding would be conditioned, however from past experience we believe that there are various high quality concrete options that could provide the appropriate colour and texture.

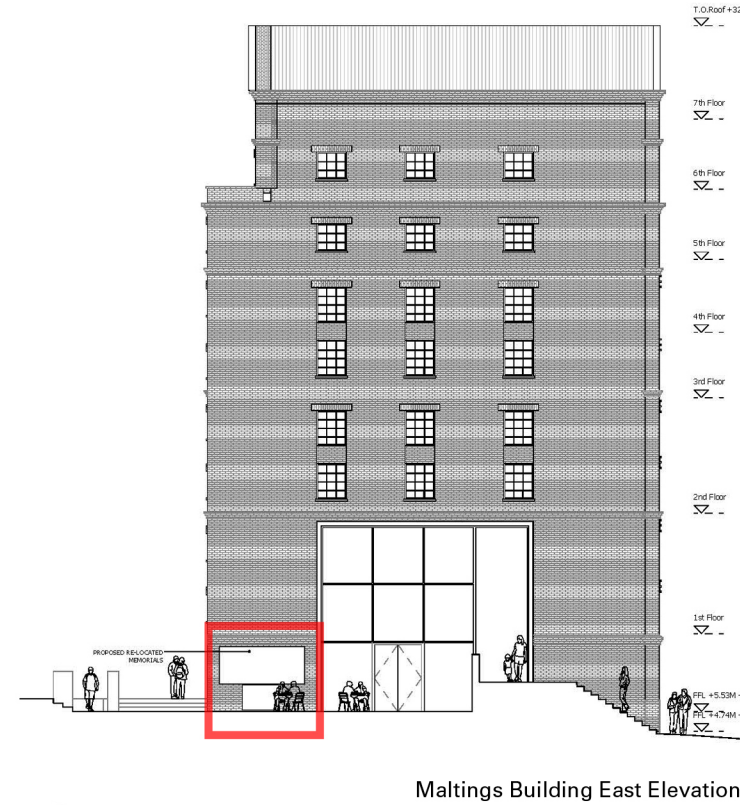
Other Heritage Assets

1. Memorial plaques + cast concrete Stag sign: relocation at the Maltings, Stag sign suggested for the High Street façade of the Bottling building, which would seem appropriate, although elsewhere, in the D+A S, it refers to repositioning by the Maltings.

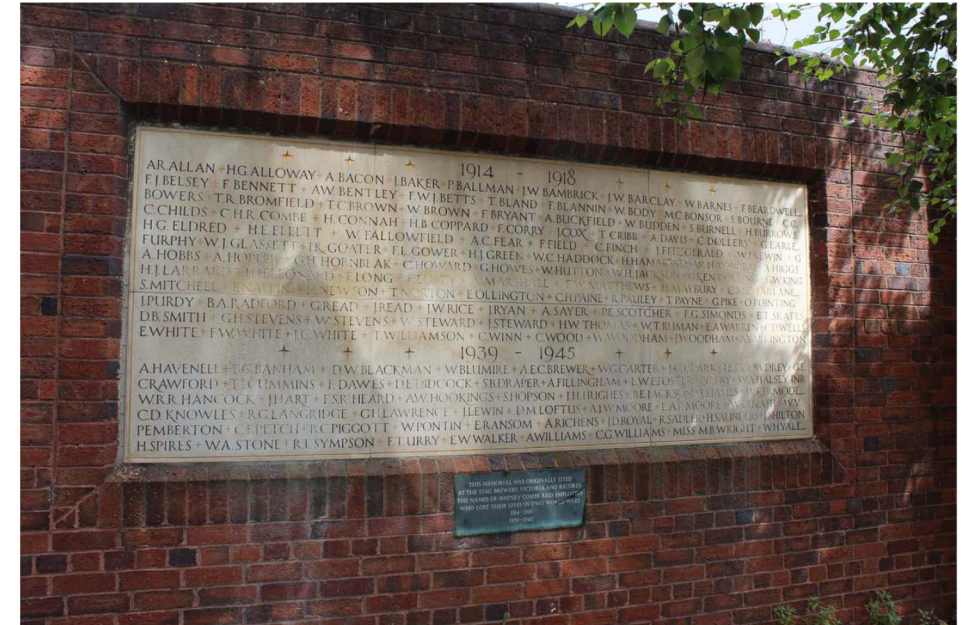
Memorial Plaques:

- A Memorial to Brewery workers who fell in WW1 and WW2
- B Memorial to two Brewery workers who died attempting to rescue a colleague

We propose the plaques be repositioned at the eastern end of the Maltings building – facing the café terrace and Maltings Plaza.



Location plan



A Existing memorial plaque - to fallen workers in World War 1 and 2 - be relocated within new development



B Existing memorial Plaque - to Brewery workers who lost their lives attempting to rescue a colleague

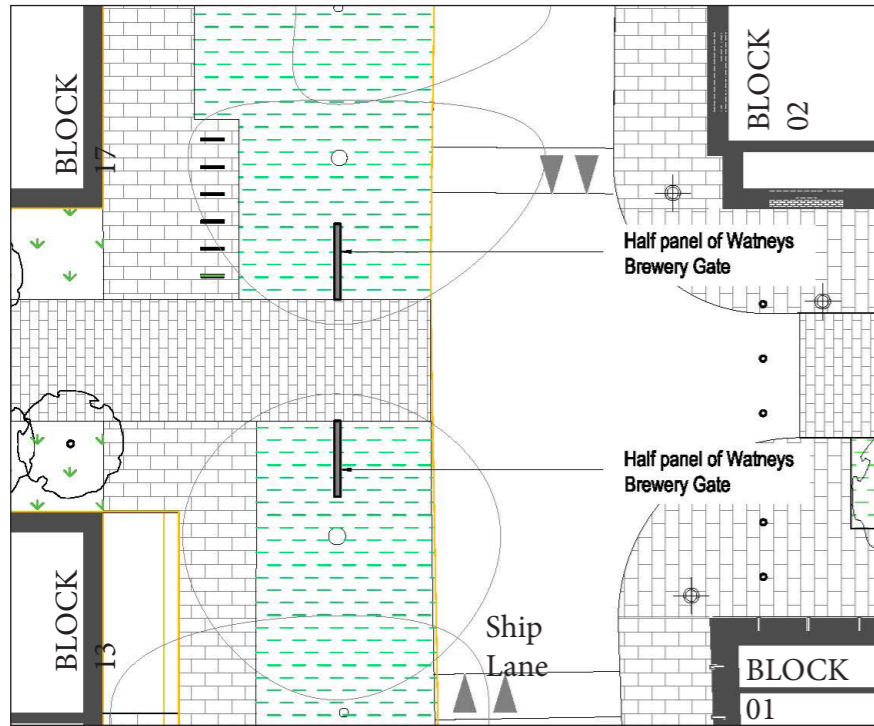
2. Gates: to be relocated, positions do not seem to have been determined yet.

The original proposal to relocate one pair of gates at the Rowing Club courtyard no longer works due to changes for flood control and levels / layout. The Watneys' Brewery gates from Williams Lane entry (refer image attached – 5.65m wide) is proposed opposite the end of Thames Street to terminate this view.

Stage Brewery Gate 1 is positioned on the edge of the site facing Mortlake High Street, adjacent to the pedestrian crossing and entry to the site between buildings 5 and 10.

Stage Brewery Gate 2 is proposed across the northern end of the Green Link, defining the separation between the soft landscape and hard paved Maltings Plaza.





Watney's Brewery Gates Location on Plan



Stag Brewery Gate 1 Location on Plan



Stag Brewery Gate 2 Location on Plan



Watney's Brewery Gates - from Williams Lane



Stag Brewery Gate 1 - from one side of main entrance on Lower Richmond Road (5.0m wide)



Stag Brewery Gate 2 - main entry gates from Lower Richmond Road (7.0m wide)

## Heights

There now appears to be less sudden changes in scale than before, which created an uneasy feel to the townscape. There are however some remaining concerns:

1. To the rear of the Jolly Gardiners PH, heights appear to increase rather suddenly which detracts from the setting of the BTM. Height of buildings in relation to the Jolly Gardiners PH & other BTM PH opposite) - Lower unless can be justified.

Please refer to response to comments on Block 13. You will notice that the visualisation below demonstrates that the proposed massing will not visually dominate the view of the existing public house building.



Illustrative perspective view looking east along Mortlake High Street



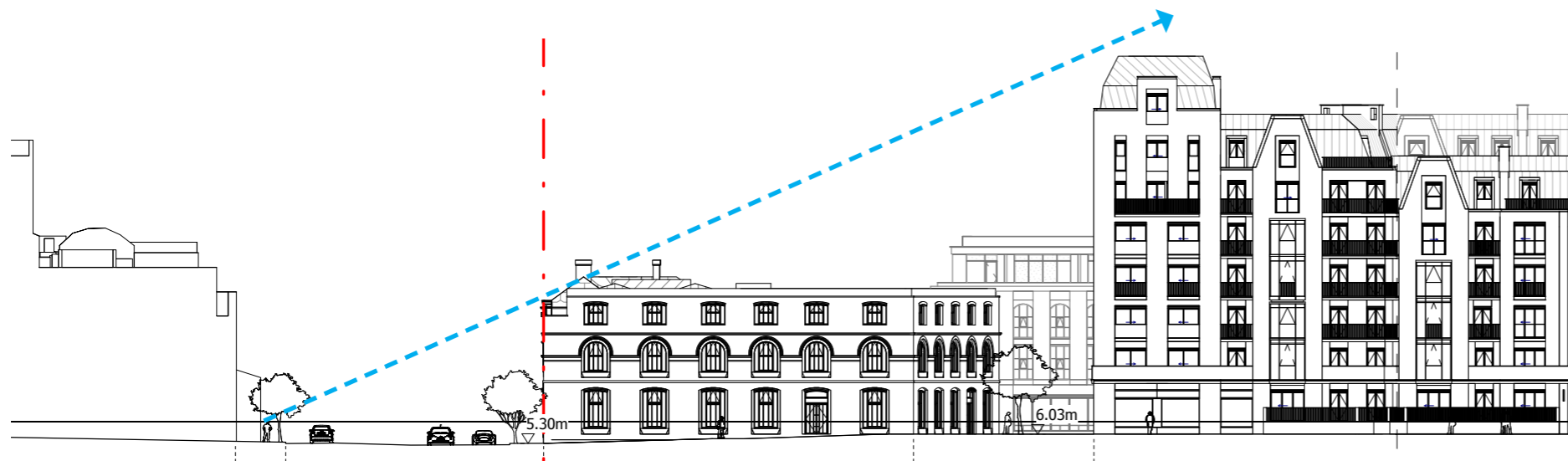
Revised perspective view looking along Ship Lane



Submitted perspective view looking west along Mortlake High Street



Revised perspective view from Mortlake Green



Proposed section showing sight lines from Mortlake High Street towards B6 and B8

2. Whilst the riverside view is acceptable, the relationship between Blocks 6 and 8 and Thames Street and BTMs remains far from ideal/ satisfactory. These will appear over-dominating, over-scaled and towering over the BTMs. (Double the height). Block 6 and 8: Lessen heights adjacent to these BTMs. Set back upper floors.

We disagree that the taller buildings will appear dominant in views towards the site. While the 2d site sections show a more dramatic step in height (as described), the perspective visualisations demonstrate that foreshortening of views towards the site diminishes this step in height. The step between B6 and B7/ B8 will instead appear as a more gradual stepping up in built form. In fact, the view demonstrates that only part of sixth and the whole of seventh floor levels of Buildings 7 and 8 will be visible from the view from Mortlake Green above the parapet of Building 6 (despite there being a difference of three storeys).

Furthermore, views looking along Mortlake High Street demonstrate that the massing of Buildings 7, 8, 11 and 12 is not visible above the parapet line of the existing and proposed buildings along the High Street. The section opposite demonstrates that it is highly unlikely that they will be visible looking in a perpendicular direction to the high street (except through the breaks in the buildings) due to the width of the street and height of buildings in the foreground.

3. Floor levels should tally visually with the BTM. Adjust floor levels so more visually consistent with BTM.

The existing BTMs in this location (former hotel and bottleworks buildings) were built at different times and to suit differing uses, as a consequence the existing floor levels of these buildings vary according to their differing uses. It is not unusual for adjoining and adjacent buildings to express slightly different floor datums in their elevations. These subtle variations serve to respond to the needs of the evolving building uses. Furthermore, the datums expressed in Building 6 are very closely related to those of the adjacent hotel building.

## Lighting Masterplan

The overall approach to lighting is appropriate. However:

1. Cool light sources tend to look uninviting.

We are in total agreement, which is why we have proposed 'warm white' light sources throughout the project.

2. 10m high columns at Maltings Square unacceptable, appearing visually dominant and excessive.

These are intended to be feature columns that frame the space. However, we can reduce these to 6m heights if deemed necessary.

Gillespies comment: Please refer to Lighting Designer Michael Grubb Associate's Strategy.

## Design Code

1. P44 – caption for photo- 'relationship with Jolly Gardeners must be carefully considered'. However, the plans show buildings rising steeply behind the BTM. Demonstrate how the scheme carefully considers the Jolly Gardeners.

Please see response to comments on heights (including visualisation of proposed massing).

## Conditions

1. Materials – Would be beneficial to provide further details – There may be a positive aspect to varying finishes to help distinguish one block from another. Agreement to conditions;

- Brickwork samples and details
- Roofing
- Materials
- Fenestration (sections and large scale details):
  - a. Large openings on Maltings Square
  - b. BTM openings
  - c. Double glazing
  - d. Cinema openings
- Roof plant/ pvs etc.
- Shopfronts/ sections
- Hard and soft landscaping
- Signage strategy

We agree with all of the above items being subject to planning conditions.

## Landscape

1. Bulls Alley; Whilst this appears acceptable from the riverside, the approach from the High Street is poor, needs improvement and detail.

Response:

While the Flood Barrier is retained in situ, we have proposed a number of amendments to this corner of the site and Building 9, following discussions with Environment Agency regarding flood protection. This has resulted in changes to the Rowing Clubhouse and access and storage for boats.

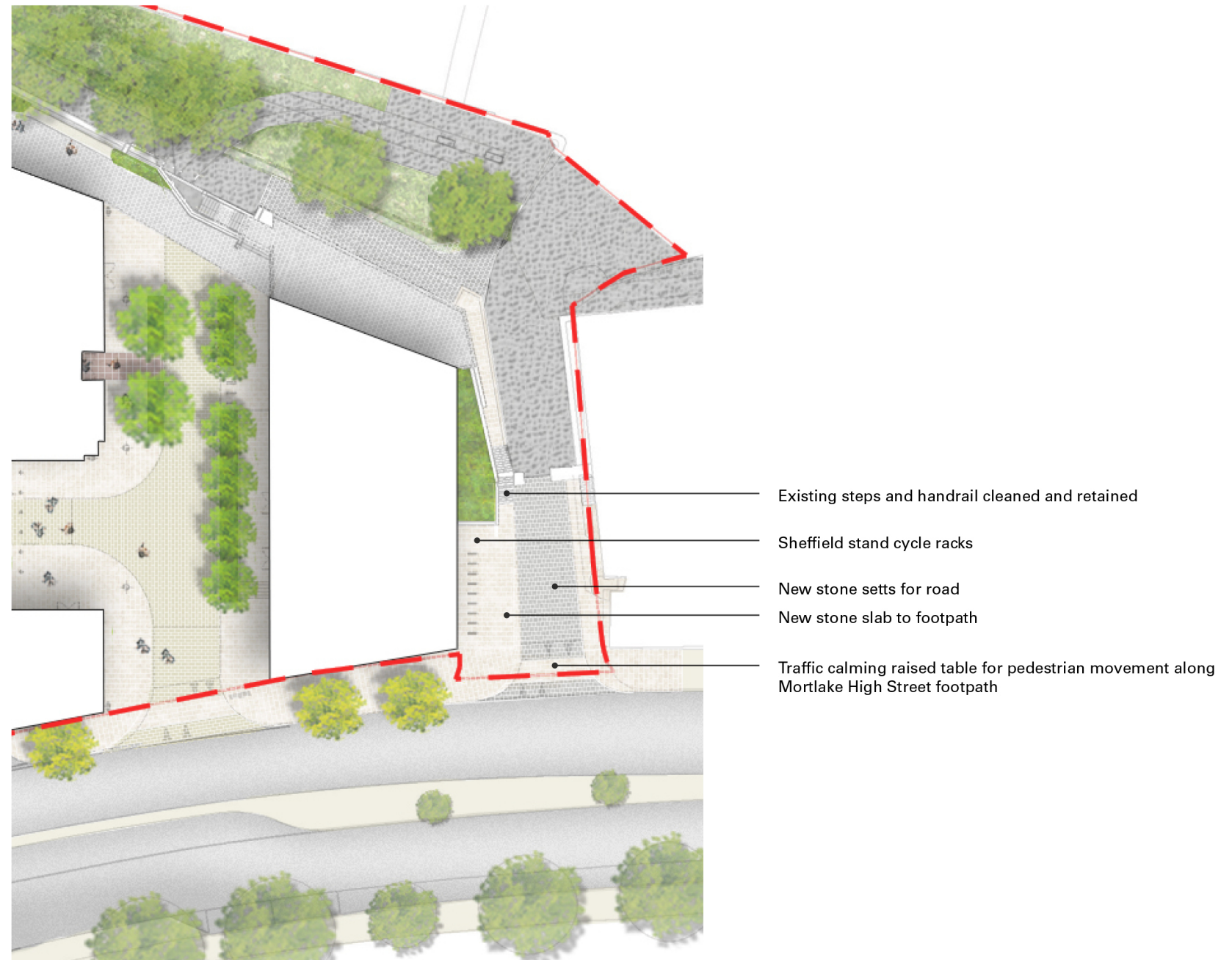
(refer plans)

A number of improvements had been proposed to the Tow Path at this end of the site, including upgrading pavement and historic information related to the existing cobbles and rail tracks from the Brewery crane and remnants of the wharf in this location. Refer to Tow Path plans below.

On the High Street side of the flood gates, pavement upgrade is proposed, to define vehicle and pedestrian access, provide a raised table to accentuate pedestrian priority along the High Street and added cycle parking stands in this area. In addition, the existing wall will be cut back and amended to suit the new building B9 configuration.

2. Lack of detailing regarding the traffic calming on Lower Mortlake Road and Mortlake High Street. Although outside the site, any works will be important to the setting of BTMS and the development as a whole.

Please refer to transport assesment.



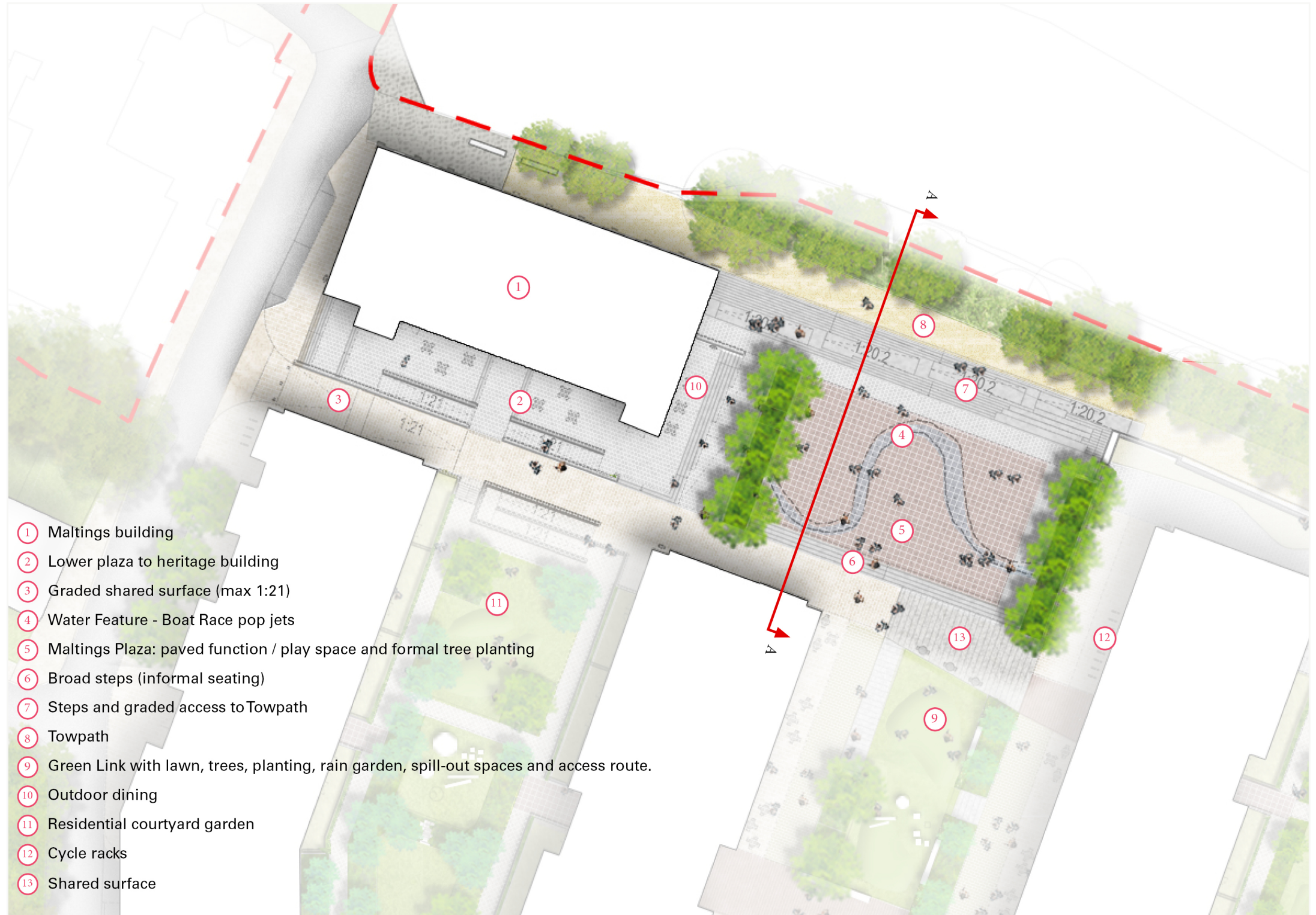
3. Malting Plaza – need to ensure landscaping (including features) does not limit the use of the space.

Noted – we have designed the layout of this important public realm to provide a number of spaces within the larger square, separated by changes of level, planting or access routes. The layout allows the space to be used in a variety of ways, accommodating a large festival or performance, temporary tiered seating for the Head of the River rowing race, smaller exhibitions or markets and individual groups enjoying the facilities and interactive play / water features.

The stepped and ramped access link from Plaza to Towpath also provides informal seating opportunities and viewing to river activities.

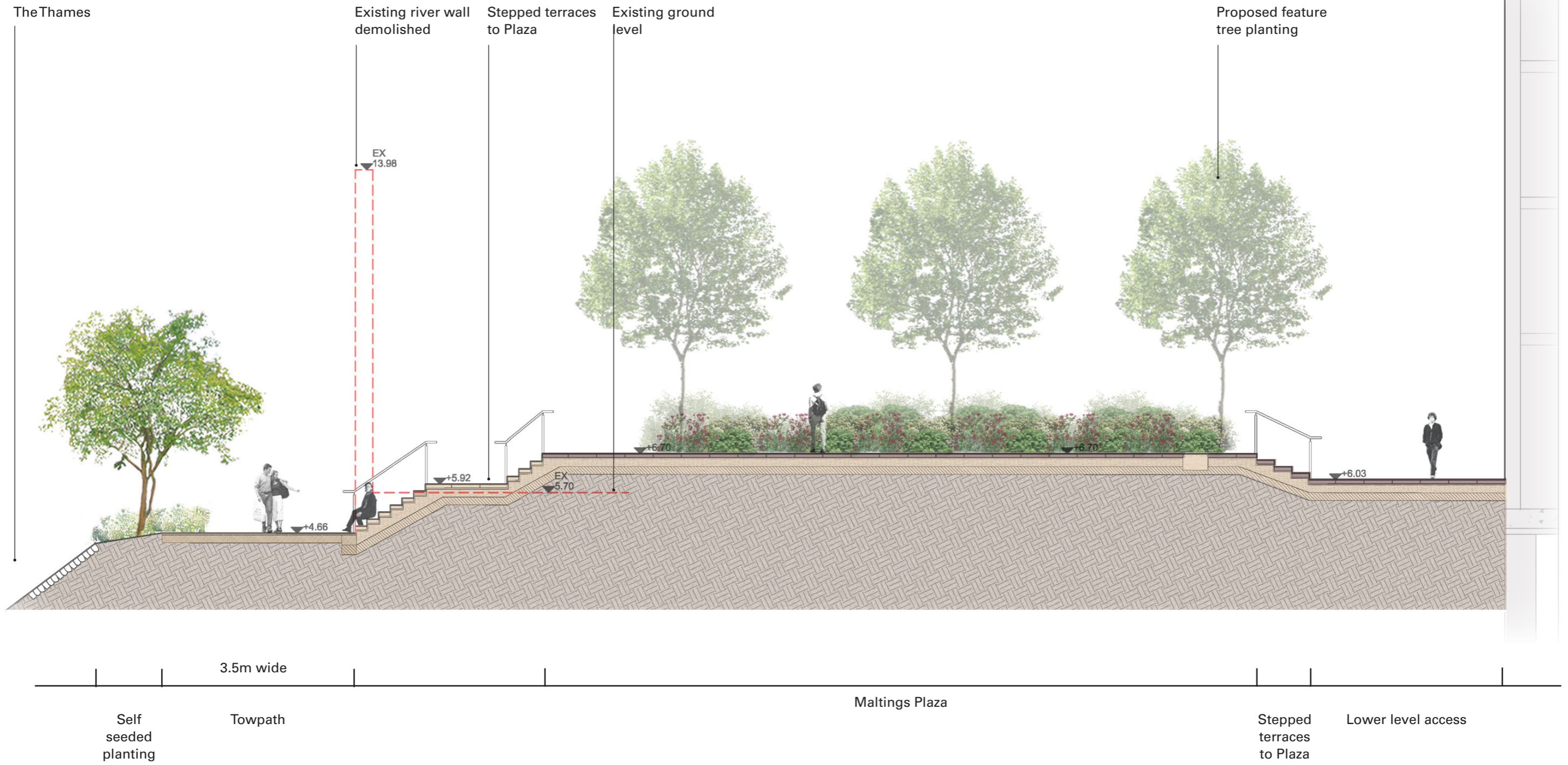
The paved areas also provide a contained seating and outdoor dining space associated with the proposed Cafe in the ground floor of the restored building and other use areas along the southern face of the building, related to the potential heritage or community uses inside the ground floor.

We believe the overall design works well to allow large or small groups to occupy the spaces, or a large crowd or festival to utilise the whole space.



- ① Maltings building
- ② Lower plaza to heritage building
- ③ Graded shared surface (max 1:21)
- ④ Water Feature - Boat Race pop jets
- ⑤ Maltings Plaza: paved function / play space and formal tree planting
- ⑥ Broad steps (informal seating)
- ⑦ Steps and graded access to Towpath
- ⑧ Towpath
- ⑨ Green Link with lawn, trees, planting, rain garden, spill-out spaces and access route.
- ⑩ Outdoor dining
- ⑪ Residential courtyard garden
- ⑫ Cycle racks
- ⑬ Shared surface

Section AA



4. Towpath – Public draw dock (ie Bulls alley)

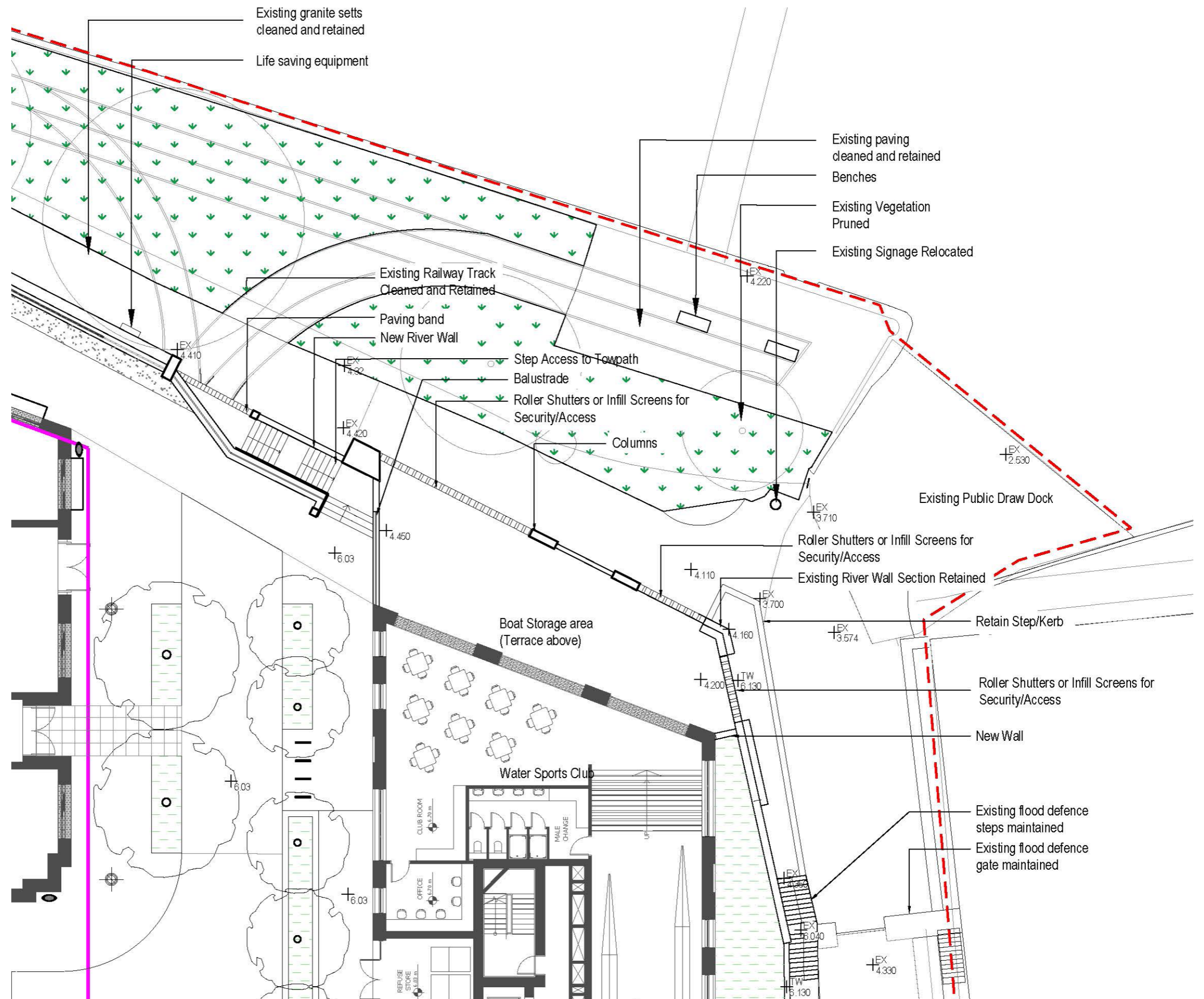
An option to upgrade the Towpath, in particular around the Bulls Alley and proposed Rowing Club end has been included in our Planning Application as a recommended approach to this area – outside our red line boundary.

Also please refer to Bulls Alley in this document.

SCHEMATIC LAYOUT







5. Paving – Whilst the indication of materials appropriate – granite, resin bound gravel, relates to materials used elsewhere in the borough for premium schemes, some use of York stone could be beneficial and appropriate.

Noted – we have not specified Yorkstone but have noted natural stone through much of the public realm. Yorkstone would be eminently suitable for that purpose – in various sizes and thicknesses to suit purpose in different areas. We will include in the next stage of documentation.

6. Street furniture – The stainless steel portray a city centre look, which is not appropriate for this location.

Noted – we will amend selection and re-issue more suitable furniture items – bollards and bins with powder coat finish and styling to reference the prevailing heritage character as recommended in Richmond Public Space Design Guide. This includes Manchester bollards and Pierhead litter bins as illustrated in attached spec sheets.

7. Signage – lack of detail

Noted – intention is for this detail to be provided at the next stage of design development.



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**Pierhead Litter Bin**  
 BX 2311

Contemporary 63 litre heavy duty cast iron front opening litter bin designed to complement any site whilst maintaining Broxap's high quality standards in strength and durability.

**Dimensions:**

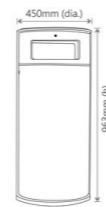
- Capacity: 63 litres
- Height: 963mm
- Diameter: 450mm
- Weight: 152kg

**Features:**

- Cast in 250 grade cast iron BS EN 1561:1997
- Fully galvanized steel liner with safety top edge and 2 handles
- Supplied with a galvanized sheet liner, and two litter posting apertures.

**Options:**

- Can be supplied with town crests/logos or customer designed artwork for an additional price



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**Manchester Cast Bollard / SFD560**

**Product Description**

The Manchester Cast Iron Bollard has a traditional and contemporary design which makes it popular choice with Architects and Councils. The Cast Iron Bollard adds a classic look to any high street, while providing strength.

**Dimensions**

Length 1300mm.  
 Diameter 230mm.  
 Manufactured from Cast Iron, Finished in black gloss.  
 Root Fixed.



### 3. Application B – 18/0548

#### Reveals

Deep reveals are required to improve the design and provide some texture – minimum required 150mm. Confirm.

A minimum 150mm deep window reveal will be incorporated within the design of the school facade.

#### Horizontality

Elevation appears monotonous. Break up the elevations with more vertical elements. It is recommended a different contrasting brick or material for the area around the entrance is incorporated – the full height of the building.

More vertical elements (vertical fins) have been introduced within the building elevations to further break up the horizontality of the school form.

In addition to this, an area for signage has been designated on the South facade and a contrasting brick bond is proposed for the vertical piers (and reveal) around the main entrance area.



Proposed bay study elevation of secondary school



Revised east elevation of secondary school



Revised west elevation of secondary school



Revised south elevation of secondary school

## Roof

Treatment is unclear. This should include green roof – show. Provide more details of screen around roof – this metal cladding screen appears obtrusive and unacceptable. This should be removed / replaced with softer more recessive treatment. What is the screen around the roof – appears obtrusive.

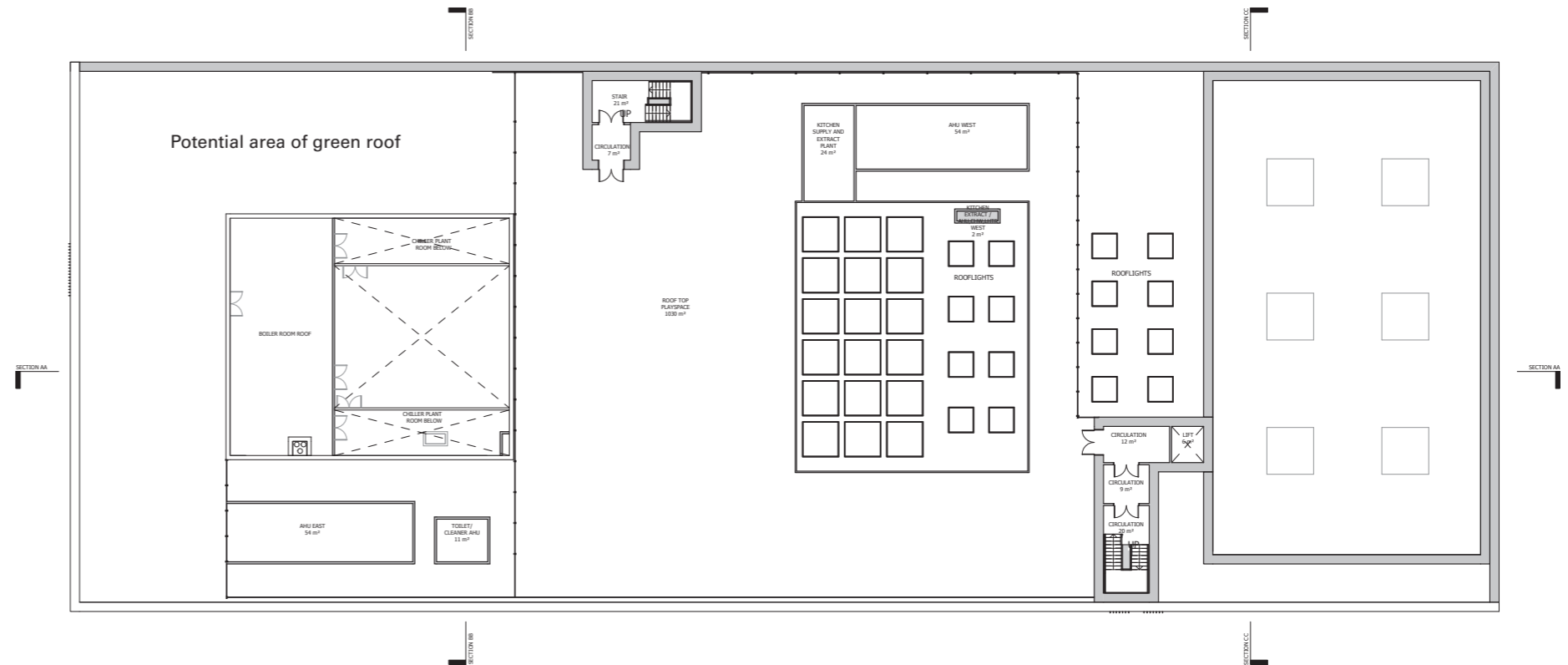
Accessible areas of the roof include plant areas and play space. Play space areas will have a coloured rubberised finish. The remainder of the roofscape will have a different flat roof finish (TBC) and will incorporate rooflights that are raised above surface level.

An area of roof to the North of the building could potentially be utilised as green roof, further to agreement with the ESFA.

## Green wall

Is there any opportunity for green walls?

Green walls require a high level of maintenance, and as a consequence significant costs would be associated with the introduction of these features. Having introduced additional vertical breaks along the building facades, we do not believe that green walls will be required to animate the facades. Aside from this, there is limited opportunity in terms of blank elevations to incorporate green walls.



Proposed roof plan of secondary school



# School

## Sports facilities

Appearance of MUGA and associated sport facilities. It is unclear what these will look like – provide details of: Surfacing, Lighting and Boundary Treatment.

Surfacing of the outdoor school sports facilities are shown in the diagram below.

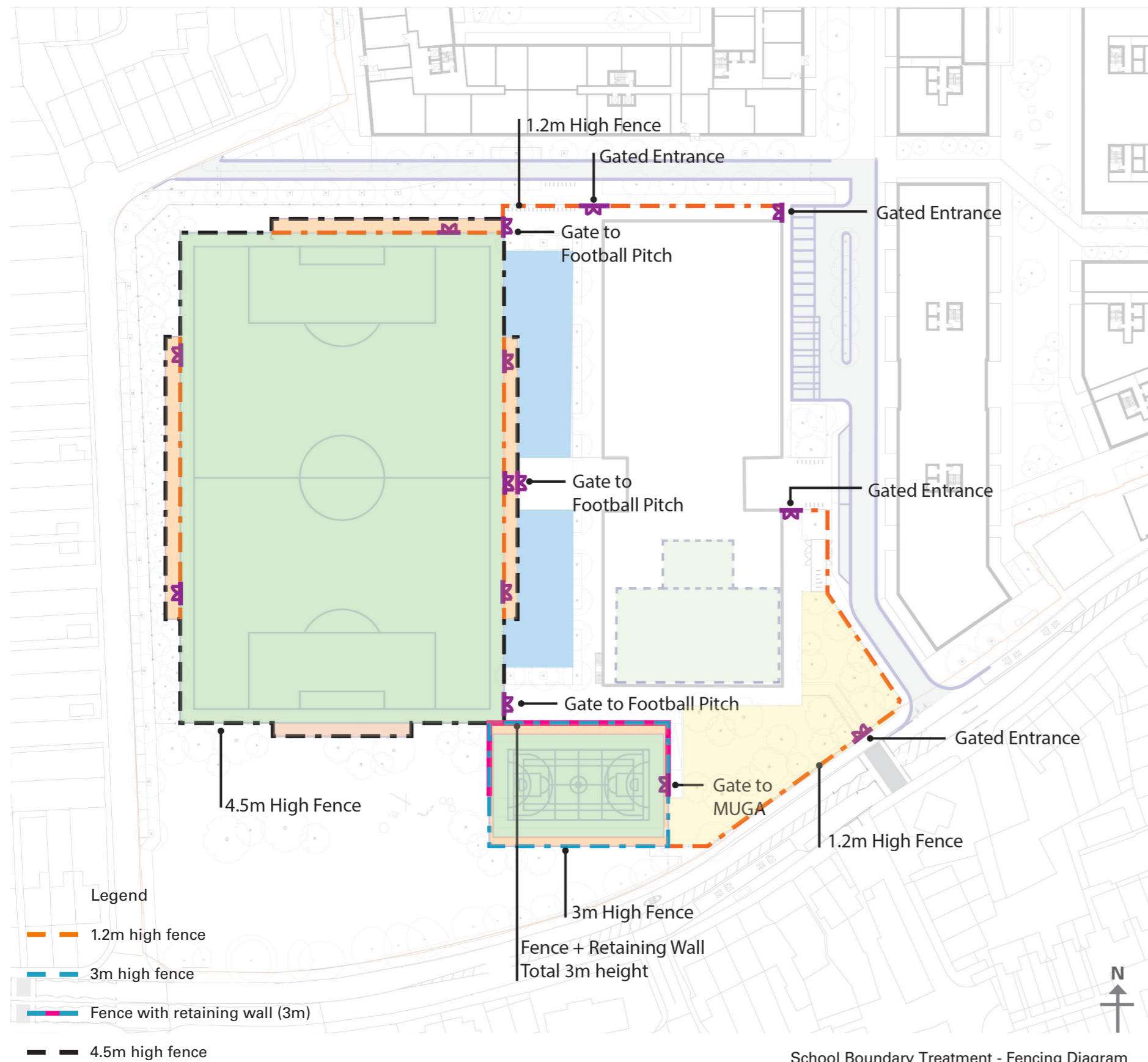


### Boundary Treatment - Fencing

The school grounds will be fenced as indicated and include a full size all weather (3G) football pitch, a Multi-use Games Area (MUGA) and Habitat Area – as designated by Department for Education and Education Funding Agency’s recommendations, as well as circulation and open space for children during breaks and outdoor activity times. These facilities, along with the second Play Space on the roof of the school building, and the indoor gymnasium, will be accessible to the residents of the site development and the wider community of Mortlake under a Community Agreement (a draft has been submitted with this application). This is covered in more detail elsewhere in this submission.

Fencing to Sports Pitch and MUGA, as well as school grounds and Habitat Area will be in accordance with ESFA requirements and Sport England recommendations. Lighting has been designed for the sports pitch to designated FA levels (Category 2&3) – refer to Sports Pitch Lighting Assessment 547-(010)-RP-EX-LA.

Fencing heights of 4.5m, 3m and 1.2m is in accordance with height requirements under SAPCA (Spots and Play Construction Association) Code of Practice for the Construction and Maintenance of Fencing Systems All fence types are twin bar super rebound and black in colour. Products from manufacturers such as ZAUN and Sports & Safety Surfaces or similar approved will be used.

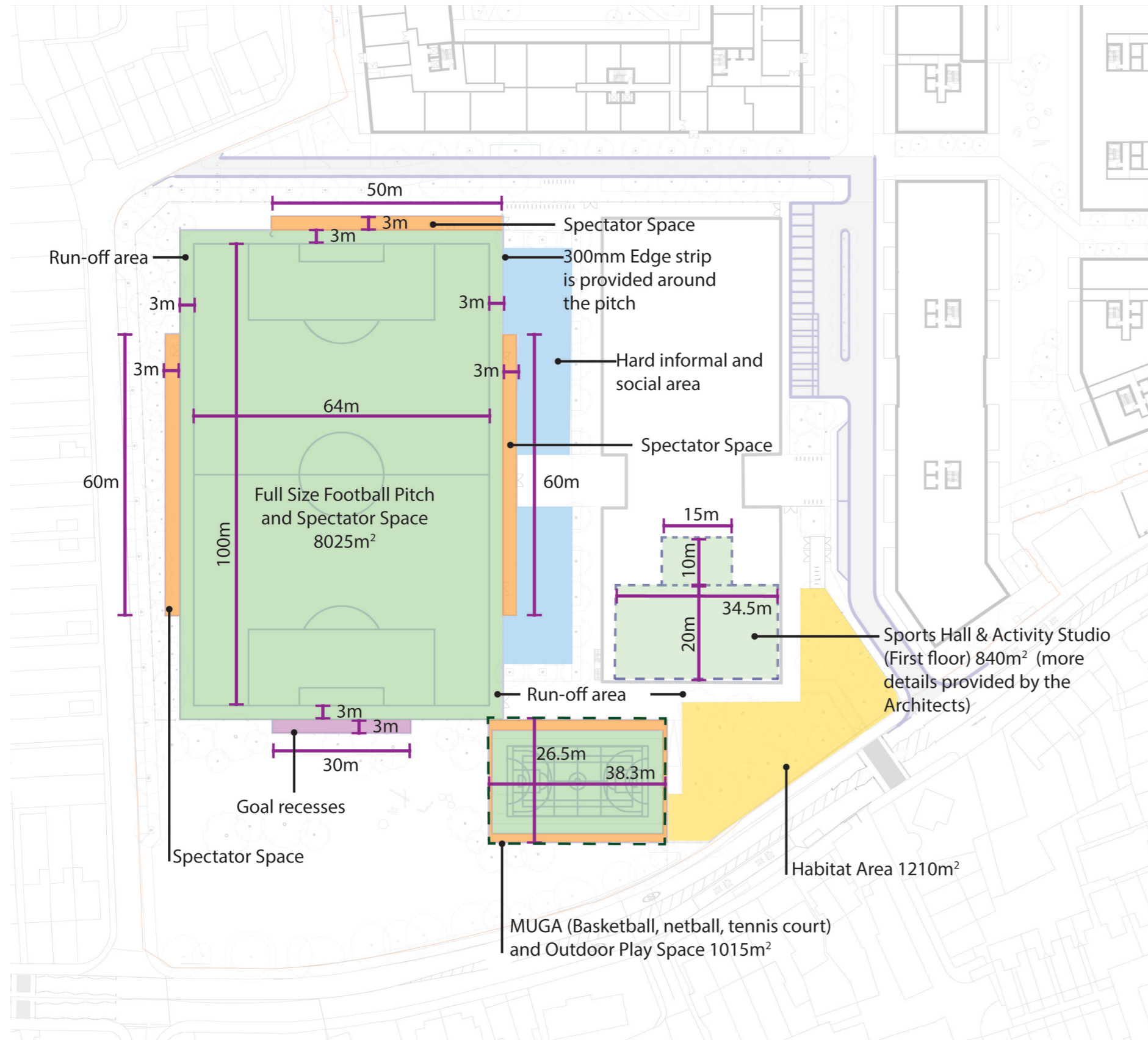


Precedent image from manufacturer ZAUN

### Sports Provision

School Play facilities are considered in the application and have been measured as part of the 12 yr + age group provisions required under LBRuT and GLA Play Space requirements. Sports pitch - full size football pitch with spectator space, MUGA area (Basketball, netball, tennis court) as well as indoor sports hall and rooftop play area are provided for the school development, with total of 12120m<sup>2</sup>.

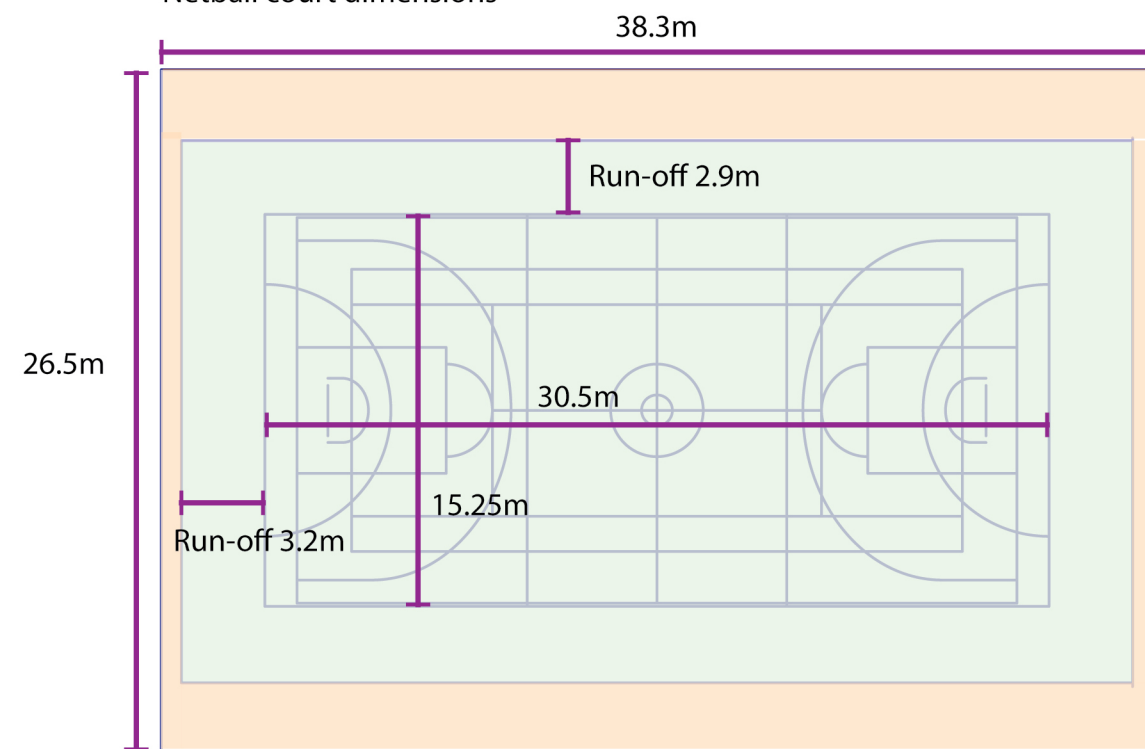
The football pitch and spectator space dimensions are using FA Guide to 3G Football Turf Pitches and designed for site specific condition.



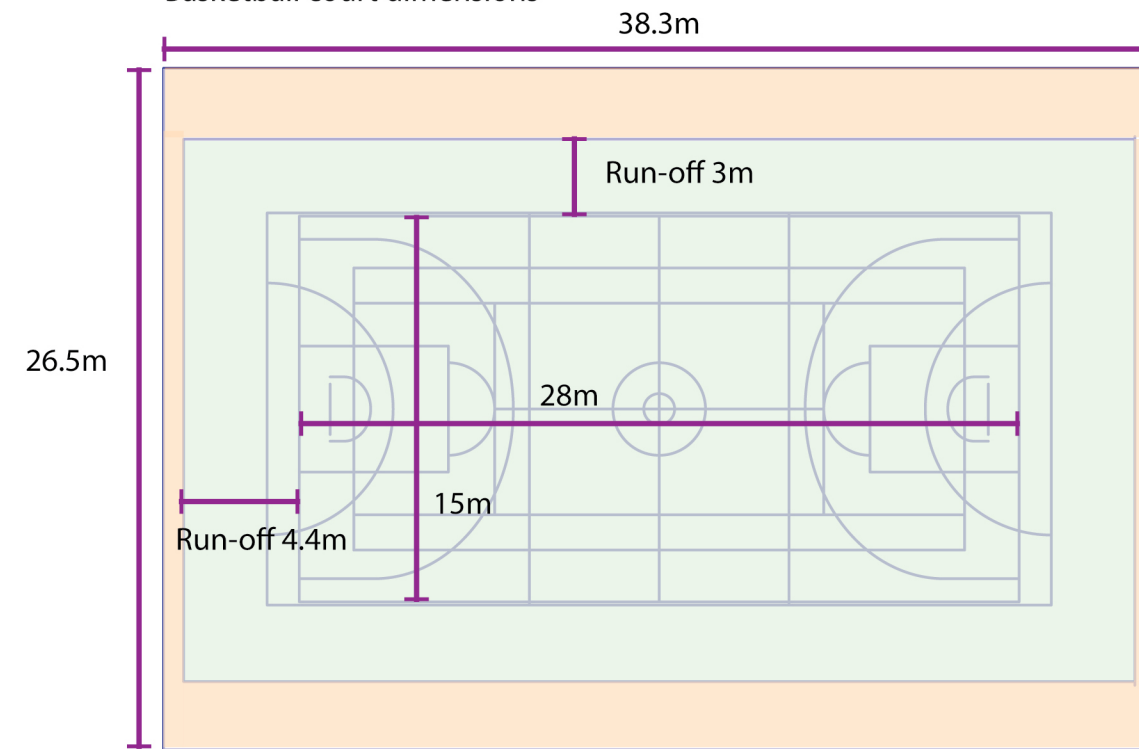
### Legend

- Sports field
- Spectator area
- Goal recesses
- Social area
- Habitat area

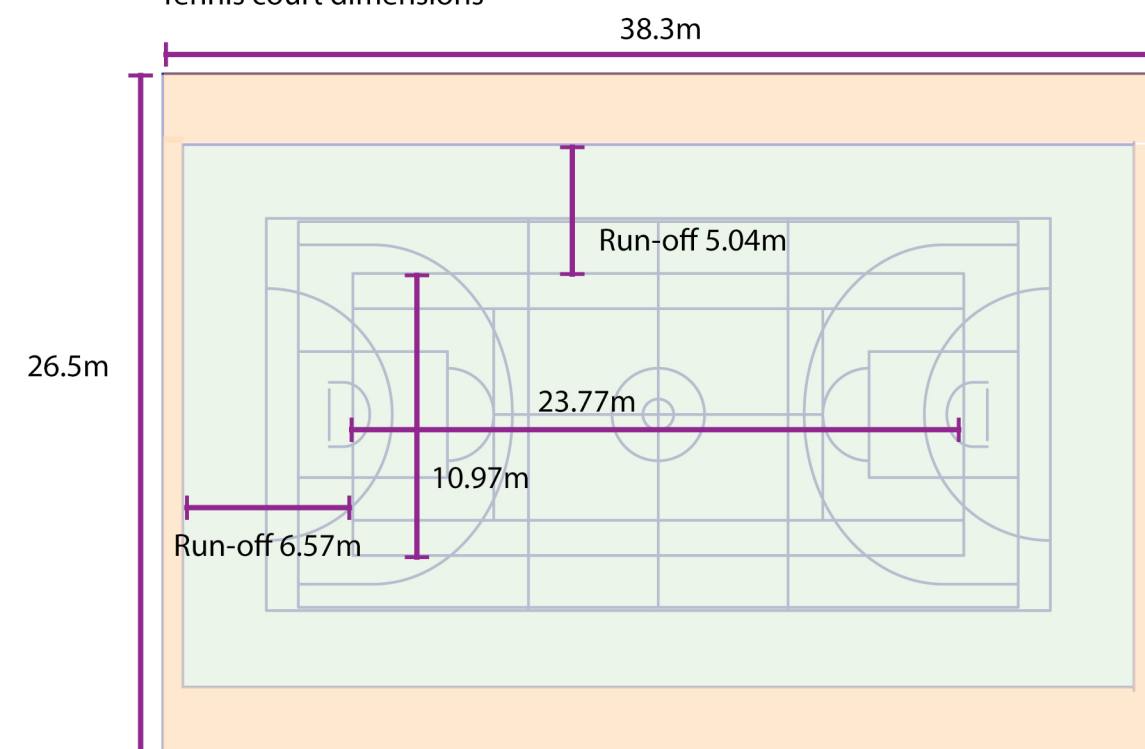
Netball court dimensions








Basketball court dimensions



Tennis court dimensions



Legend

-  Sports field
-  Spectator area
-  3m High fence
-  Fence and retaining wall total of 3m high
-  Gate

## Bollards/Bins

Stainless steel bollards and bins give a city centre look which not appropriate in this location.

Noted – we will amend selection and re-issue more suitable furniture items – bollards and bins with powder coat finish and styling to reference the prevailing heritage character as recommended in Richmond Public Space Design Guide. This includes Manchester bollards and Pierhead litter bins as illustrated in attached spec sheets.



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Email: [web.sales@broxap.com](mailto:web.sales@broxap.com)  
Web: [www.broxap.com](http://www.broxap.com)

### Pierhead Litter Bin BX 2311

Contemporary 63 litre heavy duty cast iron front opening litter bin designed to complement any site whilst maintaining Broxap's high quality standards in strength and durability.

#### Dimensions:

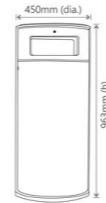
- Capacity: 63 litres
- Height: 963mm
- Diameter: 450mm
- Weight: 152kg

#### Features:

- Cast in 250 grade cast iron BS EN 1561:1997
- Fully galvanized steel liner with safety top edge and 2 handles
- Supplied with a galvanized sheet liner, and two litter posting apertures.

#### Options:

- Can be supplied with town crests/logo's or customer designed artwork for an additional price



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Web: [www.streetfurnituredirect.co.uk](http://www.streetfurnituredirect.co.uk)

## Manchester Cast Bollard / SFD560

### Product Description

The Manchester Cast Iron Bollard has a traditional and contemporary design which makes it popular choice with Architects and Councils. The Cast Iron Bollard adds a classic look to any high street, while providing strength.

### Dimensions

Length 1300mm.  
Diameter 230mm.  
Manufactured from Cast Iron, Finished in black gloss.  
Root Fixed.



#### 4. Application C

##### Replacement Planting

Wall appears harsh on prominent corner.

Climbing planting is proposed in revised documents on the street frontage of the wall to soften the appearance of the full height brick wall.

##### Brick Wall

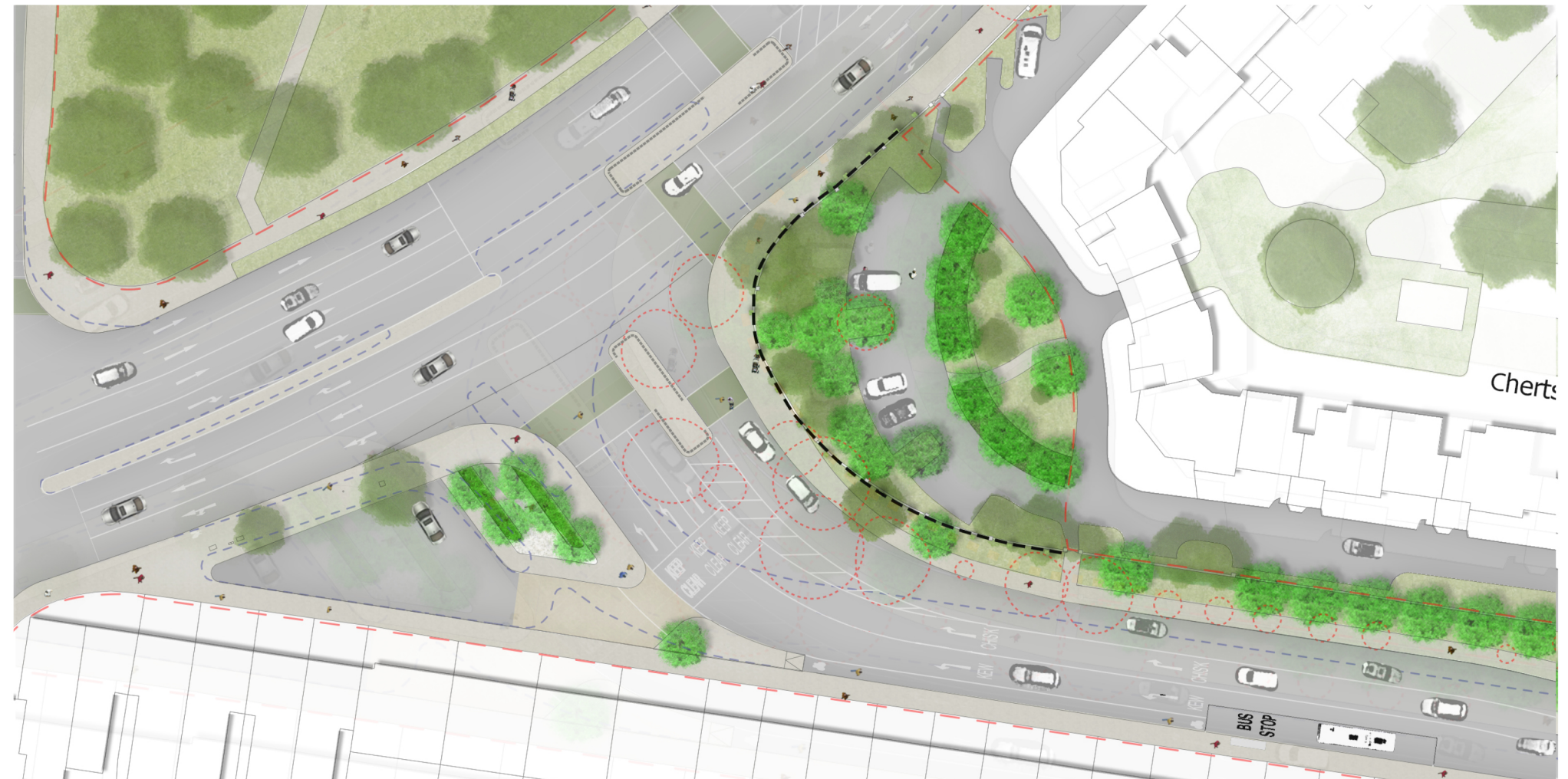
Materials looks rather 'red' / 'hash' in the visuals.

Multi stock bricks will be considered for the brick wall to soften appearance.

##### Pocket Park

Use of terminology – annotation of 'new open space' / 'new amenity area' / 'pocket park' on opposite side of Chertsey Court – this is essentially a pedestrian footway  
What is the value of this? More open if area identified for further landscaping.

Terminology to this additional open space has been amended in documents and seating removed. This area of accessible public realm with additional street trees and hedge planting contribute to the physical and visual aspects of the redesigned intersection.



Chalkers Corner Rendered Plan

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The Department Store  
248 Ferndale Road, London SW9 8FR  
020 7278 5555 [info@squireandpartners.com](mailto:info@squireandpartners.com)  
[squireandpartners.com](http://squireandpartners.com)